

26 UNIT TOWNHOUSE DEVELOPMENT

4560,4570,4580, 208 STREET &
20815, 45A AVENUE, LANGLEY



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NO	DATE	REVISION / ISSUED
3	SEP 10 -24	ISSUED FOR REZONING & DP
2	AUG 16 -24	ISSUED FOR REZONING & DP
1	JUL 02 -24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20615 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13885 CAMBRIDGE HOLLOW,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**COVER PAGE
INDEX AND
CONTACT LIST**

DATE	March 2024	SHEET NO:
SCALE:	N/A	A-1.0
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO:	-	

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SURREY, B.C. V3S 3M2
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EMAIL : Dennis@southfrasersurvey.ca

CIVIL ENGINEER :

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SURREY, B.C. V3S 6T3
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LANDSCAPE ARCHITECT :

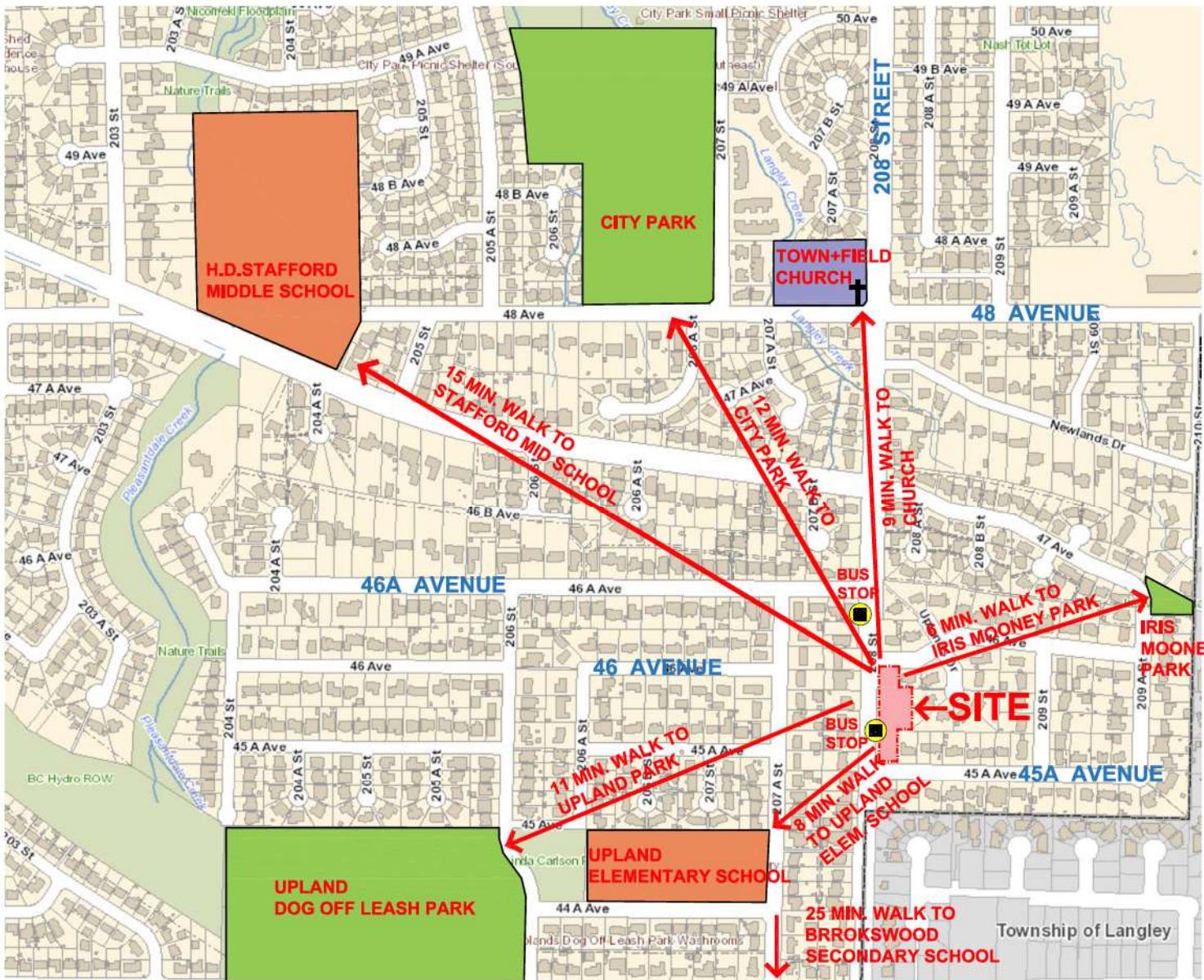
PMG LANDSCAPE ARCHITECTS
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3	SEP 10-24	REISSUED FOR REZONING & DP
2	AUG 16-24	ISSUED FOR REZONING & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

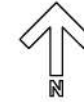
PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
 20815 - 45A AVENUE,
 LANGLEY, BC.

FOR:
LEONE HOMES INC.
 238 - 13806 CAMBIE ROAD,
 RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
CONTEXT MAP

DATE:	March 2024	SHEET NO'S
SCALE:	N.T.S.	A-1.1
DESIGN:	A.A.	
DRAWING:	A.A.	
PROJECT NO.:	-	

CONTEXT MAP



AERIAL MAP



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3	SEP 10-24	REISSUED FOR REZONING & DP
2	AUG 10-04	ISSUED FOR REZONING & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

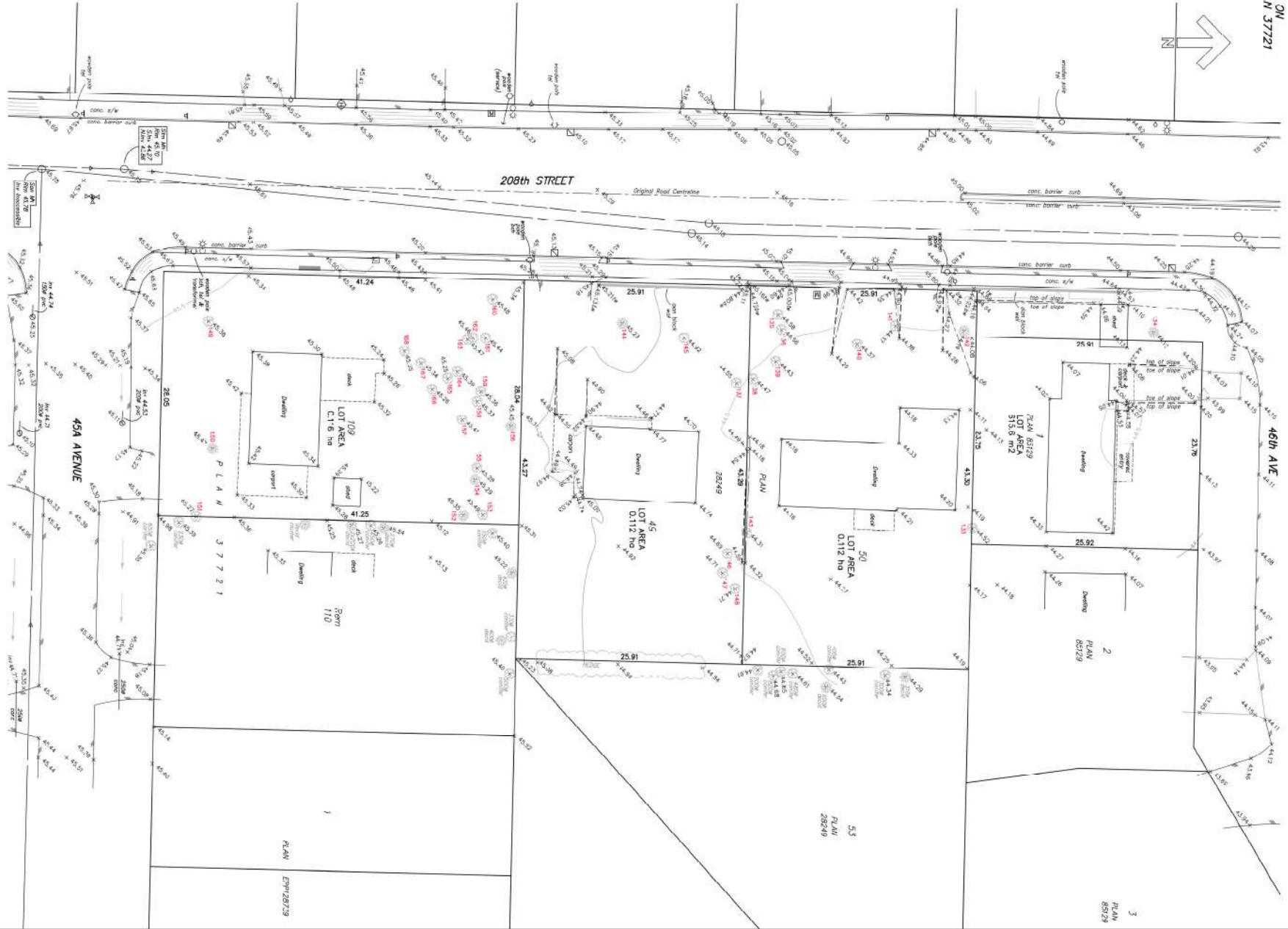
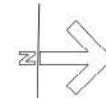
PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
 20815 - 45A AVENUE,
 LANGLEY, BC.

FOR:
LEONE HOMES INC.
 238 - 15806 CAMBIE ROAD,
 RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**AERIAL MAP AND
 CONTEXT PHOTOS**

DATE:	March 2024	SHEET NO'S
SCALE:	NTS.	A-1.2
DESIGN:	A.A.	
DRAWING:	A.A.	
PROJECT NO.:	-	

PREV ON
 PLAN 37721
 LOT



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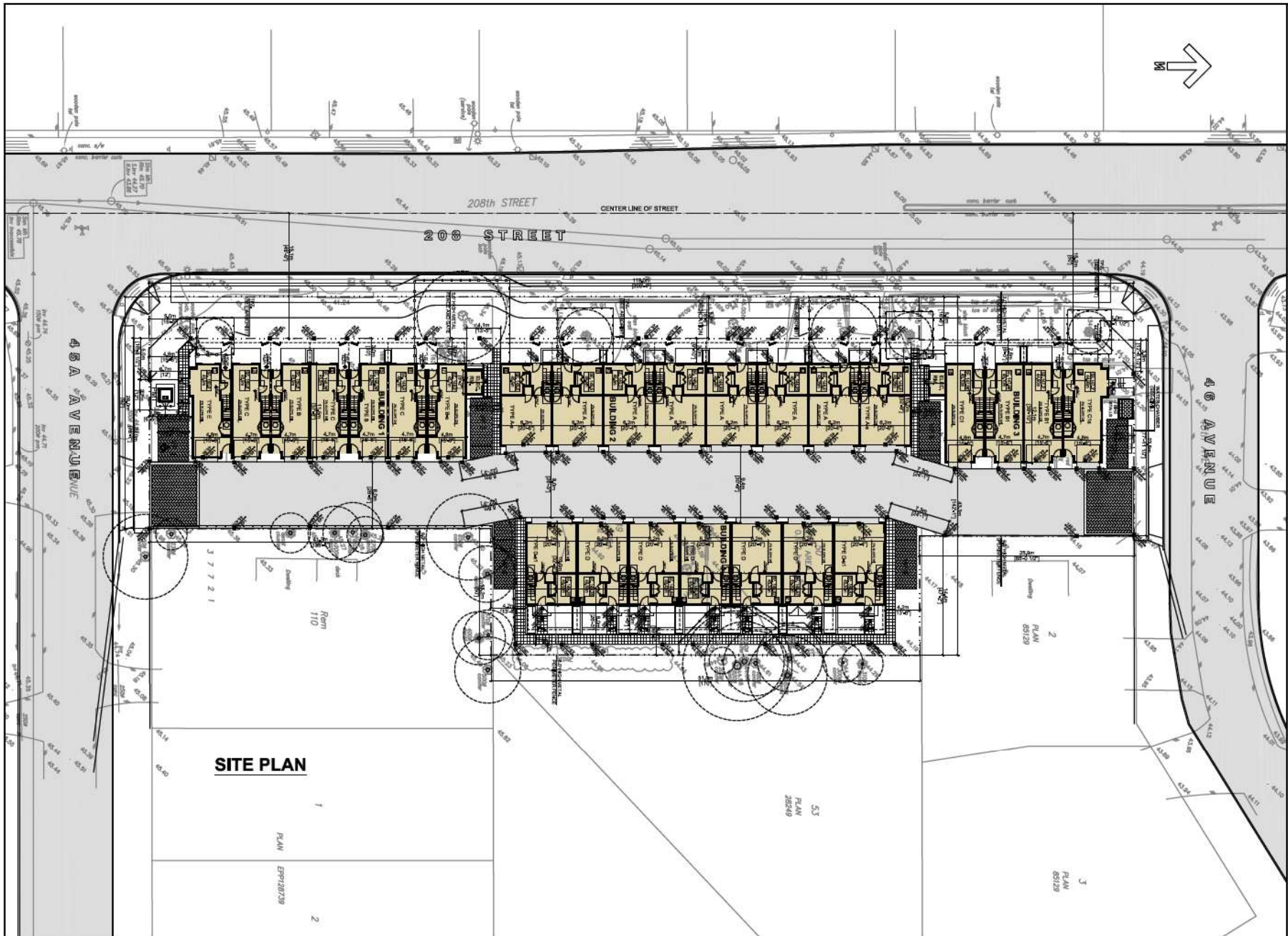
NO	DATE	REVISION / ISSUED
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TOWNHOUSE DEVELOPMENT
 20615 - 45A AVENUE,
 LANGLEY, BC.

FOR:
LEONE HOMES INC.
 230 - 13988 CAMBRIDGE HILL,
 RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
SURVEY PLAN

DATE: March 2024	SHEET NO:
SCALE: NTS	A-1.3
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO:	



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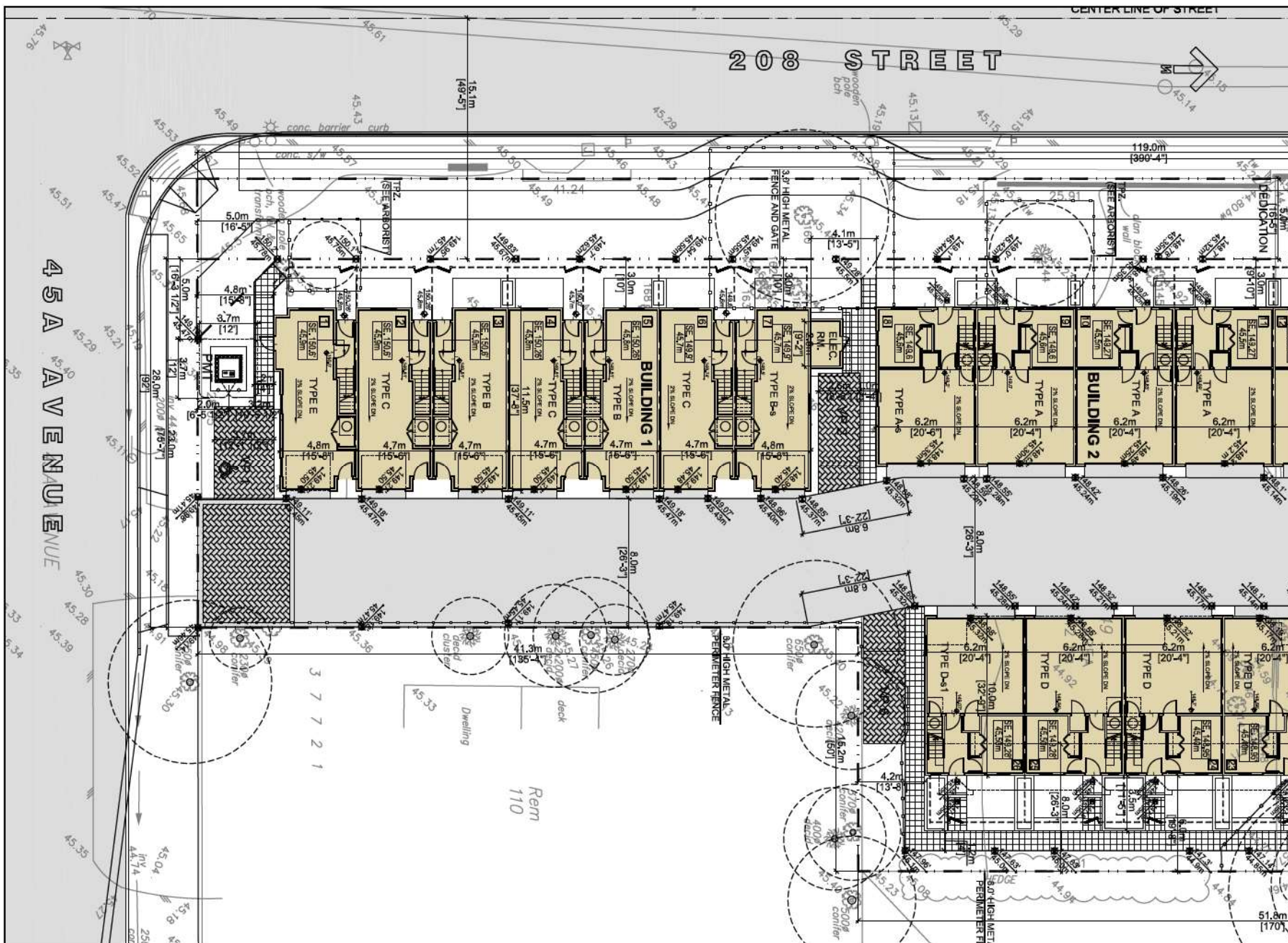
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1	JUL 02-24	ISSUED FOR PRE-APPLICATION	

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20816 - 45A AVENUE,
LANGLEY, BC,

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
SITE PLAN

DATE:	March 2024	SHEET NO.:	A-1.4
SCALE:	NTS		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		



208 STREET

45A AVENUE

CENTER LINE OF STREET



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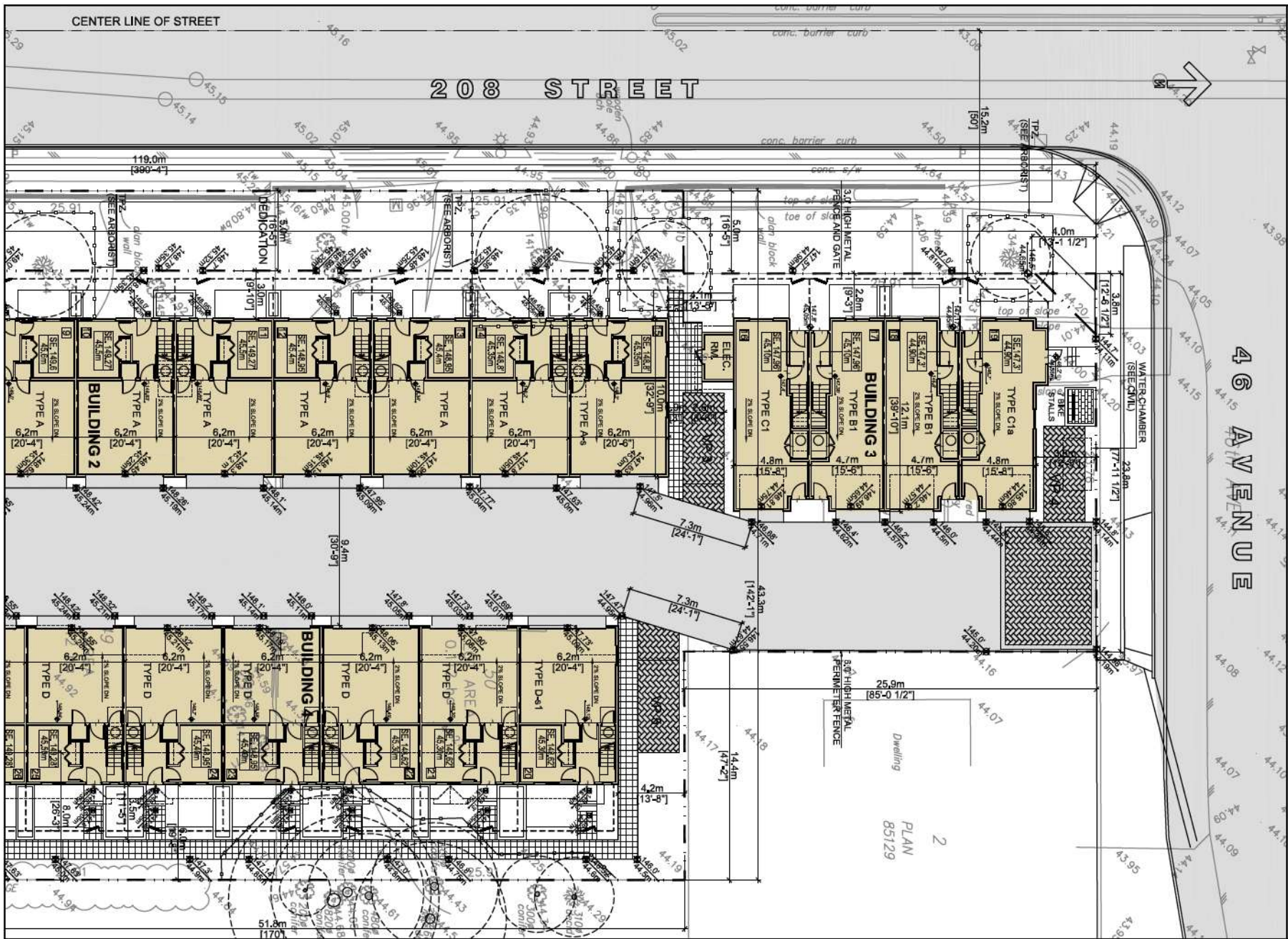
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PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20816 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
SITE PLAN - PART 1

DATE:	March 2024	SHEET NO.:	A-1.4a	
SCALE:	N.T.S.	DESIGN:		A.A.
DRAWN:	A.A.	DRAWN:		A.A.
PROJECT NO.:	-			



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3	SEP 10-04	REBUILT FOR REZONING & DP	
2	AUG 18-04	REBUILT FOR REZONING & DP	
1	JUL 02-04	ISSUED FOR PRE-APPLICATION	

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
 20816 - 45A AVENUE,
 LANGLEY, BC.

FOR:
LEONE HOMES INC.
 238 - 13986 CAMBIE ROAD,
 RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
SITE PLAN-PART 2

DATE: March 2024 SHEET NO: **A-1.4b**
 SCALE: NTS
 DESIGN: AA
 DRAWING: AA
 PROJECT NO: -

STATISTICS :

CIVIC ADDRESS :

4560, 4570, 4580, 208 STREET &
20815, 45A AVENUE, LANGLEY, BC.

LEGAL DESCRIPTION:

LOT 1, PLAN 85129,
LOTS 49 & 50, PLAN 28249,
LOT 109, PLAN 37721,
SECTION 36, TOWNSHIP 7,
NEW WESTMINSTER DISTRICT

ZONING :

EXISTING : RS1
PROPOSED : CD

SITE AREA :

BEFORE DEDICATION : 0.40 HA. = 0.99 ACRE
43,164 SQ.FT. = 4,010 m²

AFTER DEDICATION : 37,773 SQ.FT. = 3509 m²
0.35 HA. = 0.86 ACRE

DEDICATIONS :

(5M = 16'-5" DEDICATION ALONG 208 STREET,
4M.X4M. TRIANGLE CORNER CUT AT NORTH-WEST &
5M.X5M. TRIANGLE CORNER CUT AT SOUTH-WEST)

GROSS FLOOR AREA :

BUILDING 1 : 12285 SQ.FT. 1141.2 M²
BUILDING 2 : 15956 SQ.FT. 1482.3 M²
BUILDING 3 : 7582 SQ.FT. 704.4 M²
BUILDING 4 : 12910 SQ.FT. 1199.3 M²

TOTAL AREA : 48733 SQ.FT. = 4527.2 m²

FSR :

(PRIOR TO ROAD DEDICATION)
ALLOWED : MAX. 1.200
PROVIDED : 48733 / 43164 = 1.13

FSR :

(AFTER ROAD DEDICATION)
ALLOWED : MAX. 1.200
PROVIDED : 36601 / 37773 = 0.968

DENSITY :

PROVIDED : 26 UNIT / 0.99 ACRE :
30.2 UNIT / ACRE
74.2 UNIT / HA.

UNIT MIX :

SIDE BY SIDE CAR UNITS : 15
(INCLUDING 7 UNITS WITH 2-1/2 STOREY)
TANDEM UNITS : 11
TOTAL NO. OF UNITS : 26

SITE COVERAGE :

ALLOWED : MAX 45%
PROPOSED : 43.6%
(1582 SQM.)

PARKING :

2 / UNIT : 52
VISITORS
REQUIRED : 0.2 TOTAL UNITS
0.2 X 26 = 5.2
PROVIDED : 6 (INCLUDING 1 ACCESSIBLE)

VISITOR BIKE RACK : 6

SITE SETBACKS :

REQUIRED & PROVIDED :
NORTH : 3.0 M. (10.0')
WEST : 3.0 M. (10.0')
SOUTH : 3.0 M. (10.0')
EAST : 6.0M.(FOR 1ST & 2ND FLOORS)
8.0M. (FOR 3RD FLOOR)

UNIT MIX						
UNIT TYPE	NO. OF BED RM.	NO. OF UNITS	AREA (INC. GARAGE) (SQ.FT.)	AREA (EXC. GARAGE) (SQ.FT.)	TOTAL AREA (INC. GARAGE) (SQ.FT.)	TOTAL AREA (EXC. GARAGE) (SQ.FT.)
A	4	8	1987	1555	11802	9330
A-s	4	2	2075	1584	4152	3328
B	3	2	1752	1294	3504	2588
B1	3	2	1841	1352	3582	2704
B-s	3	1	1823	1359	1823	1359
C	3	3	1709	1251	5127	3753
C1	3	1	1935	1439	1935	1439
C1a	3	1	1984	1439	1984	1439
D	4	5	1835	1423	9175	7115
D-s1	4	2	1882	1450	3724	2900
E	3	1	1845	1388	1845	1388
TOTAL		28			48733	37323

CODE ANALYSIS

1.0 PROJECT DESCRIPTION

The proposed development is planned for a site bounded by 208 Street on the west, 45A Avenue on the south and 46 Avenue on the north. The project will consist of 4 buildings containing :

- Building 1 : 7 units with two tandem parking garage
- Building 2 : 8 units with two side by side parking garage
- Building 3 : 4 units with two tandem parking garage
- Building 4 : 7 units with two side by side parking garage

2.0 BUILDING CLASSIFICATION

This project may be considered under part 9 of the 2024 BCBC. Since all four buildings are within 600 m² maximum building area and 3 storey height limit allowed under part 9.

The buildings have the characteristics shown in the following table :

CODE CLASSIFICATION SUMMARY

Building	Building area (m ²)	No. of Storeys	Occupancy	Classification
1	388	3	C	Table 9.10.8.1
2	516	3	C	Table 9.10.8.1
3	247	3	C	Table 9.10.8.1
4	438	3	C	Table 9.10.8.1

2.1 Building Classification Details

- 2.1.1. There are no storeys below ground
- 2.1.2. Storeys above ground (see 4.0 "Fire Separation")

- Combustible construction is allowed (Table 9.10.8.1)
- Floor assemblies to have min. 45 minute F.R.R. (Table 9.10.8.1)
- Roof assemblies to have min. 60 minute F.R.R. (Table 9.10.8.1)
- Floor rating not required (Table 9.10.8.1)

3.0 FIRE FIGHTING ACCESS

3.1 Unobstructed path of travel requirements

Part 9 is not specific about the fire department access requirements. Part 3 is more specific about fire fighters' path of travel and is used as a guide

4.0 FIRE SEPARATIONS

Party walls : 1 hour : 9,10,9,14(3)

Floor within suites are not required to be fire separations or to have a fire resistance rating. Roofs are required to have 1 hr. fire resistance rating

5.0 SPATIAL SEPARATIONS AND UNPROTECTED OPENING

Spatial separation and amount of unprotected openings have been reviewed by, for each building on sheets A-3.1 and A-3.2 building elevations.

6.0 FIRE ALARM SYSTEM

A fire alarm system is not required for this type of Part 9 residential occupancy where each suite has direct access to an exterior exit door at grade, as per 9.10.18.2.(5)

Article 9.10.1.3.(8) requires sprinklers to be installed according to certain Part 3 requirements.

Sprinkler system shall be designed in conformance with Articles 3.2.5.8 to 3.2.5.11 and 3.2.5.17(which refer only to the sprinkler system and not to fire alarms).Therefore no fire alarm system will be provided.

7.0 SPRINKLER SYSTEM

The project will be sprinklered

8.0 EGRESS

Egress from suites conforms to Sentence 9.9.9.1.(2)

9.0 REQUIREMENTS FOR PERSONS WITH DISABILITIES

The buildings are not required to be accessible.



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1	JUL 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20816 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
STATISTICS

DATE:	March 2024	SHEET NO.:
SCALE:	NA	A-1.5
DESIGN:	A.A.	
DRAWING:	A.A.	
PROJECT NO.:		



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PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13936 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDING 2
PERSPECTIVE VIEW
FROM 208 STREET**

DATE:	March 2024	SHEET NO.:	A-1.6
SCALE:	NTS.		
DESIGN:	A.A.		
DRAWN:	A.A.		
PROJECT NO.:	-		



**BUILDING 3
NORTH ELEVATION**



**BUILDING 1
WEST ELEVATION**



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3	SEP 10-24	ISSUED FOR PERMITS & DP
2	AUG 16-24	ISSUED FOR REZONING & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDINGS 1 AND 3
COLORED ELEVATIONS**

DATE:	March 2024	SHEET NO.:
SCALE:	NTS.	A-1.7
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO.:	-	



**BUILDING 3
WEST ELEVATION**



**BUILDING 4
WEST ELEVATION**



**F. ADAB
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1	JUL 02-24	ISSUED FOR PRE-APPLICATION
NOL.	DATE	REVISION /ISSUED

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13936 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDINGS 3 AND 4
COLORED ELEVATIONS**

DATE:	March 2024	SHEET NO.:	A-1.8
SCALE:	NTS.		
DESIGN:	A.A.		
DRAWING:	A.A.		
PROJECT NO.:	-		

Livability, Energy Saving and Green Measures

The site is located in proximity to public amenities and transportation network.

Below are the public amenities that are within walking distance of the site:

- 1- 9 minutes walk to Town + Field Church
- 2- 12 minutes walk to City Park
- 3- 15 minutes walk to the Stafford Middle School
- 4- 8 minutes walk to Iris Mooney Park
- 5- 8 minutes walk to Upland Elementary School
- 6- 11 minutes walk to Upland Park
- 7- 25 minutes walk to Brookwood Secondary School

Many green building strategies have been incorporated into the project design including the following items:

- The building envelope, glazing, and mechanical system are designed to meet the step 3 code requirements, Comply with the 2024 code and in compliance with ASHRAE 90, 2010
- Low emission adhesives paint and flooring will be used throughout the units
- Water efficient fixtures, energy efficient appliances and drought tolerance plants will be used minimizing the use of potable water
- All units have private patios at grade and decks on the 2nd floor contributing to the livability of the units and creating a family oriented environment
- The water consumption strategy will be used through the use of an alternate solution for the sprinkler system by utilizing the domestic cold water system instead of a separate sprinkler line.
- The mechanical system is equipped with a heat pump system providing both cool and hot air. Also a heat recovery system 'HRV' will be provided for recycling the heat energy.
- All garages are equipped with electric chargers.



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1	JUL 02-24	ISSUED FOR PRE-APPLICATION
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
230 - 15536 CAMBIE ROAD,
RICHMOND, B.C., V6V 2K3

DRAWING TITLE:
DESIGN RATIONALE
LIVABILITY, ENERGY SAVING
AND GREEN MEASURES

DATE:	Month 2024	SHEET NO.:	A-1.10
SCALE:	N/A		
DESIGN:	A.A.		
DRAWING:	A.A.		
PROJECT NO.:	-		

Exterior Finishes and Colour

The selection of the exterior finishes has been based on the enhanced durability/longevity of the construction materials as part of a sustainable approach.

A variety of building materials are used with emphasis on richer urban elements. Brick is the main finish on base of the buildings, Board & batten is introduced on the projected bays with two contrast colors. Black panels combined with black vinyl windows in order to emphasize on vertical elements on bays. 4" lap siding is also provided with warm beige color between the bays. Natural maple wood is used under the entry gables and brackets.

No vinyl material is introduced on any facades of the buildings.

The colours are selected with emphasis on black brick, black and white board & batten, black panels and windows and the natural maple wood colour in selected areas.



BUILDING 1 WEST ELEVATION

EXTERIOR FINISH COLOUR SCHEME



**1 ASPHALT SHINGLE ROOF :
MOUNTAIN SLATE -
BY IKO ROYAL ESTATE**



**2 BRICK
ONYX IRONSPOT - BY I.X.L.**



**3 HARDIE SIDING
WEATHERED CLIFF-
BY JAMES HARDIE MAGNOLIA
COLLECTION**



**4 HARDIE PANELS, FASCIAS
& TRIMS
SW 6258 TRICORN BLACK -
BY SHERWIN WILLIAMS (251)**



**5 6" TRIMS, BAND BOARDS &
BRACKETS -
NATURAL MAPLE WOOD**



**6 HARDIE BOARD & BATTEN :
SW 7005 PURE WHITE-
BY SHERWIN WILLIAMS**



**7 HARDIE BOARD & BATTEN :
SW 7069 IRON ORE-
BY SHERWIN WILLIAMS**



**F. ADAB
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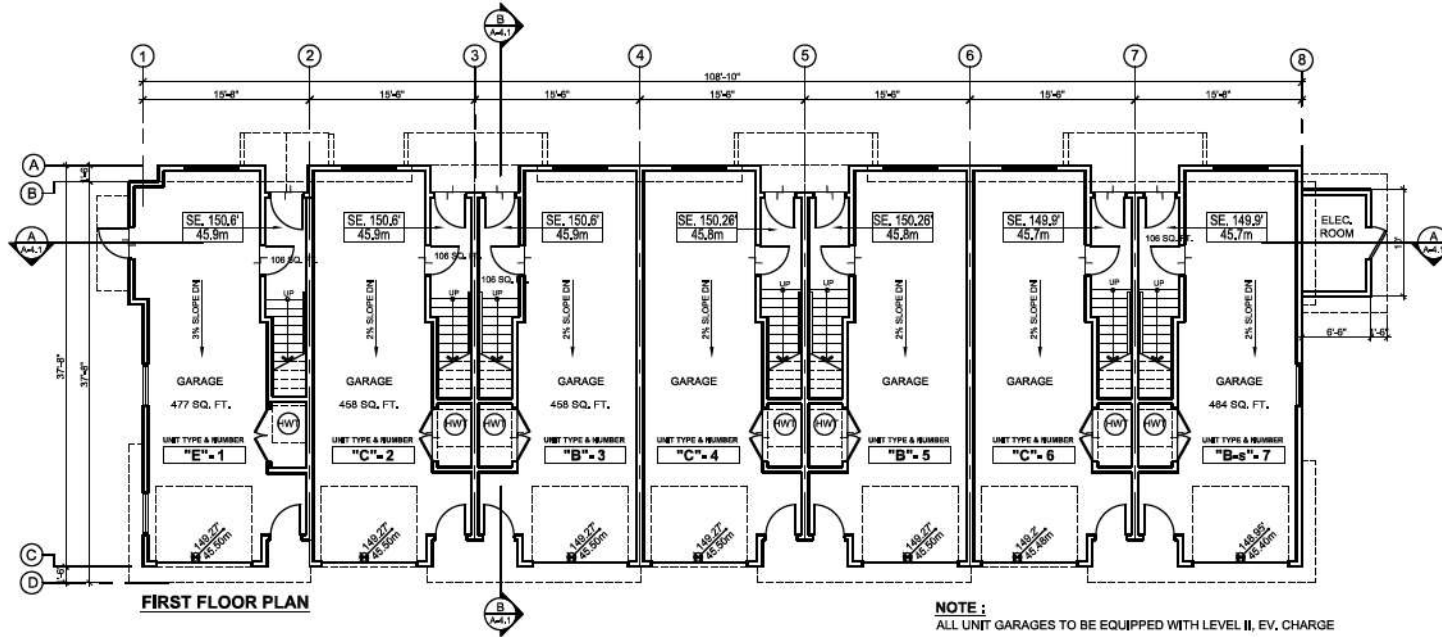
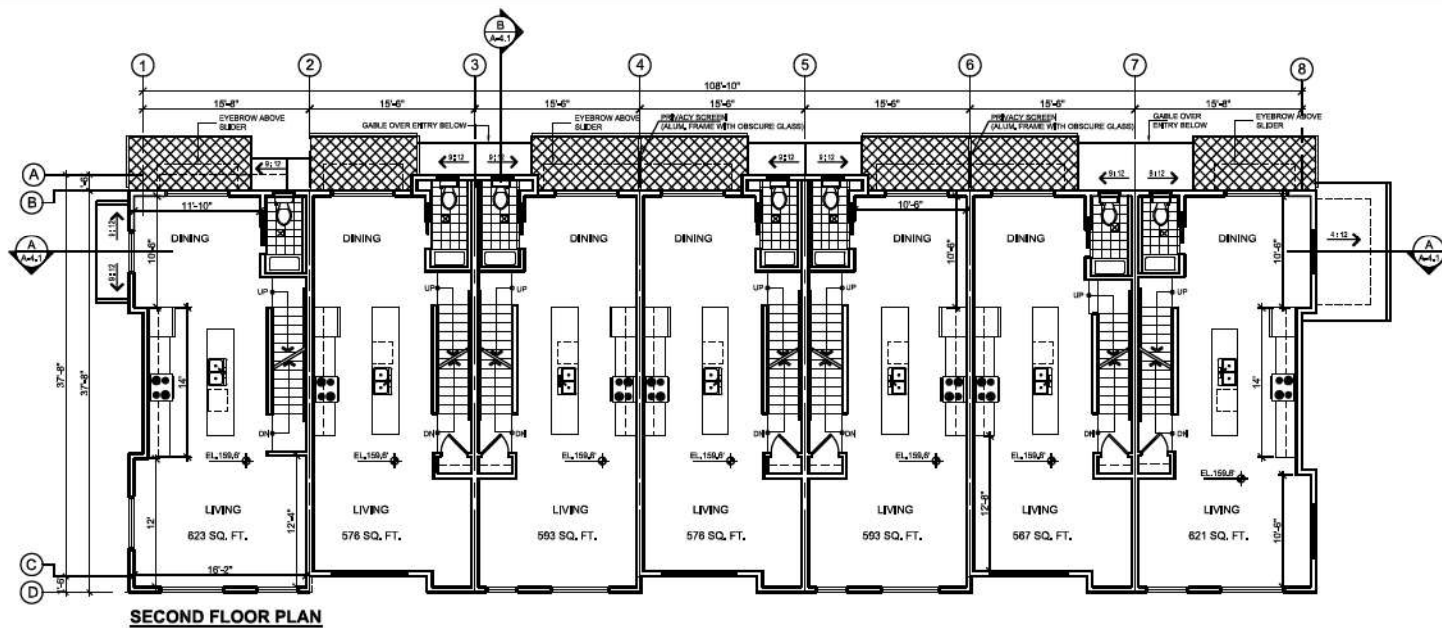
NO.	DATE	REVISION / ISSUED
3	SEP 10 2024	REISSUED FOR REZONING & DP
2	JUNE 19 2024	ISSUED FOR REZONING & DP
1	JUL 22 2024	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
**TOWNHOUSE DEVELOPMENT
20815-45A AVENUE,
LANGLEY, BC,**

FOR:
**LEONE HOMES INC.
238 - 13888 CHAMBER ROAD,
RICHMOND, B.C., V6V 2K3**

DRAWING TITLE:
EXTERIOR FINISHES

DATE:	March 2024	SHEET NO:
SCALE:	N/A	A-1.12
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO:	-	



NOTE :
ALL UNIT GARAGES TO BE EQUIPPED WITH LEVEL II, EV. CHARGE



F. ADAB ARCHITECTS INC.

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NO.	DATE	REVISION / ISSUED
3	SEP 10 24	REISSUED FOR REVISION & DP
2	AUG 18 24	ISSUED FOR REVISION & DP
1	JUL 22 24	ISSUED FOR PRE-APPLICATION

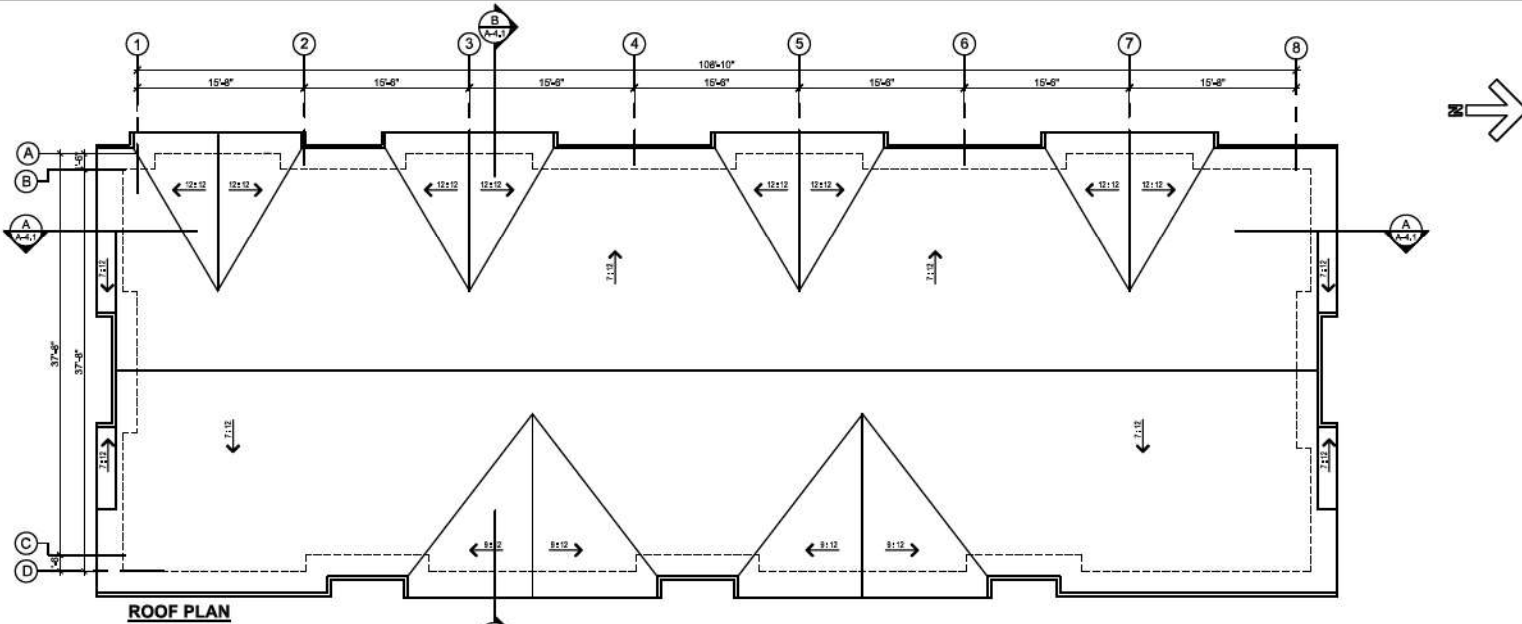
PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

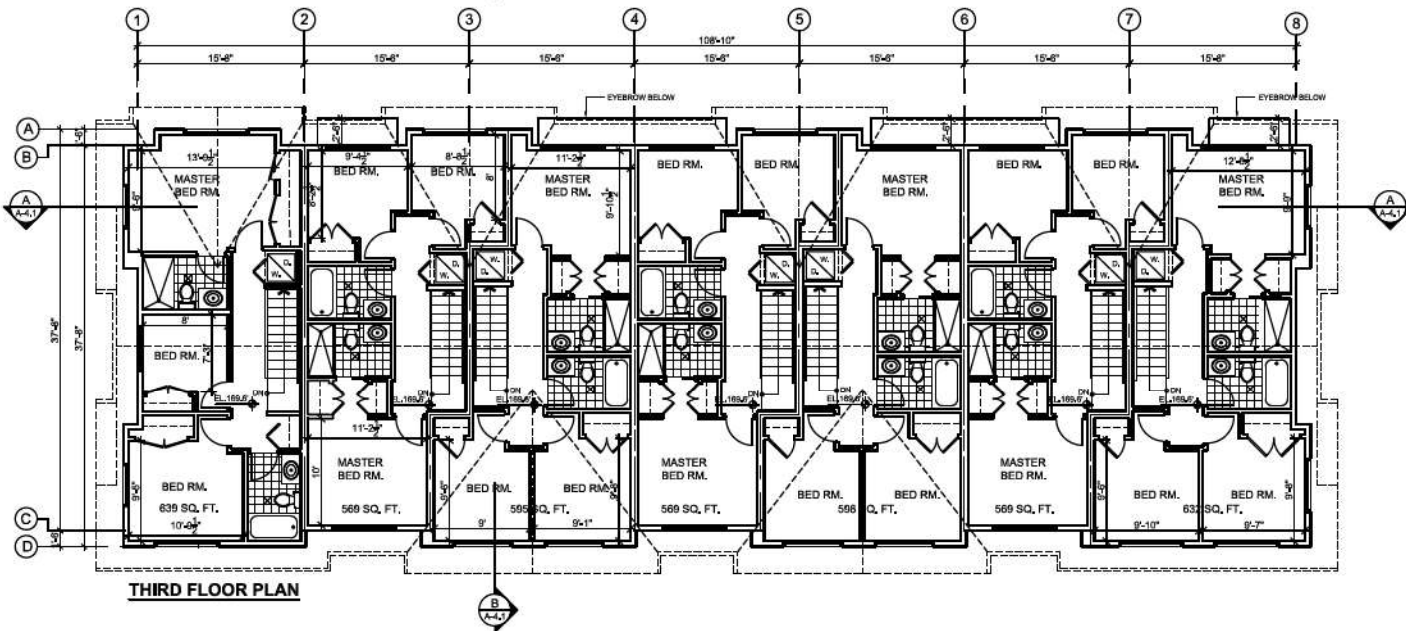
DRAWING TITLE:
BUILDING 1
FIRST AND SECOND
FLOOR PLANS

DATE: March 2024	SHEET NO:
SCALE: NTS.	
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO: -	

A-2.1a



ROOF PLAN



THIRD FLOOR PLAN



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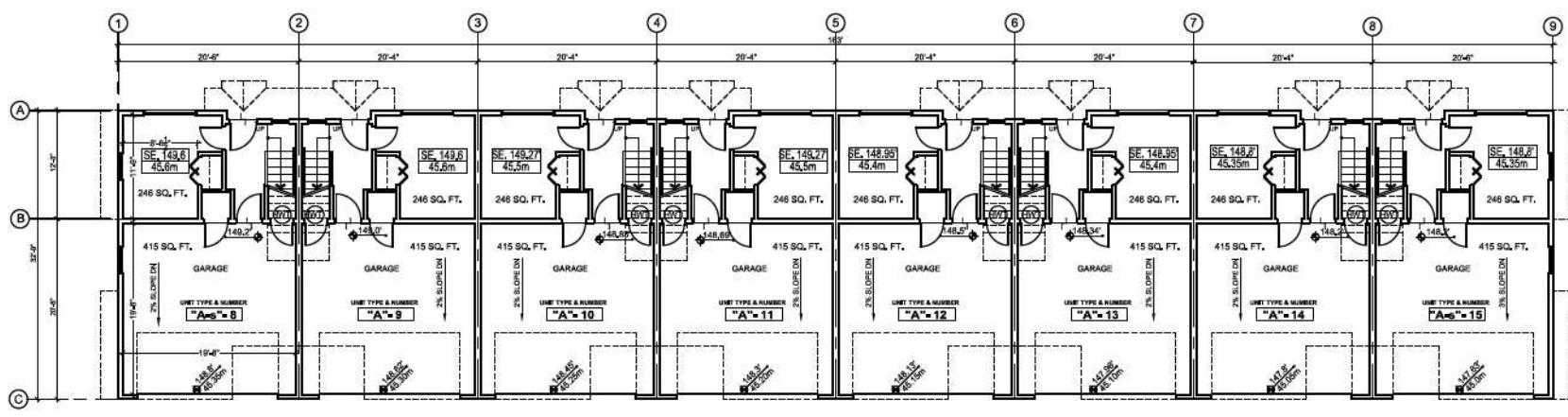
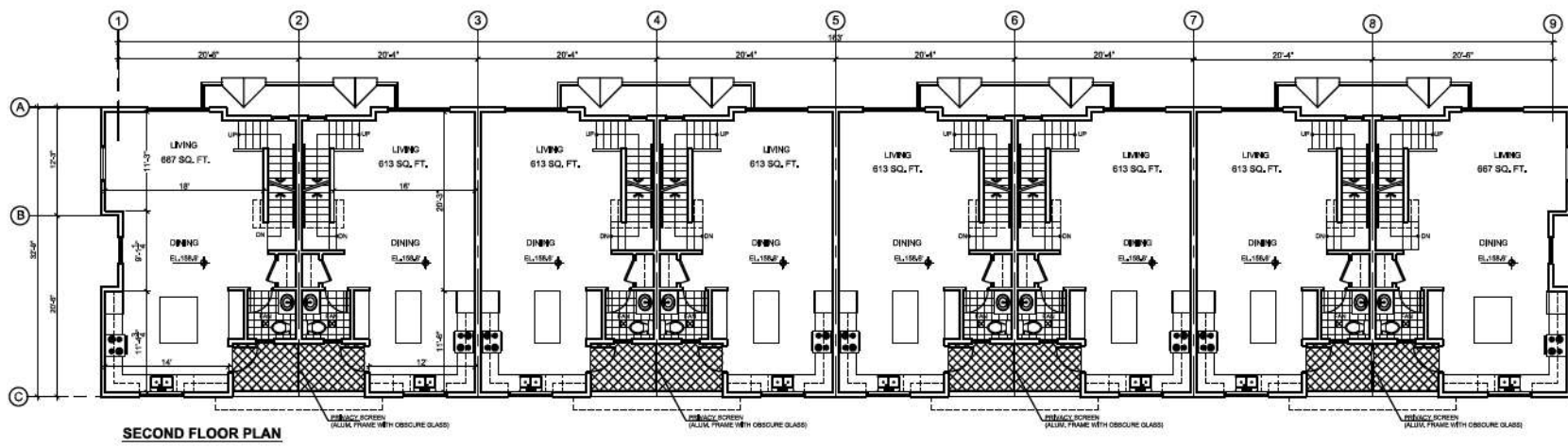
NO.	DATE	REVISION / ISSUED
3	SEP 10-24	ISSUED FOR REVISION & DP
2	AUG 16-24	ISSUED FOR REVISION & DP
1	JUL 12-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815-45A AVENUE,
LANGLEY, B.C.

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDING 1
THIRD FLOOR &
ROOF PLAN**

DATE: March 2024	SHEET NO.:
SCALE: NTS.	A-2.1b
DESIGN: AA	
DRAWN: AA	
PROJECT NO.:	



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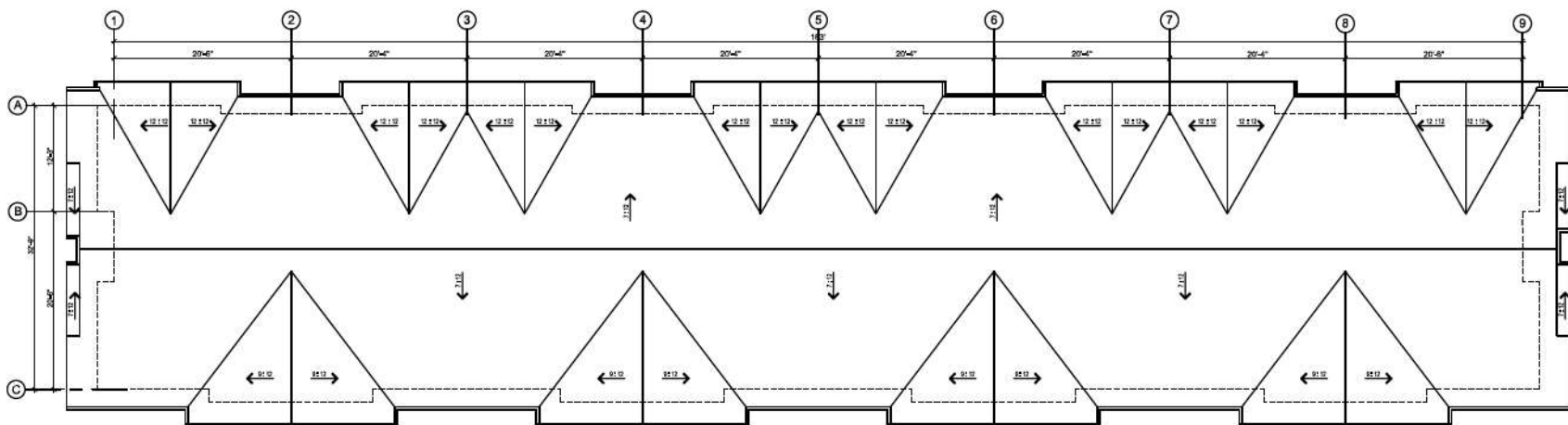
NO.	DATE	REVISION / ISSUED
3	SEP 10-24	ISSUED FOR REZONING & DP
2	AUG 16-24	ISSUED FOR REZONING & DP
1	AUG 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

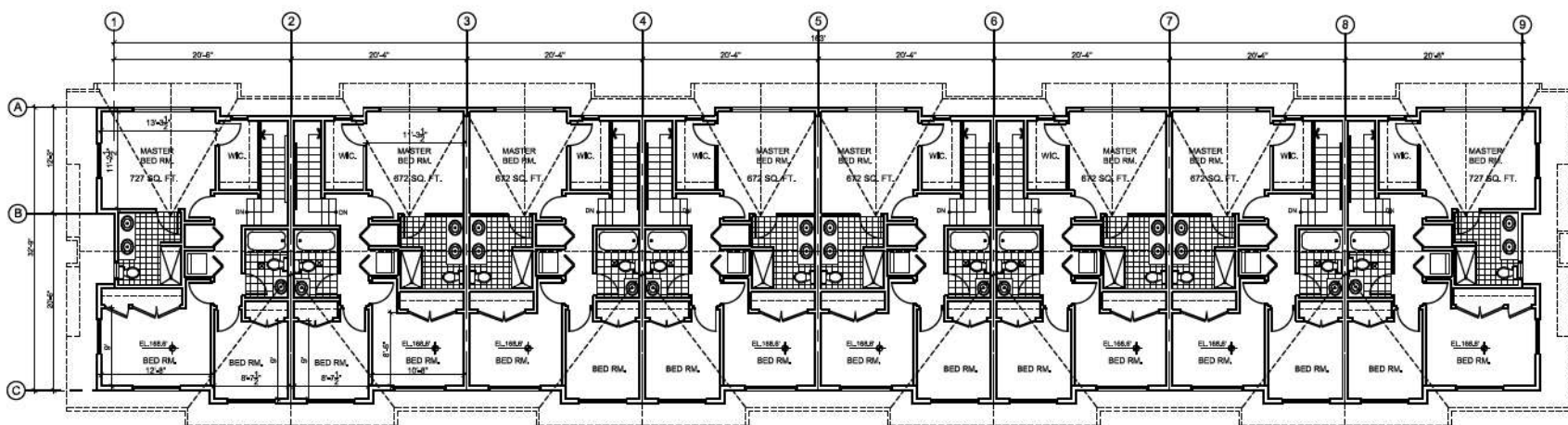
FOR:
LEONE HOMES INC.,
238 - 13996 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDING 2
FIRST & SECOND
FLOOR PLANS**

DATE: Sep 2021	SHEET NO:
SCALE: N.T.S.	
DESIGN: A.A.	A-2.2a
DRAWING: A.A.	
PROJECT NO: -	



ROOF PLAN



THIRD FLOOR PLAN



**F. ADAB
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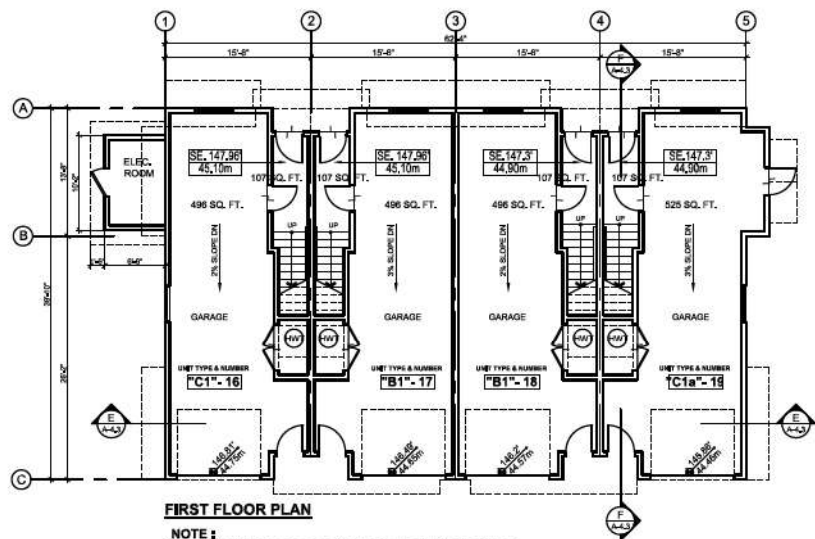
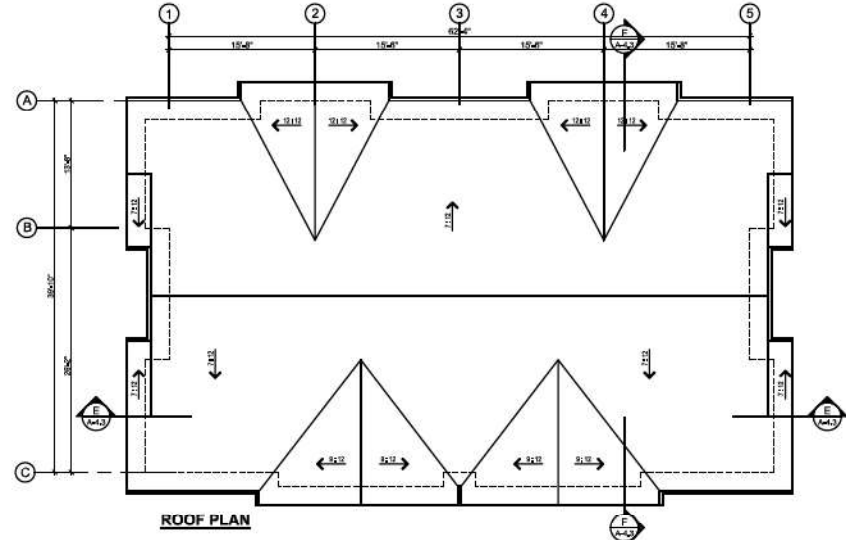
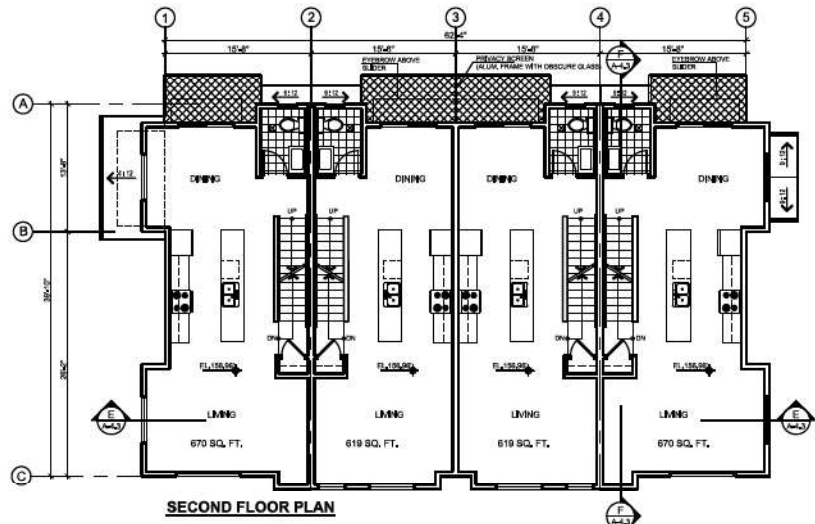
NO.	DATE	REVISION / ISSUED
3	SEP 10-24	ISSUED FOR REZONING & DP
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1	AUG 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

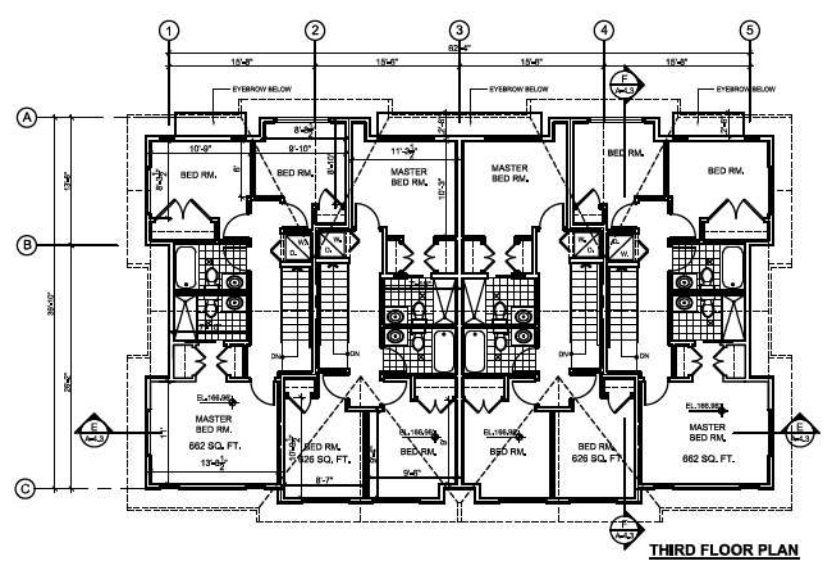
FOR:
LEONE HOMES INC.,
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 2
THIRD FLOOR &
ROOF PLAN

DATE:	Month 2024	SHEET NO.:	A-2.2b
SCALE:	NTS		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		



NOTE:
ALL UNIT GARAGES TO BE EQUIPPED WITH LEVEL II, EV. CHARGE



F. ADAB ARCHITECTS INC.

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1	JUL 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC,

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V8V 2K3

DRAWING TITLE:
BUILDING 3 FLOOR PLANS

DATE:	SEP 2021	SHEET NO:	A-2.3
SCALE:	NTS		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO:			



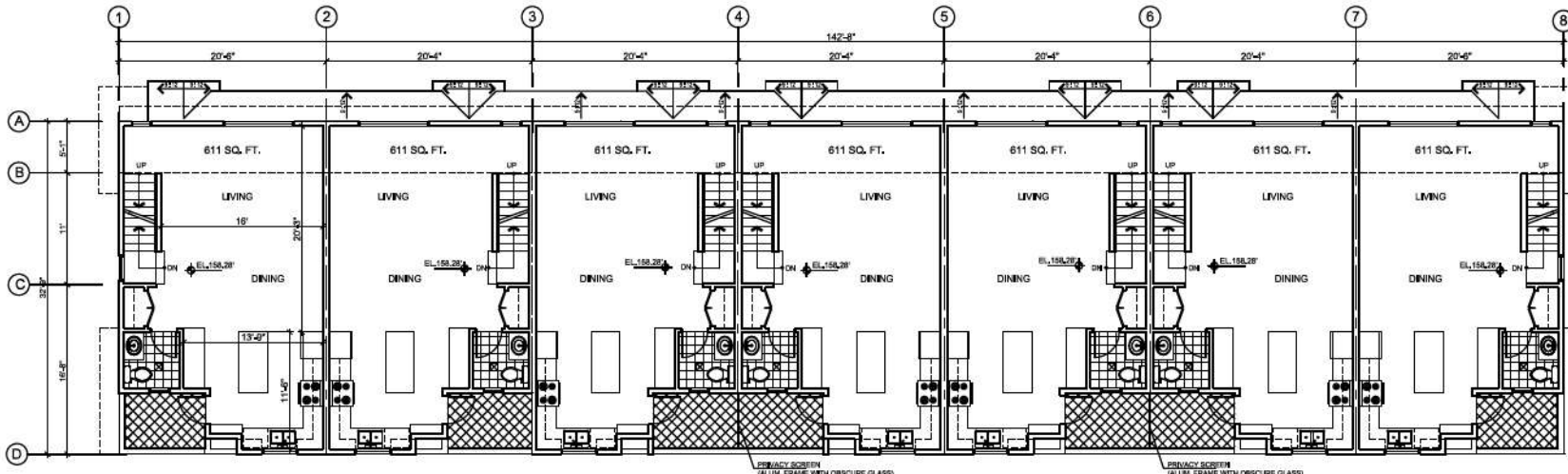
**F. ADAB
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E-MAIL: info@fadarb.com

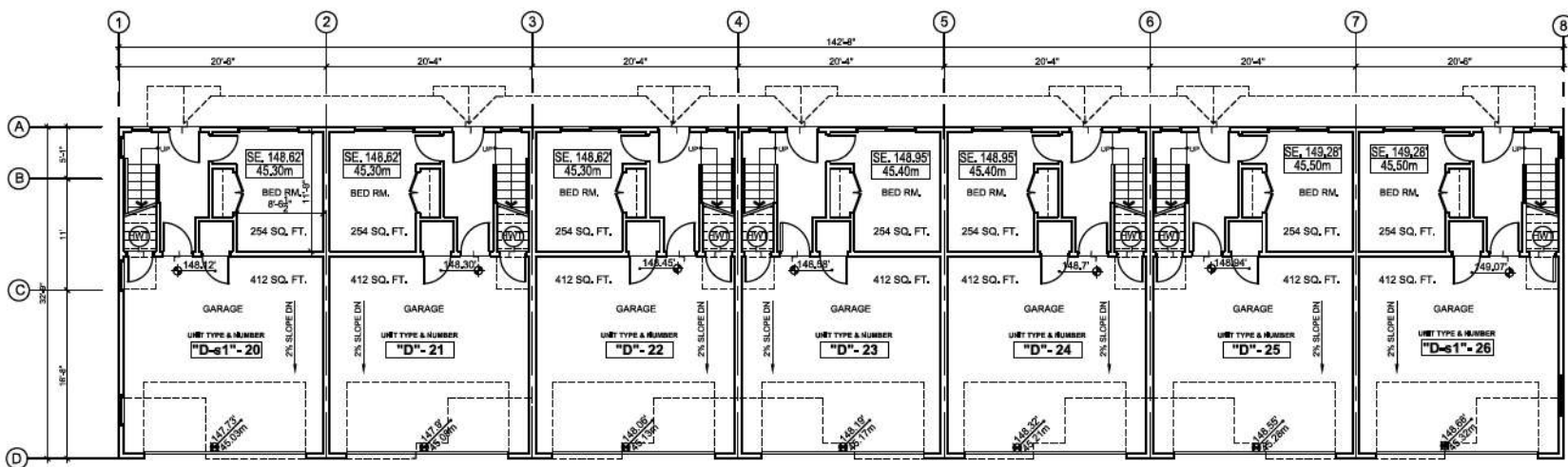
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SECOND FLOOR PLAN



FIRST FLOOR PLAN

NOTE:
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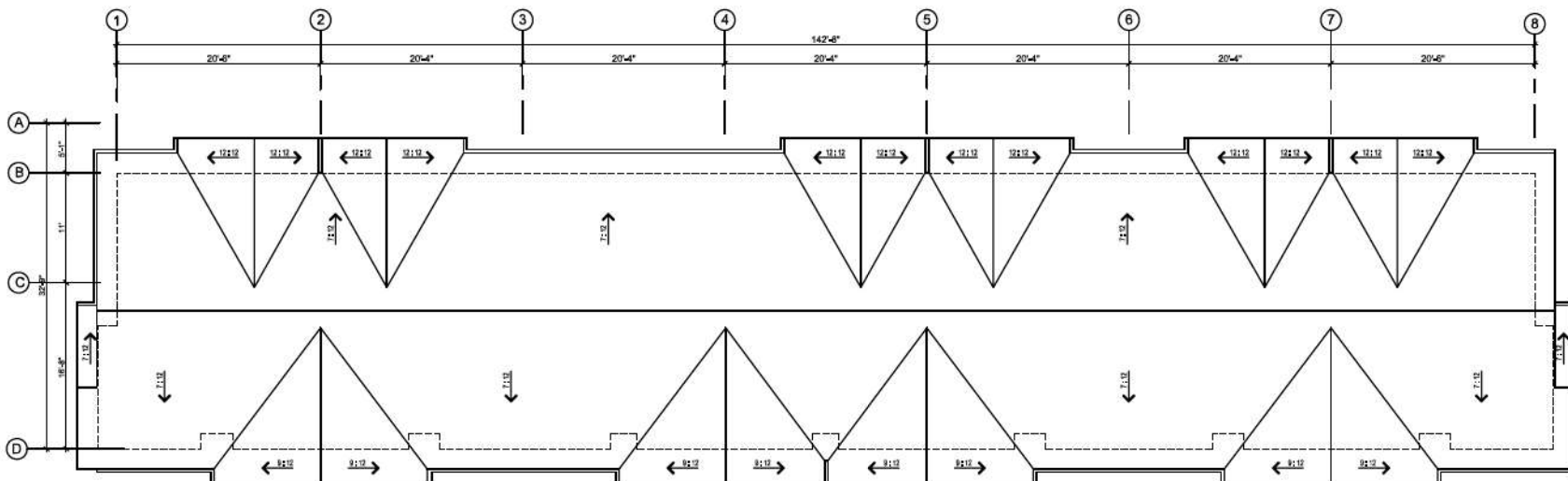
NO.	DATE	REVISION / ISSUED
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2	AUG 16-24	ISSUED FOR REVISION & DP
1	AUG 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

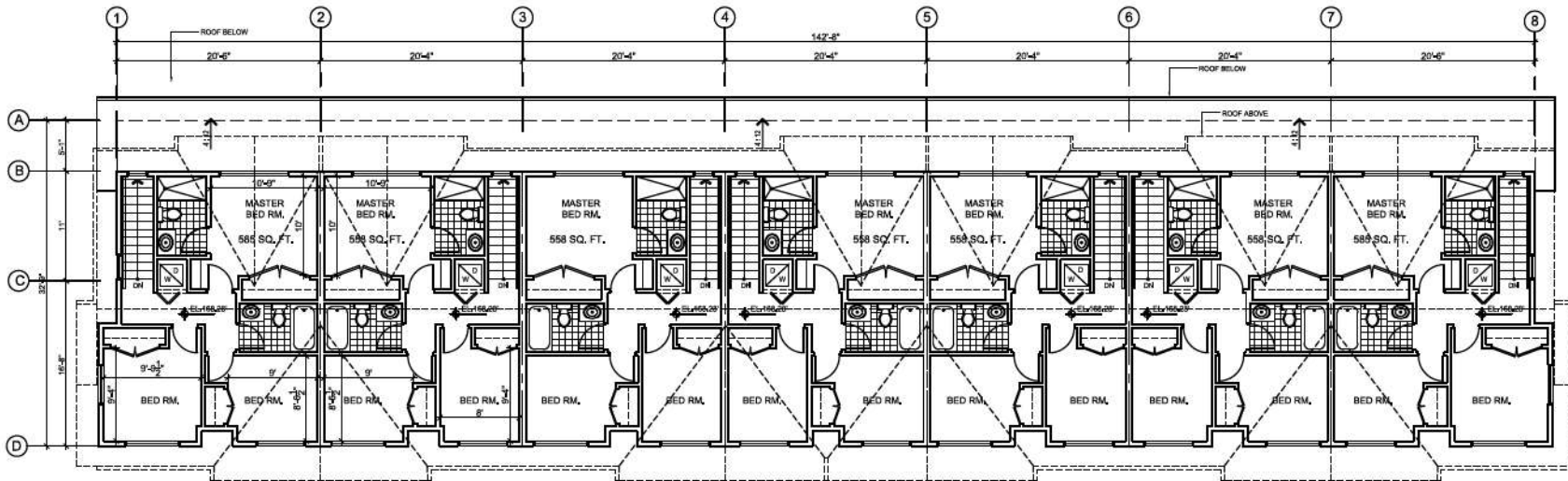
FOR:
LEONE HOMES INC.,
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 4
FIRST & SECOND
FLOOR PLANS

DATE: Sep 2021	SHEET NO:
SCALE: NTS.	
DESIGN: A.A.	A-2.4a
DRAWING: A.A.	
PROJECT NO: -	



ROOF PLAN



THIRD FLOOR PLAN



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1	JUL 02-24	ISSUED FOR PRE-APPLICATION





PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

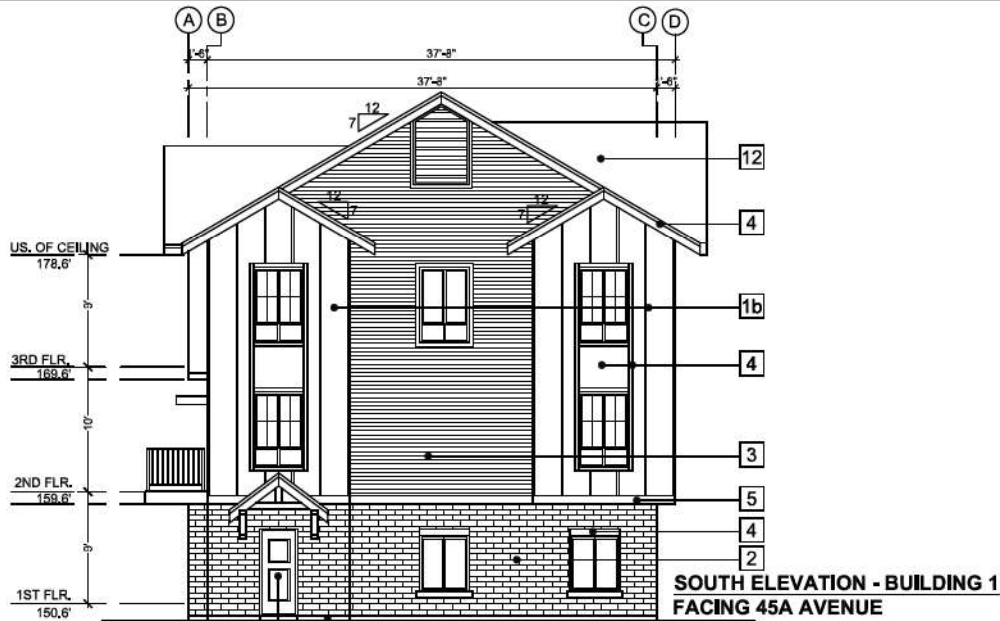
FOR:
LEONE HOMES INC.,
238 - 13096 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 4
THIRD FLOOR &
ROOF PLAN

DATE: Month 2024	SHEET NO:
SCALE: NTS	
DESIGN: AA	A-2.4b
DRAWN: AA	
PROJECT NO: -	

EXTERIOR FINISHES

1a	 HARDIE BOARD & BATTEN : SW 7035 PURE WHITE- BY SHERWIN WILLIAMS (255)	8	ENTRY DOORS & MAN DOORS AT GARAGE PAINTED WOOD 1 SW 8258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b	 HARDIE BOARD & BATTEN : SW 7036 IRON ORE- BY SHERWIN WILLIAMS (251)	9	GARAGE DOORS - SW 7028 INCREDIBLE WHITE- BY SHERWIN WILLIAMS (253) - GLASS
2	 BRICK ONYX IRONSPOT(SMOOTH) - BY LXL, (BLACK MORTAR)	10	PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	 HARDIE SIDING WEATHERED CLIFF- BY JAMES HARDIE MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4	HARDIE PANELS, TRIMS, FASCIAS & WINDOW SILLS SW 8258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	ASPHALT SHINGLE ROOF : MOUNTAIN SLATE - BY IRO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SIDING SW 7033 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	RAILING ALUMINUM - BLACK	14	EXPOSED CONCRETE BASE
7	WINDOWS - VENT GRILLS VINYL -BLACK		



**F. ADAB
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NO.	DATE	REVISION / ISSUED
3	SEP 10-24	REISSUED FOR REZONING & DP
2	AUG 14-24	ISSUED FOR REZONING & DP
1	JUL 22-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 1
WEST AND SOUTH
ELEVATIONS

DATE:	March 2024	SHEET NO:	
SCALE:	N.T.S.		
DESIGN:	A.A.		
DRAWN:	A.A.		
PROJECT NO.:	-		

A-3.1a



F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V1P 9R4
TEL: (604) 981-0003 FAX: (604) 981-0003
E-MAIL: info@fadab.com

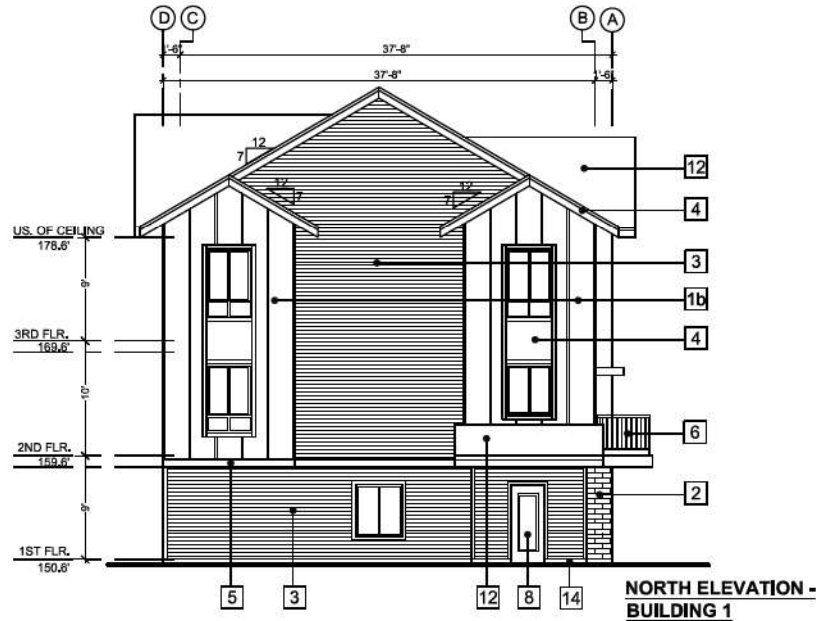
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EXTERIOR FINISHES

1a	HARDIE BOARD & BATTEN: SW 7026 PURE WHITE - BY SHERWIN WILLIAMS (255)	8	ENTRY DOORS & MAN DOORS AT GARAGE PAINTED WOOD: SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b	HARDIE BOARD & BATTEN: SW 7026 PURE WHITE - BY SHERWIN WILLIAMS (255)	9	GARAGE DOORS - SW 7028 INCREDIBLE WHITE - BY SHERWIN WILLIAMS (256) - GLASS
2	BRICK ONIX BRONZSPOT(SMOOTH) - BY LXL (BLACK MORTAR)	10	PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	HARDIE SIDING WEATHERED CLIFF - BY JAMES HARDIE MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4	HARDIE PANELS, TRIMS, FASCIAS & WINDOW SELLS SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	ASPHALT SHINGLE ROOF: MOUNTAIN SLATE - BY IKO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SIDING SW 7039 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	RAILING ALUMINUM - BLACK	14	EXPOSED CONCRETE BASE
7	WINDOWS - VENT GRILLS VINYL - BLACK		



NORTH ELEVATION - BUILDING 1



EAST ELEVATION - BUILDING 1

NO.	DATE	REVISION / ISSUED
3	SEP 10-24	ISSUED FOR PERMITS & DP
2	AUG 16-24	ISSUED FOR PERMITS & DP
1	JUL 12-24	ISSUED FOR PRE-APPLICATION






PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

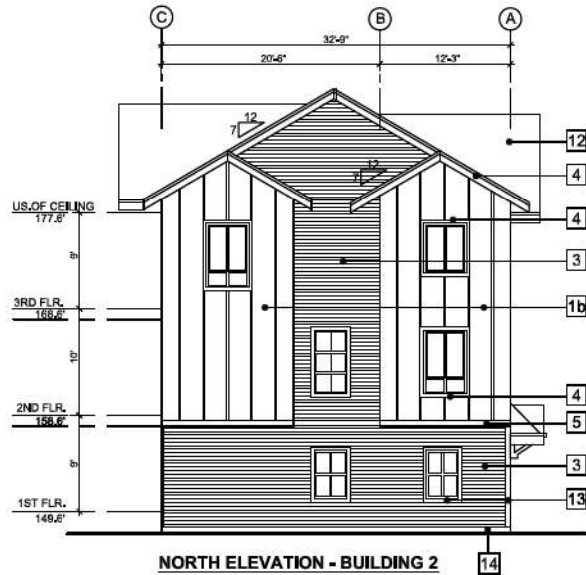
FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 1
NORTH AND EAST
ELEVATIONS

DATE: March 2024	SHEET NO.:
SCALE: NTS	A-3.1b
DESIGN: AA	
DRAWN: AA	
PROJECT NO.:	

EXTERIOR FINISHES

1a	 HARDIE BOARD & BATTEN : SW 7005 PURE WHITE- BY SHERWIN WILLIAMS (255)	8	ENTRY DOORS & MAN DOORS AT GARAGE PAINTED WOOD : SW 6256 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b	 HARDIE BOARD & BATTEN : SW 7099 IRON ORE- BY SHERWIN WILLIAMS (251)	9	GARAGE DOORS - SW 7028 INCREDIBLE WHITE- BY SHERWIN WILLIAMS (256) - GLASS
2	 BRICK ONYX IRONSPOT(SMOOTH)- BY LXL, (BLACK MORTAR)	10	PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	 HARDIE SIDING WEATHERED CLIFF- BY JAMES HARDIE MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4	HARDIE PANELS, TRIMS, FASCIAS & WINDOW SILLS SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	 ASPHALT SHINGLE ROOF : MOUNTAIN SLATE - BY K&D ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SIDING SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	RAILING ALUMINUM - BLACK	14	EXPOSED CONCRETE BASE
7	WINDOWS - VENT GRILLS VINYL - BLACK		



**F. ADAB
ARCHITECTS
INC.**

#100-1000 ROOSEVELT CRESCENT
#2070 VANCOUVER, BC V7P 3S6
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NO.	DATE	REVISION / ISSUED
3	SEP 10-24	ISSUED FOR REZONING & DP
2	AUG 18-24	ISSUED FOR REZONING & DP
1	AUG 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.





FOR:
LEONE HOMES INC.,
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

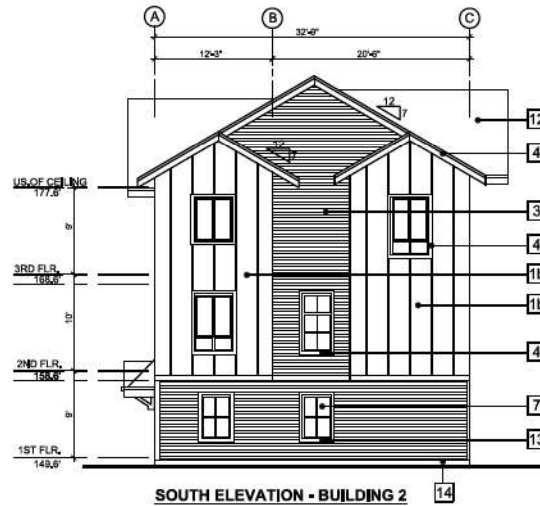
DRAWING TITLE:
BUILDING 2
NORTH & WEST
ELEVATIONS

DATE:	SEP 2021	SHEET NO.:	
SCALE:	NTS		
DESIGN:	AA		
DRAWING:	AA		
PROJECT NO.:	-		

A-3.2a

EXTERIOR FINISHES

1a	 HARDIE BOARD & BATTEN : SW 7025 PURE WHITE- BY SHERWIN WILLIAMS (255)	8	ENTRY DOORS & MAIN DOORS AT GARAGE PAINTED WOOD: SW 5258 TRECORN BLACK - BY SHERWIN WILLIAMS (251)
1b	 HARDIE BOARD & BATTEN : SW 7059 IRON ORES- BY SHERWIN WILLIAMS (251)	9	GARAGE DOORS - SW 7028 INCREDIBLE WHITE- BY SHERWIN WILLIAMS (256) - GLASS
2	 BRICK ONYX IRONSPOT(SMOOTH)- BY LXL (BLACK MORTAR)	10	PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	 HARDIE SIDING WEATHERED CLIFF- BY JAMES HARDIE MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4	HARDIE PANELS, TRIMS, FASCIAS & WINDOW SILLS SW 5258 TRECORN BLACK - BY SHERWIN WILLIAMS (251)	12	ASPHALT SHINGLE ROOF : MOUNTAIN SLATE - BY KO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SIDING SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	RAILING ALUMINUM - BLACK	14	EXPOSED CONCRETE BASE
7	WINDOWS - VENT GRILLS VINYL - BLACK		



**F. ADAB
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3	SEP 10-24	ISSUED FOR REVISIONS & DP
2	AUG 16-24	ISSUED FOR REVISIONS & DP
1	AUG 02-24	ISSUED FOR PRE-APPLICATION
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.,
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 2
EAST AND SOUTH
ELEVATIONS

DATE:	Month 2024	SHEET NO.:
SCALE:	NTS	
DESIGN:	AA	A-3.2b
DRAWN:	AA	
PROJECT NO.:	-	



**F. ADAB
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#138-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3M4
TEL: (604) 967-0003 FAX: (604) 967-0033
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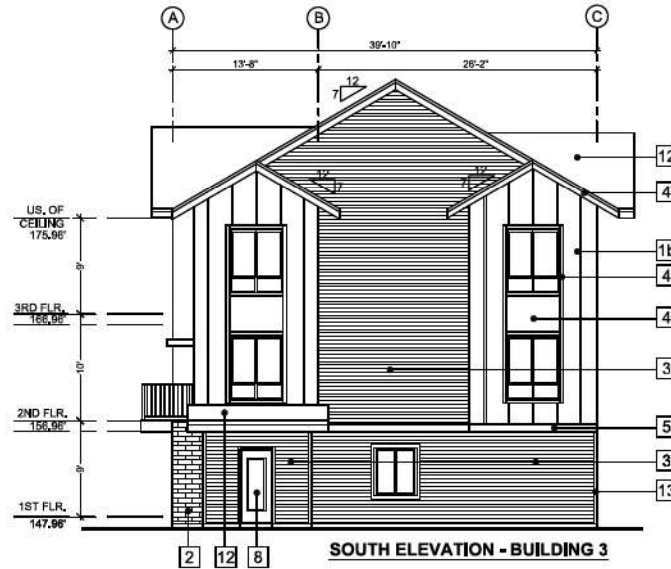
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EXTERIOR FINISHES

- | | |
|--|---|
| <p>1a HARDE BOARD & BATTEN :
SW 7005 PURE WHITE -
BY SHERWIN WILLIAMS (255)</p> <p>1b HARDE BOARD & BATTEN :
SW 7059 IRON ORE -
BY SHERWIN WILLIAMS (251)</p> <p>2 BRICK
ORIX IRONSPOT(SMOOTH) - BY LXL
(BLACK MORTAR)</p> <p>3 HARDE SIDING
WEATHERED CLIFF -
BY JAMES HARDE MAGNOLIA HOME</p> <p>4 HARDE PANELS, TRIMS, FASCIAS & WINDOW SILLS
SW 6258 TRICORN BLACK -
BY SHERWIN WILLIAMS (251)</p> <p>5 6" TRIMS, BAND BOARDS & BRACKETS -
NATURAL STAINED MAPLE WOOD</p> <p>6 RAILING
ALUMINUM - BLACK</p> <p>7 WINDOWS - VENT GRILLS
VINYL - BLACK</p> | <p>8 ENTRY DOORS & MAN DOORS AT GARAGE
PAINTED WOOD :
SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)</p> <p>9 GARAGE DOORS
- SW 7028 INCREDIBLE WHITE - BY SHERWIN WILLIAMS (258)
- GLASS</p> <p>10 PRIVACY SCREEN
- BLACK ALUMINUM FRAME
- OBSCURE GLASS (SANDBLASTED)</p> <p>11 SOFFITS
VINYL - BLACK</p> <p>12 ASPHALT SHINGLE ROOF :
MOUNTAIN SLATE - BY BCO ROYAL ESTATE
(FASCIA TO MATCH ROOF COLOR)</p> <p>13 EYEBROWS & TRIMS AT SIDING
SW 7036 ACCESSIBLE BEIGE -
BY SHERWIN WILLIAMS (249)</p> <p>14 EXPOSED CONCRETE BASE</p> |
|--|---|



NO.	DATE	REVISION / ISSUED
3	SEP 10 -24	REISSUED FOR REZONING & DP
2	AUG 14 -24	ISSUED FOR REZONING & DP
1	JUL 22 -24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13986 CAMEB ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDING 3
SOUTH & WEST
ELEVATIONS**

DATE: March 2024	SHEET NO:
SCALE: NTS.	
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO: -	

A-3.3a



F. ADAB ARCHITECTS INC.

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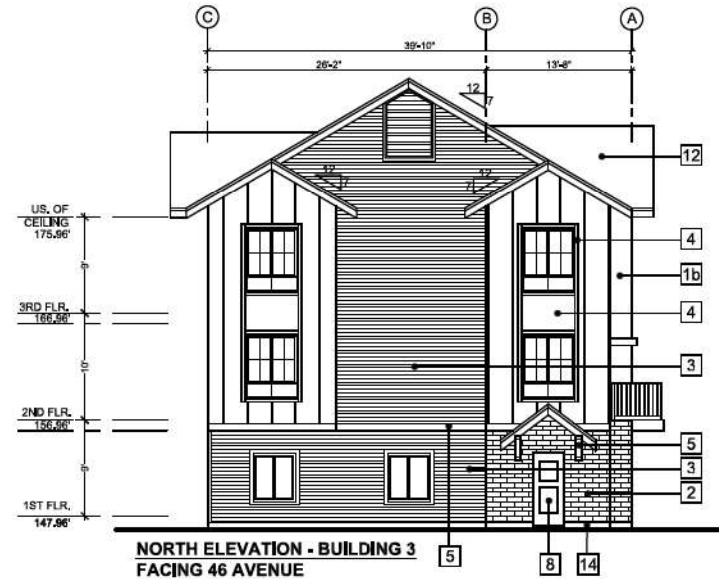
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EXTERIOR FINISHES

- | | |
|--|---|
| <p>1a HARDE BOARD & BATTEN :
SW 7005 PURE WHITE - BY SHERWIN WILLIAMS (255)</p> <p>1b HARDE BOARD & BATTEN :
SW 7066 IRON ORE - BY SHERWIN WILLIAMS (251)</p> <p>2 BRICK
ONYX IRONSPOT(SMOOTH) - BY LXL (BLACK MORTAR)</p> <p>3 HARDE SIDING
WEATHERED CLIFF - BY JAMES HARDE MAGNOLIA HOME</p> <p>4 HARDE PANELS, TRIMS, FASCIAS & WINDOW SILLS
SW 6256 TRICORN BLACK - BY SHERWIN WILLIAMS (251)</p> <p>5 6" TRIMS, BAND BOARDS & BRACKETS -
NATURAL STAINED MAPLE WOOD</p> <p>6 RAILING
ALUMINUM - BLACK</p> <p>7 WINDOWS - VENT GRILLS
VINYL - BLACK</p> | <p>8 ENTRY DOORS & MAN DOORS AT GARAGE
PAINTED WOOD :
SW 6256 TRICORN BLACK - BY SHERWIN WILLIAMS (251)</p> <p>9 GARAGE DOORS
- SW 7028 INCREDIBLE WHITE - BY SHERWIN WILLIAMS (256)
- GLASS</p> <p>10 PRIVACY SCREEN
- BLACK ALUMINUM FRAME
- OBSCURE GLASS (SANDBLASTED)</p> <p>11 SOFFITS
VINYL - BLACK</p> <p>12 ASPHALT SHINGLE ROOF :
MOUNTAIN SLATE - BY IKO ROYAL ESTATE
(FASCIA TO MATCH ROOF COLOR)</p> <p>13 EYEBROWS & TRIMS AT SIDING
SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (269)</p> <p>14 EXPOSED CONCRETE BASE</p> |
|--|---|



NO.	DATE	REVISION / ISSUED
3	SEP 10 -24	REISSUED FOR REZONING & DP
2	AUG 18 -24	ISSUED FOR REZONING & DP
1	JUL 22 -24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDING 3
NORTH & EAST
ELEVATIONS**

DATE: March 2024	SHEET NO:
SCALE: NTS.	A-3.3b
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO: -	



**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
#2070 VANCOUVER, BC V7P 3S6
TEL: (604) 967-0033 FAX: (604) 967-0033
E-MAIL: info@f-adab.com

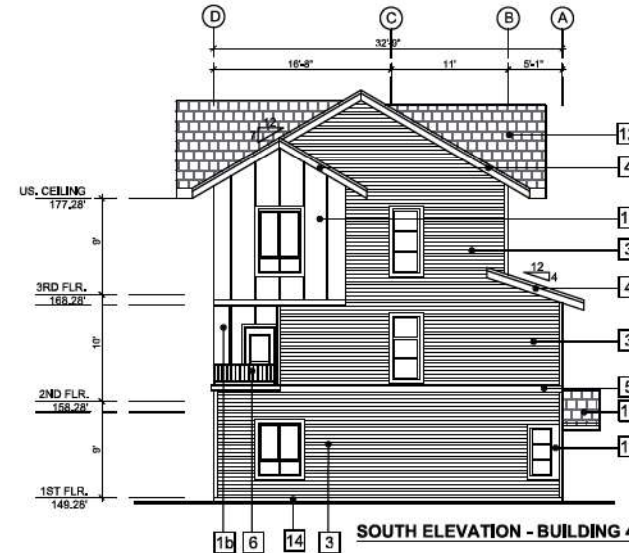
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EXTERIOR FINISHES

1a	HARDBOARD & BATTEN : SW 7005 PURE WHITE- BY SHERWIN WILLIAMS (256)	8	ENTRY DOORS & MAN DOORS AT GARAGE PAINTED WOOD SW 6256 TRICOORN BLACK - BY SHERWIN WILLIAMS (251)
1b	HARDBOARD & BATTEN : SW 7069 IRON ORE- BY SHERWIN WILLIAMS (251)	9	GARAGE DOORS - SW 7028 INCREDIBLE WHITE- BY SHERWIN WILLIAMS (256) - GLASS
2	BRICK ONYX (IRON SPOT) (SMOOTH) - BY D.J. (BLACK MORTAR)	10	PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	HARDBOARD SIDING WEATHERED CLIFF- BY JAMES HARDE: MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4	HARDBOARD PANELS, TRIMS, FASCIAS & WINDOW SILLS SW 6256 TRICOORN BLACK- BY SHERWIN WILLIAMS (251)	12	ASPHALT SHINGLE ROOF : MOUNTAIN SLATE - BY KO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SIDING SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	RAILING ALUMINUM - BLACK	14	EXPOSED CONCRETE BASE
7	WINDOWS - VENT GRILLS VINYL - BLACK		



SOUTH ELEVATION - BUILDING 4



EAST ELEVATION - BUILDING 4

3	SEP 10-24	ISSUED FOR REVISION B & D
2	AUG 18-24	ISSUED FOR REVISION B & D
1	JUL 02-24	ISSUED FOR PRE-APPLICATION
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.,
238 - 13996 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

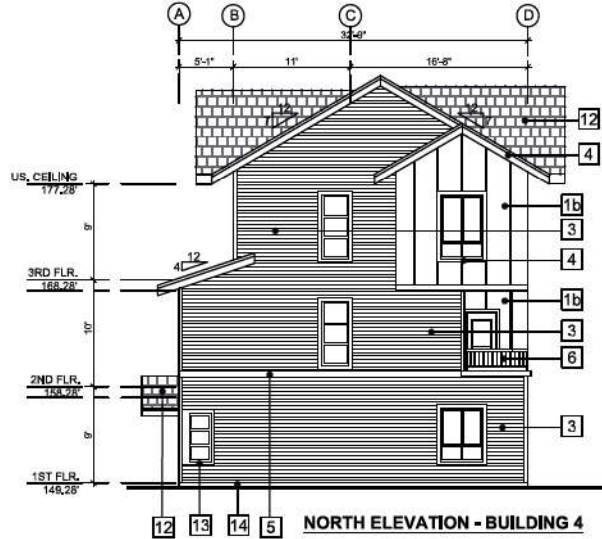
DRAWING TITLE:
BUILDING 4
EAST & SOUTH
ELEVATIONS

DATE:	SEP 2021	SHEET NO.:	
SCALE:	NTS		
DESIGN:	AA		
DRAWING:	AA		
PROJECT NO.:	-		

A-3.4a

EXTERIOR FINISHES

1a	HARDEE BOARD & BATTEN : SW 7005 PURE WHITE - BY SHERWIN WILLIAMS (255)	8	ENTRY DOORS & MAN DOORS AT GARAGE PAINTED WOOD : SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b	HARDEE BOARD & BATTEN : SW 7069 IRON ONE - BY SHERWIN WILLIAMS (251)	9	GARAGE DOORS - SW 7028 INCREDIBLE WHITE - BY SHERWIN WILLIAMS (256) - GLASS
2	BRICK ONYX IRONSPOT (SMOOTH) - BY I.X.L. (BLACK MORTAR)	10	PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	HARDEE SIDING WEATHERED CLIFF - BY JAMES HARDEE MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4	HARDEE PANELS, TRIMS, FASCIAS & WINDOW SILLS SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	ASPHALT SHINGLE ROOF : MOUNTAIN SLATE - BY IKO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SIDING SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	RAILING ALUMINUM - BLACK	14	EXPPOSED CONCRETE BASE
7	WINDOWS - VENT GRILLS VINYL -BLACK		



NORTH ELEVATION - BUILDING 4



WEST ELEVATION - BUILDING 4



F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT
#2070 VANCOUVER, BC V7P 3R6
TEL: (604) 967-0033 FAX: (604) 967-0033
E-MAIL: info@fadab.com

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2	AUG 16-24	ISSUED FOR PERMITS & DP
1	AUG 02-24	ISSUED FOR PRE-APPLICATION

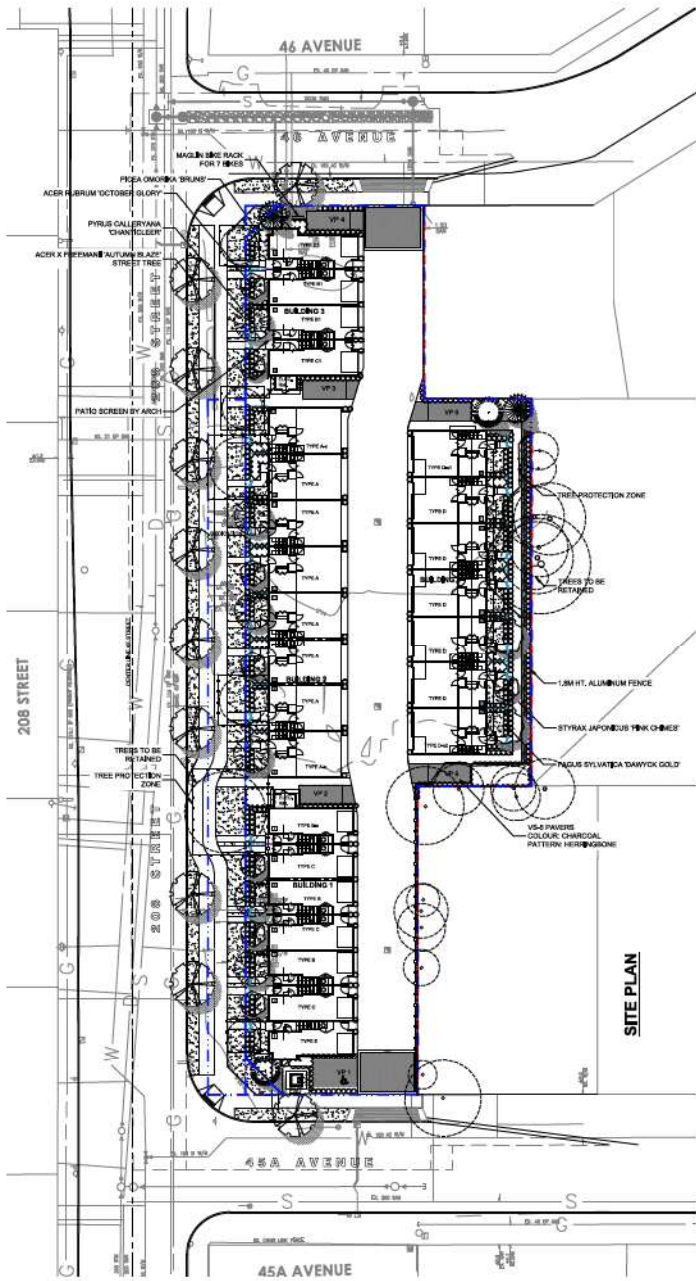
PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.,
238 - 13096 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 4
WEST & NORTH
ELEVATIONS

DATE:	SEP 2021	SHEET NO.:	
SCALE:	NTS		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		

A-3.4b



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PMG PROJECT NUMBER: 24-069
TREE				PLANTED SIZE / REMARKS
1	2	CHAMAECYPARISS OBTUSA 'GRACILE'	SLENDER HINGE/FALSE CYPRESS	3M HT. BAB. CLIMATE RESILIENT
2		FAGUS SYLVATICA 'DANYOK GOLD'	DANYOK GOLD BIRCH	8CM CAL. BAB
3		PIEZA OKONKA BRUNSI	BRUNSI BERNINI SPRUCE	3M HT. BAB
4		PYRUS CALLERYANA CHANTICLEER	CHANTICLEER PEAR	8CM CAL. 2M HTD. BAB
5		STYRAX JAPONICUS PINK O-BELL	PINK FLOWERED JAPANESE SNOWBELL	8CM CAL. BAB

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CALS STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER REQUIREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MADE PLANT MATERIAL AVAILABLE FOR OPTIMAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL, UNSPECIFIED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF 10 BUSINESS DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. * DISTRIBUTION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND HARDWARE MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BRACKLES NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTES: 38 REPLACEMENT TREES REQUIRED; 20 REPLACEMENT TREES PROVIDED.



MAGLIN BIKE RACK

MATERIAL LEGEND

	LAWN
	BELGARD CORTEZ 36MM-HERRINGBONE, NATURAL COLOUR
	CONCRETE
	BELGARD VISA, CHARCOAL COLOUR, HERRINGBONE PATTERN
	GRAVEL

FENCE LEGEND

	1.2M HT. ALUMINUM FENCE
	1.2M HT. ALUMINUM FENCE
	1.2M HT. PATIO SCREEN BY ARCH



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p. 604 294-0011 ; f. 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	BY
1	24.MAY.24	ISSUED FOR I/P	DL
2	24.MAY.24	CITY COMMENTS	DL
3	24.MAY.24	NEW SITE PLAN	DL
4	24.MAY.24	PER CLIENT COMMENTS	DL

NO. DATE REVISION DESCRIPTION BY

CLIENT:

PROJECT:
26 UNIT TOWNHOUSE DEVELOPMENT
4560, 4570, 4580 208 STREET & 20815 45A AVENUE CITY OF LANGLEY, BC

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 24 MAY 24 DRAWING NUMBER:
SCALE: 1:300
DRAWN: RL
DESIGN: RL
CHD: YH

L1
OF 5

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REEL:

NO.	DATE	REVISION DESCRIPTION	BY
1		ISSUED FOR I/P	
2		CITY COMMENTS	SL
3		NEW I/P PLAN	SL/PL
4		FOR CITY COMMENTS	SL/PL

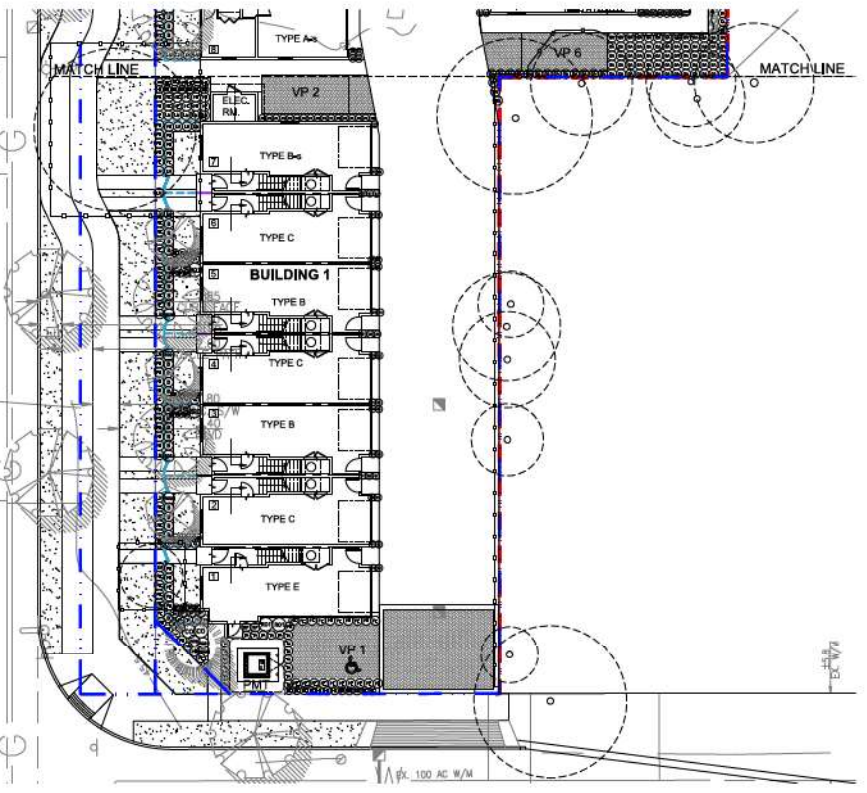
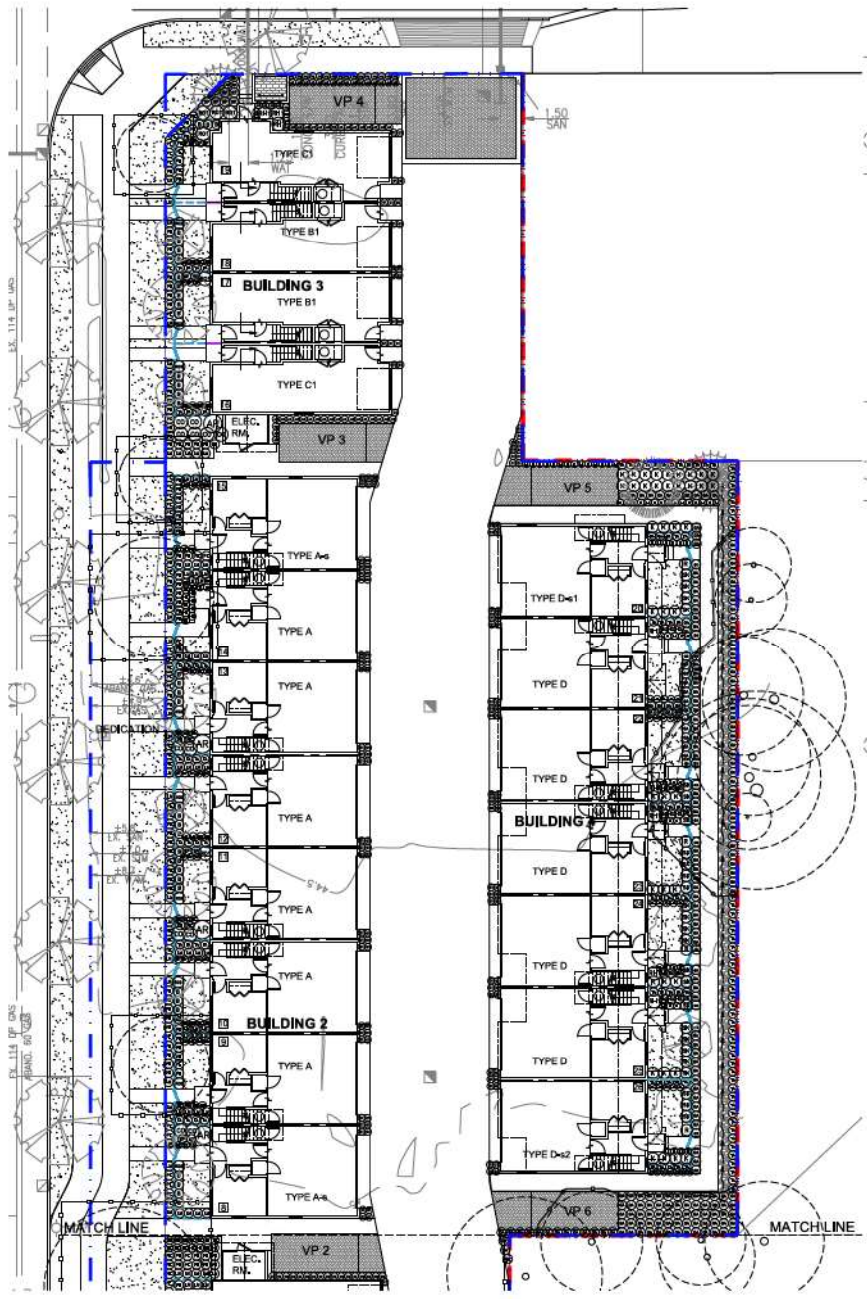
CLIENT:

PROJECT:
26 UNIT TOWNHOUSE DEVELOPMENT
4560, 4570, 4580 208 STREET
& 20815 45A AVENUE
CITY OF LANGLEY, BC

DRAWING TITLE:
SHRUB PLAN

DATE: 24 MAY 20 SCALE: 1:150
DRAWN: RJ
DESIGN: RJ
CHECKED: YH

DRAWING NUMBER:
L2
OF 5



KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	REMARKS
SHRUB	4	ARBITUS UNDO COMPACTA	COMPACT STRAWBERRY BUSH	#3 POT: 80CM	
	61	BURUS MICROPHYLLA WINTER GEM	LITTLE LEAF BOX	#3 POT: 40CM	
	14	CORNUS SERICEA	RED TWIG DOGWOOD	#2 POT: 80CM	
	41	SAUBA LATIFOLIA SLP	DWARF MOUNTAIN LAUREL	#3 POT: 60CM	
	4	RHOODODENDRON 'BOW BELLS'	RHOODODENDRON	#3 POT: 50CM	
	8	RHOODODENDRON 'P. J. W.'	RHOODODENDRON LIGHT PURPLE, L. MAY	#2 POT: 50CM	
	10	ROSA MELAND 'SOKKA'	ROSEA ROSE	#2 POT: 40CM	
	18	ROSA MELAND 'RED'	MELAND ROSE, RED	#2 POT: 40CM	
	28	SPINEX JAPONICA (20% MAX)	JAPANESE SPINEX	#2 POT: 30CM	
	21	SPINEX JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPINEX, PINK	#2 POT: 40CM	
	165	TAXUS X MEDIA 'LILLE'	HILLBURY	1.5M 888	
SHRUB	170	CAREX FLAGELLIFERA 'NINE'	NINE WEETING SEDGE	#1 POT	
	26	CAREX OPHIOGLOSSIFOLIA	EVERGOLD JAPANESE SEDGE	#1 POT	
	210	FENESTRUM ALCOCKINGII'S 'HAMELIN'	DWARF FOUR-STAR GRASS	#1 POT	
PERENNIAL	15	ASTILEJA 'ARISTON' 'RED SENTINEL'	FALSE SPINEX, RED	#1 POT	
	41	ECHINACEA PURPUREA	PURPLE CONEFLOWER	15CM POT	
	93	HEMEROCALLIS 'WHITE TEMPTATION'	DAY LILY, WHITE	#1 POT: 20CM	
	16	HOSTA 'PATIOT'	HOSTA, GREEN AND WHITE UNREGGATED	#1 POT: 1 EYE	
	81	LAUREOLA ANGLUSTI 'POLA MUMSTEAD'	ENGLISH LAVENDER, COMPACT, VIOLETA BLUE	#1 POT	
	78	LEUCOPHYA MISCAR	BLUE LEUCOPY	#1 POT	
	208	GALATHEA BIANLON	SALAL	#1 POT: 20CM	

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TREE



FAGUS SYLVATICA



CHAMAECYPARIS OBTUSA



PICEA OMORIKA 'BRUNS'



PYRUS CALLERYANA



STYRAX JAPONICUS 'PINK CHIMES'

SHRUB



ARBUTUS UNEDO 'COMPACTA'



ROSA MEIDLAND 'RED'



BUXUS MICROPHYLLA



CORNUS SERICEA



KALMIA LATIFOLIA 'ELF'



SPIRAEA JAPONICA



RHODODENDRON



CAREX FLAGELLIFERA 'KIWI'



SKIMMIA JAPONICA



TAXUS X MEDIA 'HILLI'



CAREX OSHIMENSIS



PENNISETUM ALOPECUROIDES



GAULTHERIA SHALLON



HEMEROCALLIS



HOSTA 'PATRIOT'



LAVENDULA ANGUSTIFOLIA



ROSA MEIDLAND 'BONICA'



LIRIOPE MUSCARI



ASTILBE x ARENDSII



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REVISIONS:

NO.	DATE	REVISION DESCRIPTION	DR.

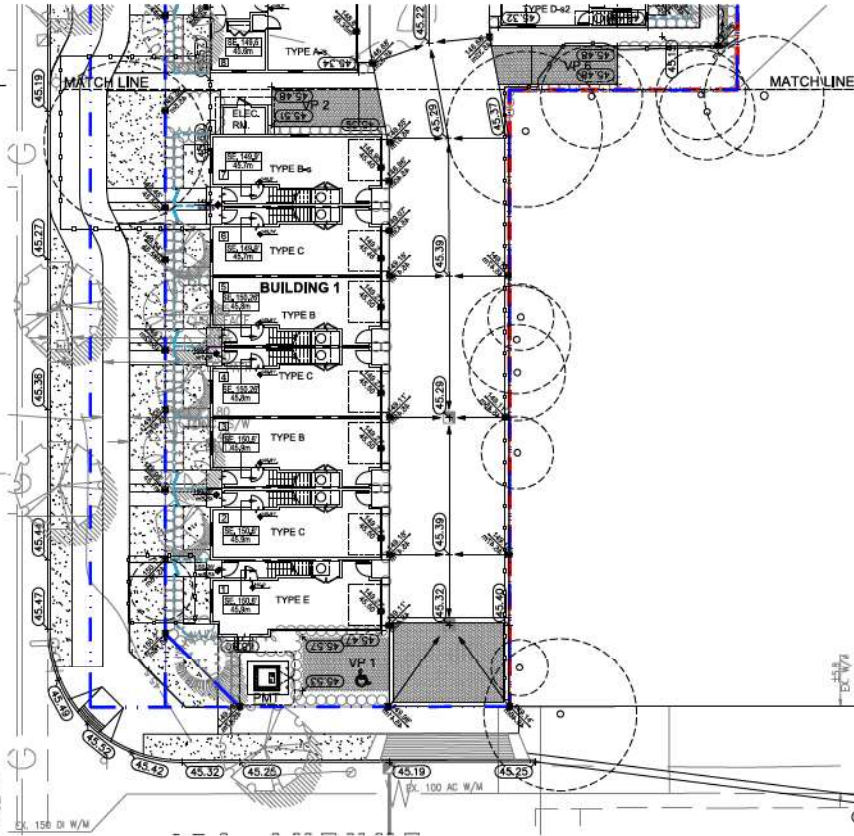
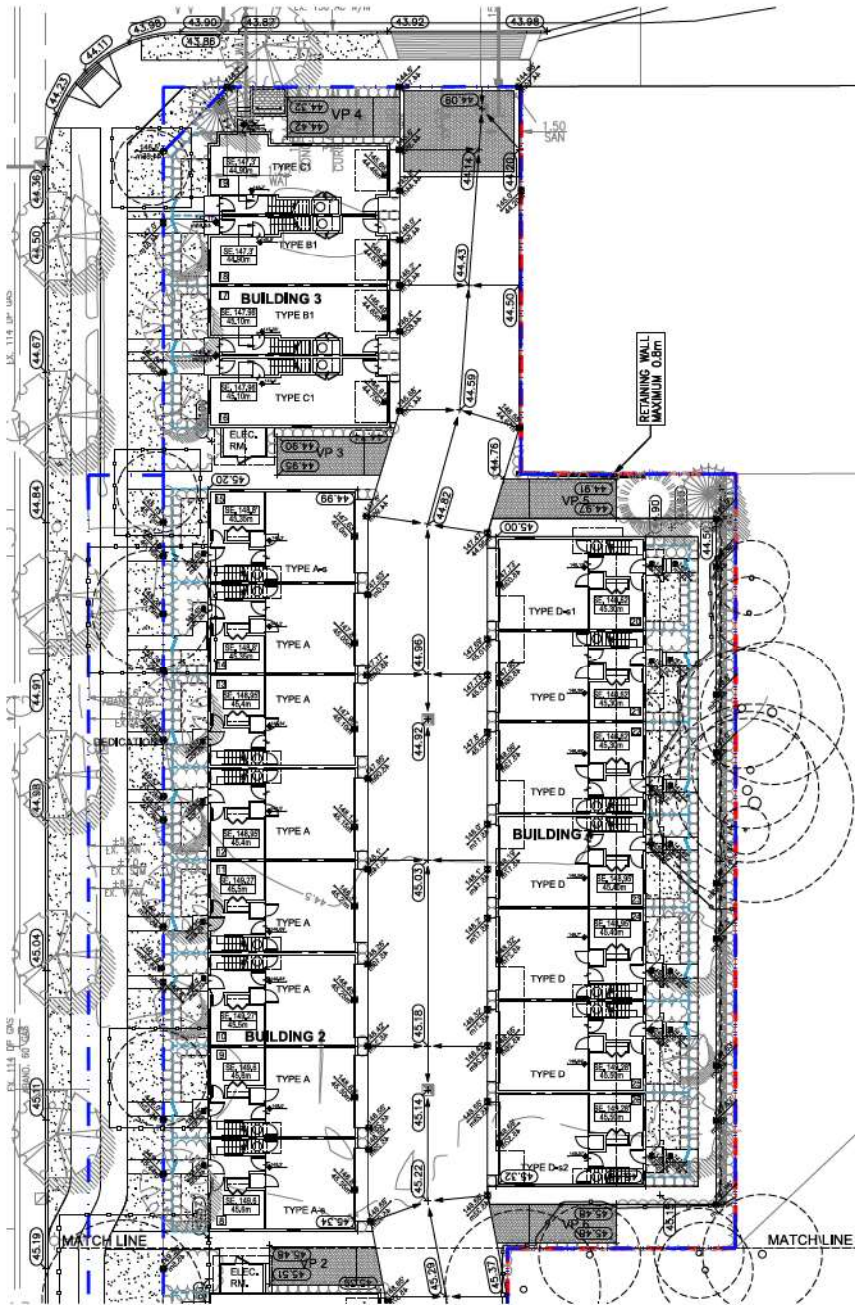
NO.	DATE	REVISION DESCRIPTION	DR.
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2	24.MAY.23	CITY COMMENTS	
3	24.MAY.23	NEW I/P PLAN	
4	24.MAY.23	PER CLIENT COMMENTS	

CLIENT:

PROJECT:
**26 UNIT TOWNHOUSE
DEVELOPMENT**
4560, 4570, 4580 208 STREET
& 20815 45A AVENUE
CITY OF LANGLEY, BC

DRAWING TITLE:
**PLANT
IMAGES**

DATE: 24.MAY.23 DRAWING NUMBER:
SCALE:
DRAWN: RJ **L3**
DESIGN: RJ
CHECKED: YH **OF 5**



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REAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	2014.05.29	ISSUED FOR I/P	DL
2	2014.06.10	CITY COMMENTS	DL
3	2014.06.10	NEW I/P PLAN	DL
4	2014.06.10	FOR CLIENT COMMENTS	DL

CLIENT:

PROJECT:
**26 UNIT TOWNHOUSE
DEVELOPMENT**

4560, 4570, 4580 208 STREET
& 20815 45A AVENUE
CITY OF LANGLEY, BC

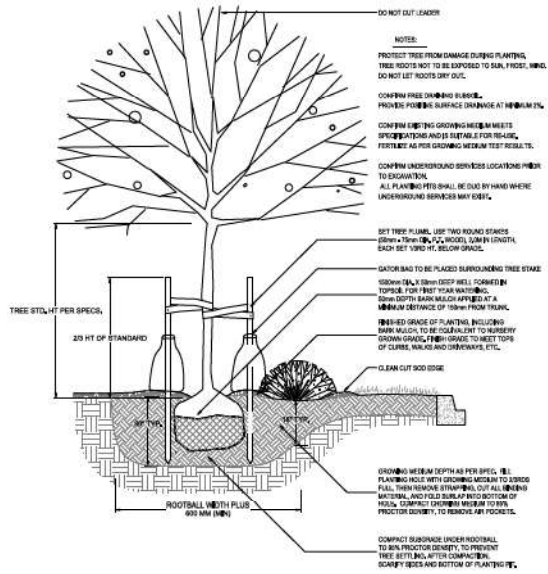
DRAWING TITLE:
**GRADING
PLAN**

DATE: 24 MAY 2014 DRAWING NUMBER:
SCALE: 1:150
DRAWN: RJ
DESIGN: RJ
CHECKED: YH

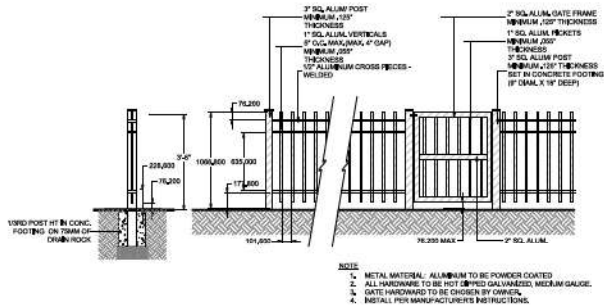
L4
OF 5



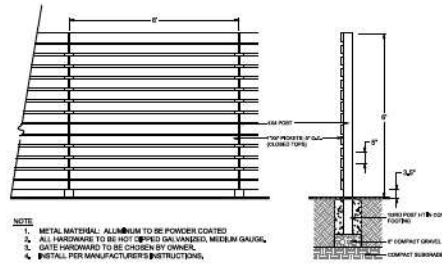
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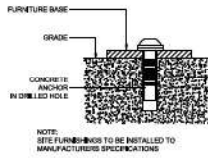
1 TREE AND SHRUB PLANTING AT GRADE
1:25



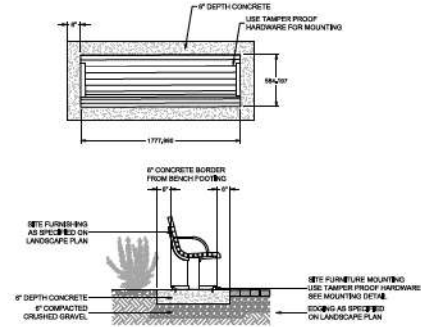
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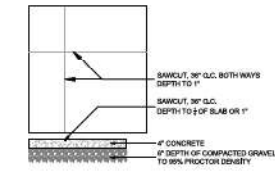
3 1.8M HT. ALUMINUM FENCE
1:25



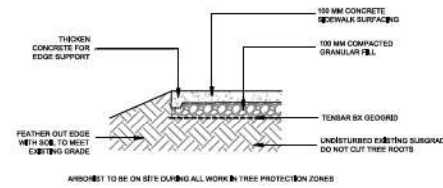
4 SITE FURNITURE MOUNTING
1:25



6 BENCH ON CONCRETE PAD
1:25



7 CONCRETE SAW CUTS
1:25



8 PAVING OVER TREE ROOTS
1:12

NO.	DATE	REVISION DESCRIPTION	DR.
1	2024.05.28	ISSUED FOR IF	
2	2024.05.28	CITY COMMENTS	SL
3	2024.05.28	NEIGH PLAN	SL/SL
4	2024.05.28	PER CITY COMMENTS	SL

CLIENT:

PROJECT:
26 UNIT TOWNHOUSE DEVELOPMENT
4560, 4570, 4580 208 STREET
& 20815 45A AVENUE
CITY OF LANGLEY, BC

DRAWING TITLE:
LANDSCAPE DETAILS

DATE: 24 MAY 28 DRAWING NUMBER:
SCALE: AS SHOWN
DRAWN: RJ
DESIGN: RJ
CHECKED: YR
OF 5