

THE HUDSON

5382 - 200 STREET

CITY OF LANGLEY, BC

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PID: 031-897-215
LOT A, DISTRICT LOT 305, GROUP 2 NEW WESTMINSTER
DISTRICT PLAN EPP120042



ARCHITECTURAL NOTES

1. REFER TO PROJECT MANUAL PREPARED BY KEYSTONE AND TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS

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4	ISSUED FOR 90% COORD	22-05-13
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9	ISSUED FOR TENDER	23-01-28
11	ISSUED FOR CONSTRUCTION	23-08-22
12	ISSUED FOR RZ/DP AMENDMENT	24-06-04

SITE INSTRUCTION #: - - -
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PROJECT	
THE HUDSON	
5382 - 200 STREET	
SHEET TITLE	
COVER PAGE	

JOB No.: 213-121	DRAWING NO.
Scale:	A0.01
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Drawn By: SHZ/DJT	

PROJECT & ZONING DATA

1.1.0 PROJECT DATA SUMMARY

PROJECT:	THE HUDSON
PROPOSED ZONING:	CD (COMPREHENSIVE DEVELOPMENT ZONE)
EXISTING ZONING:	RS1 (SINGLE FAMILY RESIDENTIAL)
CIVIC ADDRESS:	5382 - 200 STREET, CITY OF LANGLEY, BC
LEGAL DESCRIPTION (CORRESPONDING WITH ADDRESS ORDER):	PID: 031-897-215 LOT A, DISTRICT LOT 305, GROUP 2 NEW WESTMINSTER DISTRICT PLAN EPP120042
VARIANCES PREVIOUSLY APPLIED FOR & APPROVED:	WALL-MOUNT BIKE STALL PERMITTED: 40%, PROVIDED : 47%
BYLAW EXEMPTIONS:	CHIMNEYS, GUTTERS, SILLS, STEPS, EAVES, SUNLIGHT CONTROL PROJECTIONS, CANOPIES, CANTI-LEVERED BALCONIES, OPEN PORCHES, OR ORNAMENTAL FEATURES PROJECT BEYOND THE FACE OF A BUILDING, THE MINIMUM DISTANCE TO AN ABUTTING LOT LINE OR HIGH PRESSURE GAS OR OIL TRANSMISSION PIPELINE RIGHT OF WAY AS REQUIRED ELSEWHERE MAYBE REDUCED BY NOT MORE THAN 0.6 METRES, PROVIDING SUCH A REDUCTION SHALL APPLY ONLY TO THE PROJECTING FEATURE.
BUILDING AREA DEFINITION (BCBC 2018):	THE GREATEST HORIZONTAL AREA OF A BUILDING ABOVE GRADE WITHIN THE OUTSIDE SURFACE OF EXTERIOR WALLS OR WITHIN THE OUTSIDE SURFACE OF EXTERIOR WALLS AND THE CENTER-LINE OF FIREWALLS.
FSR DEFINITION (ZONING):	THE GROSS FLOOR AREA (GFA) DIVIDED BY THE SITE'S (LOT'S) AREA.
GROSS FLOOR AREA DEFINITION (ZONING):	ALL THE AREA OF THE FLOOR ENCLOSED BY THE OUTSIDE EDGE OF THE EXTERIOR WALLS OF A BUILDING, INCLUDING STAIRWAYS, ELEVATOR SHAFTS, STORAGE ROOMS AND MECHANICAL ROOMS.
FINISHED GRADE (ZONING):	THE LOWEST AVERAGE LEVELS OF THE PROPOSED GRADES ADJACENT TO EACH EXTERIOR WALL OF A BUILDING.
PROPOSED GRADE (ZONING):	THE AVERAGE BETWEEN THE ELEVATIONS IMMEDIATELY ADJACENT TO THE EXTERIOR BUILDING WALL AND THE NATURAL ELEVATION AT THE PROPERTY LINE. THESE MEASUREMENTS SHALL BE TAKEN AT 5.0 METRE INTERVALS ALONG THE EXTERIOR BUILDING WALLS AT RIGHT ANGLES TO THE WALLS, EXCLUDING DRIVEWAYS, STAIRS AND RAMPS.
BUILDING HEIGHT DEFINITION (ZONING):	FOR ALL OTHER USES WHERE MEASURED IN METRES, THE VERTICAL DISTANCE MEASURED IN METRES FROM THE FLOOR OF THE FIRST STOREY TO THE CEILING OF THE UPPERMOST STOREY; AND FOR ALL OTHER USES WHERE MEASURED IN STOREYS, THE NUMBER OF STOREYS FROM THE FIRST STOREY TO THE UPPER MOST STOREY.
MAXIMUM BUILDING HEIGHT (ZONING & BCBC 2018):	6 STOREYS (ZONING) / 6 STOREYS (BCBC 3.2.2)
MINIMUM BUILDING ELEVATION:	REQUIRED - 10.03m [FROM CIVIL ENGINEER]; PROPOSED - 11.35m
FINISHED GRADE (ZONING):	9.92m
LOWEST AVERAGE GRADE (BCBC 2018):	9.72m
PROPOSED BUILDING HEIGHT (ZONING):	6 STOREY - 19.01m [REFER TO BUILDING HEIGHT DEFINITION ABOVE]
PROPOSED BUILDING HEIGHT (BCBC 2018):	6 STOREY - 15.89m [REFER TO BCBC 2018, GROUP C 3.2.2.50 (1)(c)]
1ST STOREY TO UPPERMOST FLOOR LEVEL:	MAXIMUM - 18m [BCBC 2018, GROUP C 3.2.2.50 (1)(c), GROUP D 3.2.2.58 (1)(c)]; PROPOSED - 15.89m
1ST STOREY TO UPPERMOST COMBUSTIBLE ROOF:	MAXIMUM - 25m [BCBC 2018, GROUP C 3.2.2.50 (2)(c), GROUP D 3.2.2.58 (2)(c), NON-COMBUSTIBLE ROOF CONSTRUCTION IF > 25m] PROPOSED - 22.22m
FIRE ACCESS ROUTE TO UPPERMOST FLOOR LEVEL:	MAXIMUM - 20m [BCBC 2018 3.2.5.6(2)]; PROPOSED - 17.89m
SITE AREA ("LOT" PER ZONING):	GROSS: 56,154 SF (5,217 SM) (1.29 ACRES) (0.5217 HECTARE) NET (AFTER DEDICATIONS): 53,607 SF (4,980 SM) (1.23 ACRES)
LOT COVERAGE:	18,820 SF / 56,154 SF = 33.5%
BUILDING AREA:	WEST OF FIREWALL: 14,185 SF (1,317.80 SM); EAST OF FIREWALL: 4,655 SF (432.50 SM)
GROSS FLOOR AREA (NOT INCLUDING PARKADE):	110,186 SF (10,236.65 SM)
GROSS FLOOR AREA (PARKADE ONLY):	46,845 SF (4,352.07 SM)
FSR:	FLOOR AREA 110,186 SF - 2,530 SF (STORAGE) = 107,656 SF / SITE AREA 56,154 = 1.92
DENSITY (UNITS/HA):	118/0.5217 = 227 UNITS PER HECTARE
SETBACKS:	NORTH: 6.0m NORTHEAST: 4.0m EAST: 6.0m SOUTH: 4.0m WEST: 4.0m
NUMBER OF STREETS:	1 - WEST BUILDING 1 - EAST BUILDING
GARBAGE & RECYCLING REQUIREMENTS (PER VANCOUVER TECHNICAL SPECS):	REQUIRED GARBAGE AND RECYCLING SPACE: [(0.31 SM x DWELLING UNITS (DU)) + 8 SM = [0.31 SM x 118 DU] + 8 SM = 44.58 SM (480 SF) RECYCLING SPACE AS PART OF OVERALL: [(0.16 SM x DWELLING UNITS (DU)) + 5 SM = [0.16 SM x 118 DU] + 5 SM = 23.88 SM (257 SF) ADDITIONAL "FLEX SPACE": (RECYCLING SPACE/2) = (23.88 SM/2) = 11.94 SM (129 SF) TOTAL REQUIRED SPACE = 44.58 SM + 11.94 SM = 56.52 SM (608 SF) TOTAL PROVIDED SPACE = 66.61 SM (717 SF)
AMENITY SPACE:	REQUIRED: INDOOR AMENITY SPACE 2.3 SM (24.76 SF) PER DWELLING UNIT FOR ALL BUILDINGS CONTAINING MORE THAN 20 UNITS. 24.76 SF x 118 UNITS = 2,922 SF (271 SM). PROVIDED: 4,766 SF (442.74 SM)

1.2.0 GROSS FLOOR AREA SUMMARY NOTES

- ALL THE AREA OF THE FLOOR ENCLOSED BY THE OUTSIDE EDGE OF THE EXTERIOR WALLS OF A BUILDING, INCLUDING STAIRWAYS, ELEVATOR SHAFTS, STORAGE ROOMS AND MECHANICAL ROOMS.
- EXCLUSIONS: NONE

1.2.1 GROSS FLOOR AREA SUMMARY (LEVEL)

LEVEL / AREA TYPE	AREA SF	AREA m²	AREA %	COMMENTS
1ST LEVEL				
CIRCULATION	3342 SF	310.51 m²	3.0%	
INDOOR AMENITY	4720 SF	438.47 m²	4.3%	
OFFICE	152 SF	14.12 m²	0.1%	
RESIDENTIAL	10127 SF	940.80 m²	9.2%	
SERVICE ROOMS/SHAFTS	68 SF	6.34 m²	0.1%	
STORAGE	89 SF	8.29 m²	0.1%	
	18498 SF	1718.53 m²	16.8%	
2ND LEVEL				
CIRCULATION	1187 SF	115.30 m²	1.7%	
RESIDENTIAL	15686 SF	1457.27 m²	14.2%	
SERVICE ROOMS/SHAFTS	68 SF	6.34 m²	0.1%	
STORAGE	488 SF	45.35 m²	0.4%	
	18129 SF	1684.26 m²	16.5%	
3RD LEVEL				
CIRCULATION	1876 SF	174.51 m²	1.7%	
RESIDENTIAL	16237 SF	1508.48 m²	14.7%	
SERVICE ROOMS/SHAFTS	69 SF	6.39 m²	0.1%	
STORAGE	468 SF	43.50 m²	0.4%	
	18650 SF	1732.68 m²	16.9%	
4TH LEVEL				
CIRCULATION	1844 SF	171.30 m²	1.7%	
RESIDENTIAL	16250 SF	1509.65 m²	14.7%	
SERVICE ROOMS/SHAFTS	68 SF	6.34 m²	0.1%	
STORAGE	488 SF	45.35 m²	0.4%	
	18650 SF	1732.68 m²	16.9%	
5TH LEVEL				
CIRCULATION	1844 SF	171.30 m²	1.7%	
RESIDENTIAL	15729 SF	1461.26 m²	14.3%	
SERVICE ROOMS/SHAFTS	68 SF	6.34 m²	0.1%	
STORAGE	488 SF	45.35 m²	0.4%	
	18129 SF	1684.25 m²	16.5%	
6TH LEVEL				
CIRCULATION	1844 SF	171.30 m²	1.7%	
RESIDENTIAL	14719 SF	1400.96 m²	14.3%	
SERVICE ROOMS/SHAFTS	78 SF	7.23 m²	0.1%	
STORAGE	488 SF	45.35 m²	0.4%	
	18129 SF	1684.25 m²	16.5%	
AREA GRAND TOTAL	110186 SF	10236.65 m²	100.0%	

1.2.2 GROSS FLOOR AREA SUMMARY (LEVEL) BELOW GRADE

LEVEL / AREA TYPE	AREA SF	AREA m²	AREA %	COMMENTS
P1 LEVEL				
CIRCULATION	377 SF	35.01 m²	0.8%	
PARKADE	43823 SF	4071.30 m²	93.5%	
SERVICE ROOMS/SHAFTS	677 SF	62.93 m²	1.4%	
STORAGE	1968 SF	182.82 m²	4.2%	
	46845 SF	4352.07 m²	100.0%	
AREA GRAND TOTAL	46845 SF	4352.07 m²	100.0%	

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PROJECT
THE HUDSON

5382 - 200 STREET

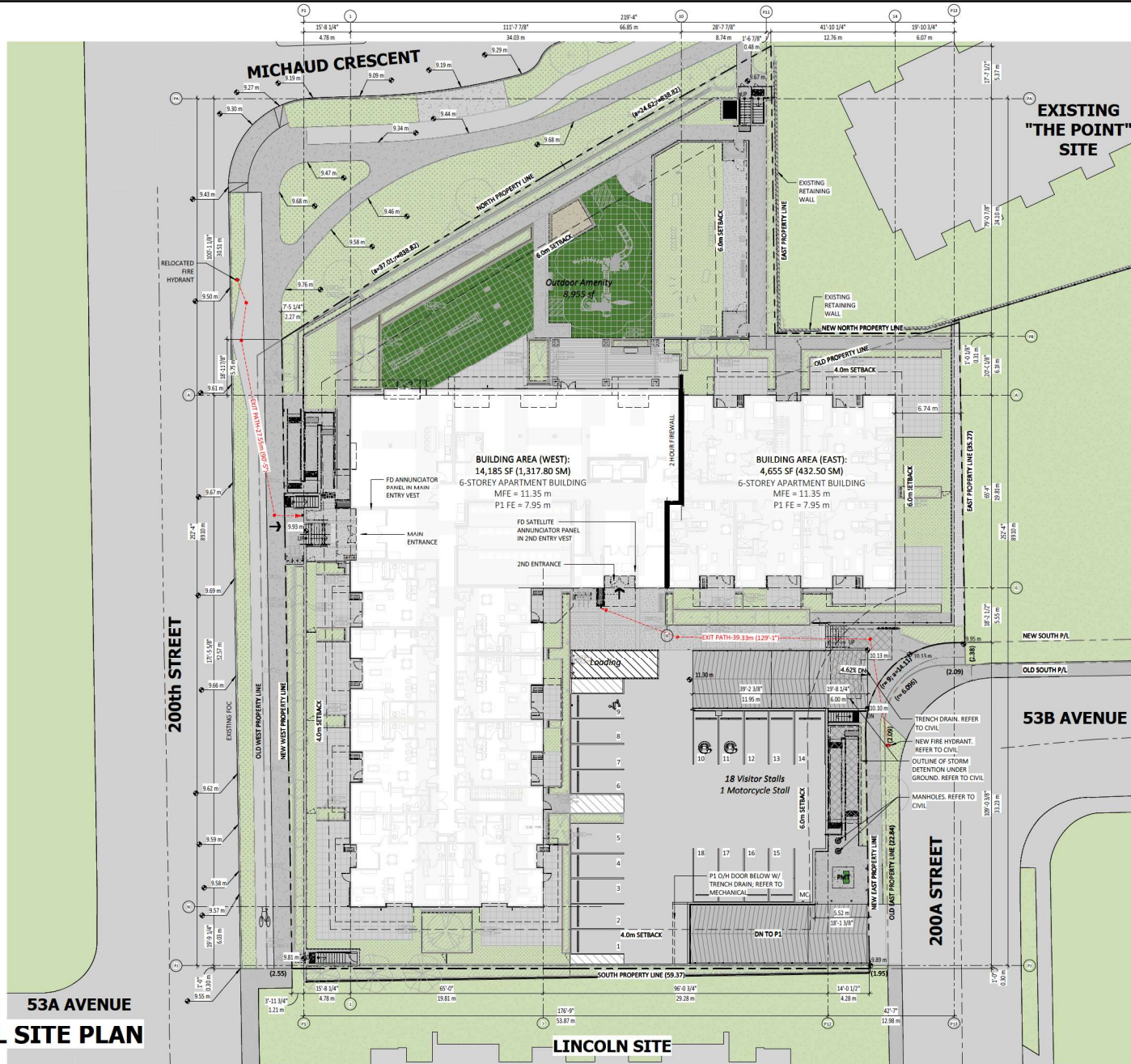
SHEET TITLE
PROJECT & ZONING DATA

Job No: 213-121	DRAWING NO.
Scale:	A1.01
Checked By: CG/AG	
Drawn By: SHZ/DTT	



OVERALL SITE PLAN

1/16" = 1'-0"



5.4.0 GENERAL SITE NOTES

- REFER TO SITE LAYOUT PLAN FOR BUILDING POSITIONING ON SITE.
- REFER TO SITE CODE PLAN.
- SLOPE EXTERIOR SIDEWALKS, STAIRS, DECKS & LANDSCAPED AREAS TO DRAIN AWAY FROM BUILDINGS.
- ALL RETAINING WALLS OVER 4'-0" HIGH TO BE ENGINEERED WITH P ENG SEALED SHOP DRAWINGS (SEE STRUCTURAL, GEOTECHNICAL & CIVIL).
- REFER TO CIVIL ENGINEER'S DRAWINGS FOR PAVED AREA DRAINAGE, SITE ELEVATIONS, SANITARY AND SEWER LINES, EXTENT OF DECKS, NEW AND REPAIRED PAVING, OTHER SERVICES, ETC.
- VERIFY ALL SITE INFORMATION, BUILDING AREA, DIMENSIONS AND BEARINGS WITH LEGAL SURVEY PLAN FROM AXIS LAND SURVEYING LTD., DRAWING 6163-TOPO BY JFS FROM FEB. 24, 2021.
- REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING ETC.
- REFER TO LANDSCAPE DRAWINGS FOR ALL HARD & SOFT LANDSCAPING.
- ALL ELEVATION CHANGES OF MORE THAN 2'-0" TO HAVE 42" HIGH GUARDRAIL.
- VERIFY FINAL SIDEWALK ELEVATIONS WITH FINISHED FIRST FLOOR ELEVATION AT ENTRANCES.
- GRADE AT EXTERIOR OF BUILDING TO BE BELOW FLOOR LEVEL EXCEPT AT ENTRY & EXITS.
- FOR TYPICAL CONCRETE/SIDEWALK/CURB/LANDSCAPING DETAILS, SEE A7.01, A7.10, A7.11 & A7.12.
- ALL PARKING STALLS MUST BE CLEARLY MARKED WITH PAINTED PAVEMENT MARKINGS: HVC STALLS REQUIRE PAINTED HVC SYMBOL PAVEMENT MARKING AND SIGN, VISITOR, SMALL CAR, COMMERCIAL, RENTAL, LOADING AND ELECTRIC VEHICLE STALLS SHOULD BE MARKED WITH PAVEMENT MARKINGS AND/OR SIGNS.
- TW = TOP OF WALL, FE = FLOOR DRAIN, BW = BOTTOM OF WALL, SD = SURFACE DRAIN, BOC = BOTTOM OF CURB, LB = LAWN BASIN, TOC = TOP OF CURB, CB = CATCH BASIN, TL = TOP OF LANDINGS/STAIRS
- NEW ELEVATION: 08.00 m
EXISTING ELEVATION: 09.00 m
- ARC LENGTH (m) R
MFE MAIN FLOOR ELEVATION (m ABOVE SEA LEVEL)
FE FLOOR ELEVATION (m ABOVE SEA LEVEL)
BALC BALCONY
CANT CANTILEVERED (CONDITIONED SPACE)
STBK SETBACK

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THE HUDSON

5382 - 200 STREET

SHEET TITLE

SITE PLAN

DIB No: 213-211 **DRAWING NO.:**

Scale: 1/16" = 1'-0" **A2.01**

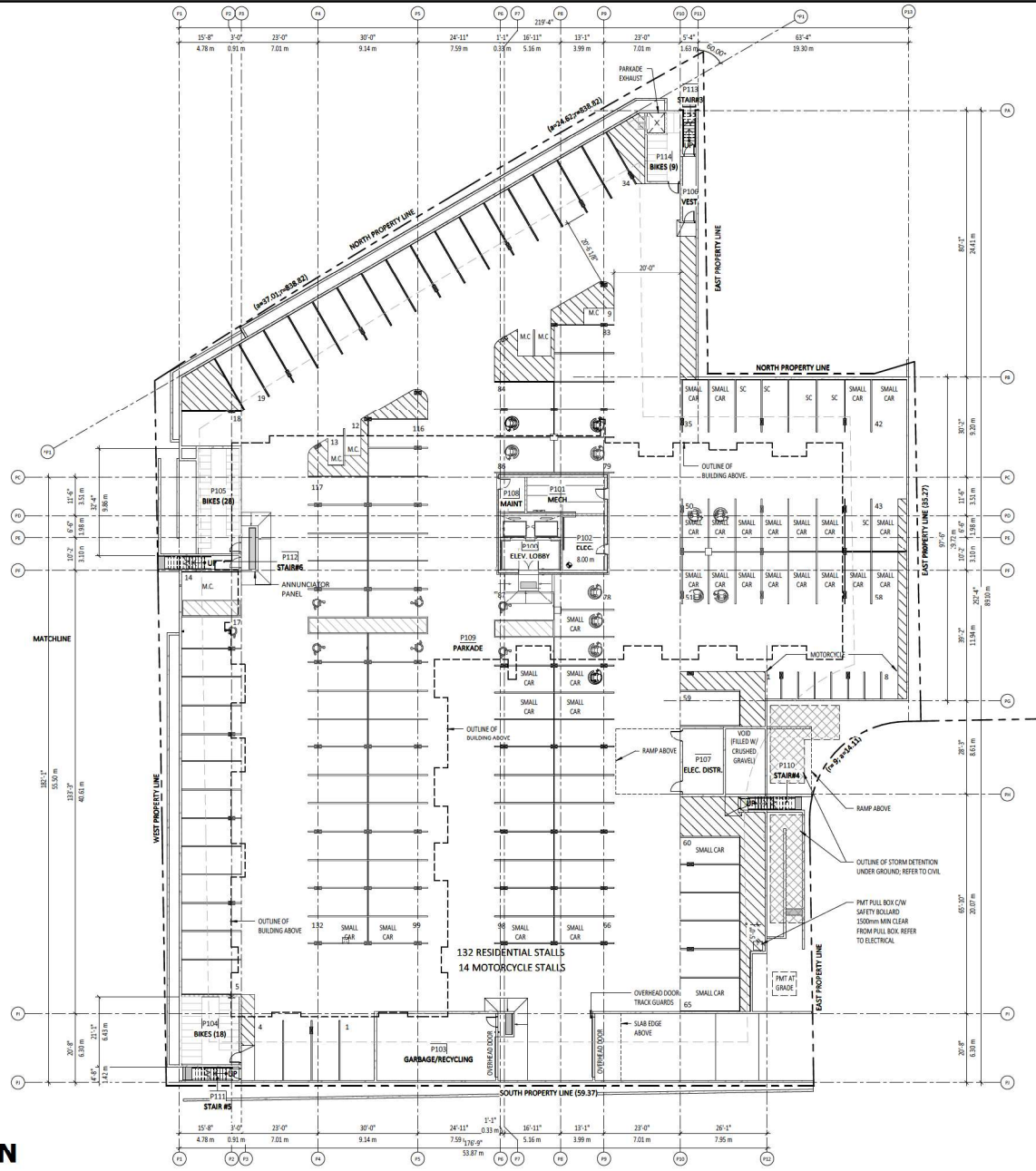
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OVERALL P1 LEVEL PLAN

1/16" = 1'-0"



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THE HUDSON

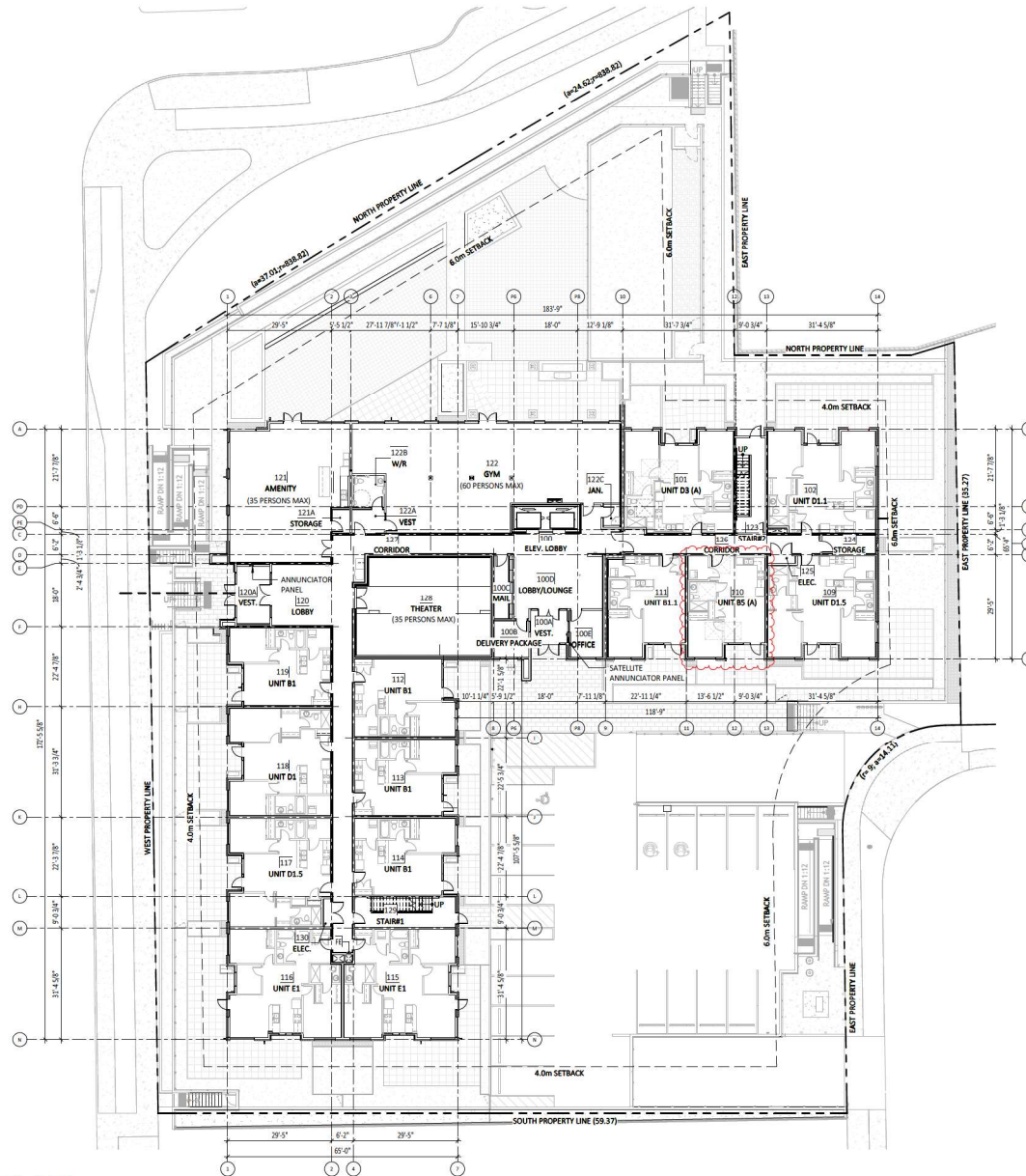
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OVERALL P1 LEVEL PLAN

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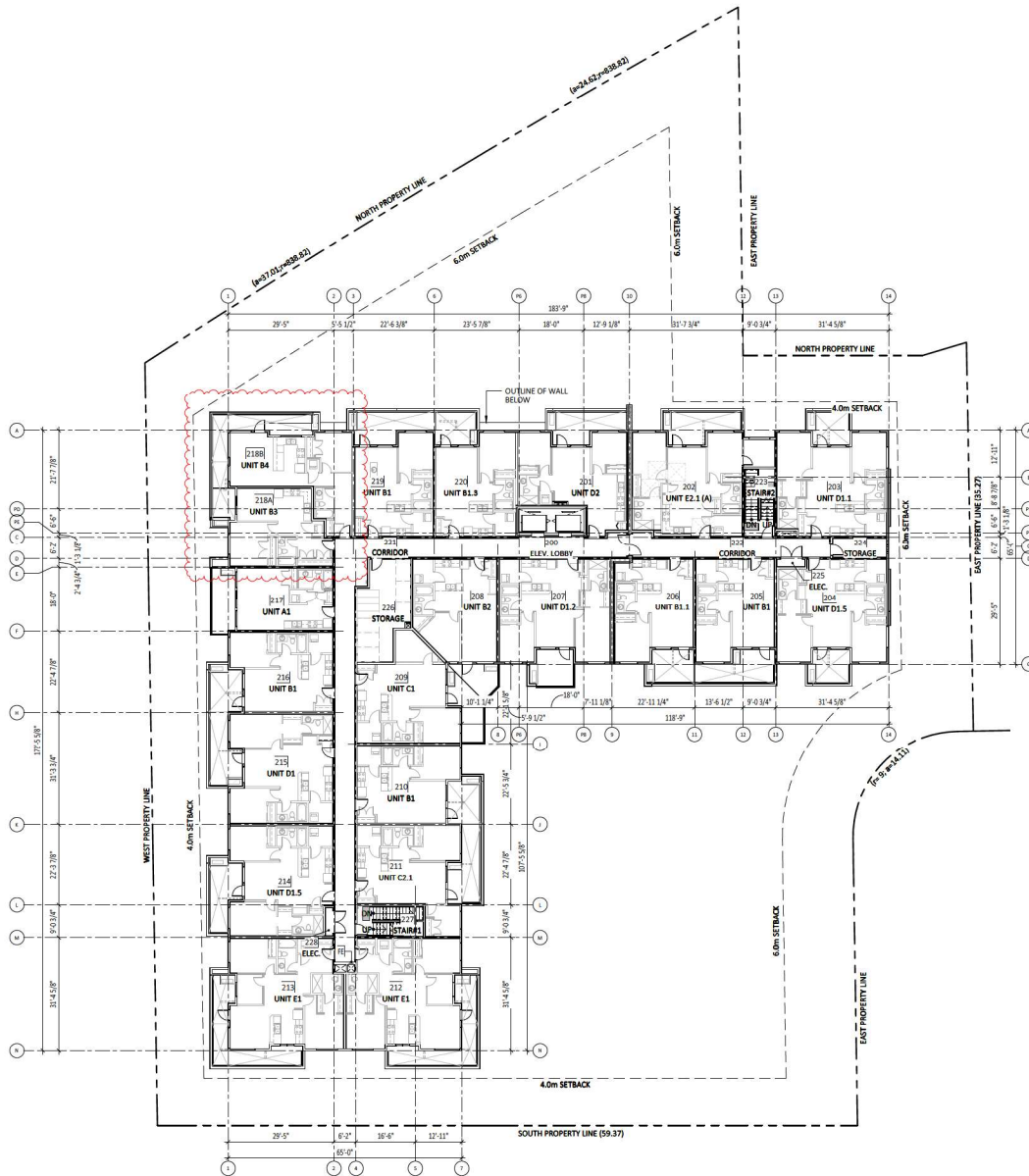
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SHEET TITLE
OVERALL 1ST LEVEL PLAN

NO. 111-211-211 **DRAWING NO.**
Scale: 1/16" = 1'-0"
Checked By: C6/NG **A3.04**
Drawn By: SH/ZD/T

OVERALL 1ST LEVEL PLAN
 1/16" = 1'-0"

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SITE INSTRUCTION #: SI1371 24-02-22

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SHEET TITLE

OVERALL 2ND LEVEL PLAN

HD No: 213-211 DRAWING NO.

Scale: 1/16" = 1'-0"

Checked By: C6/NG

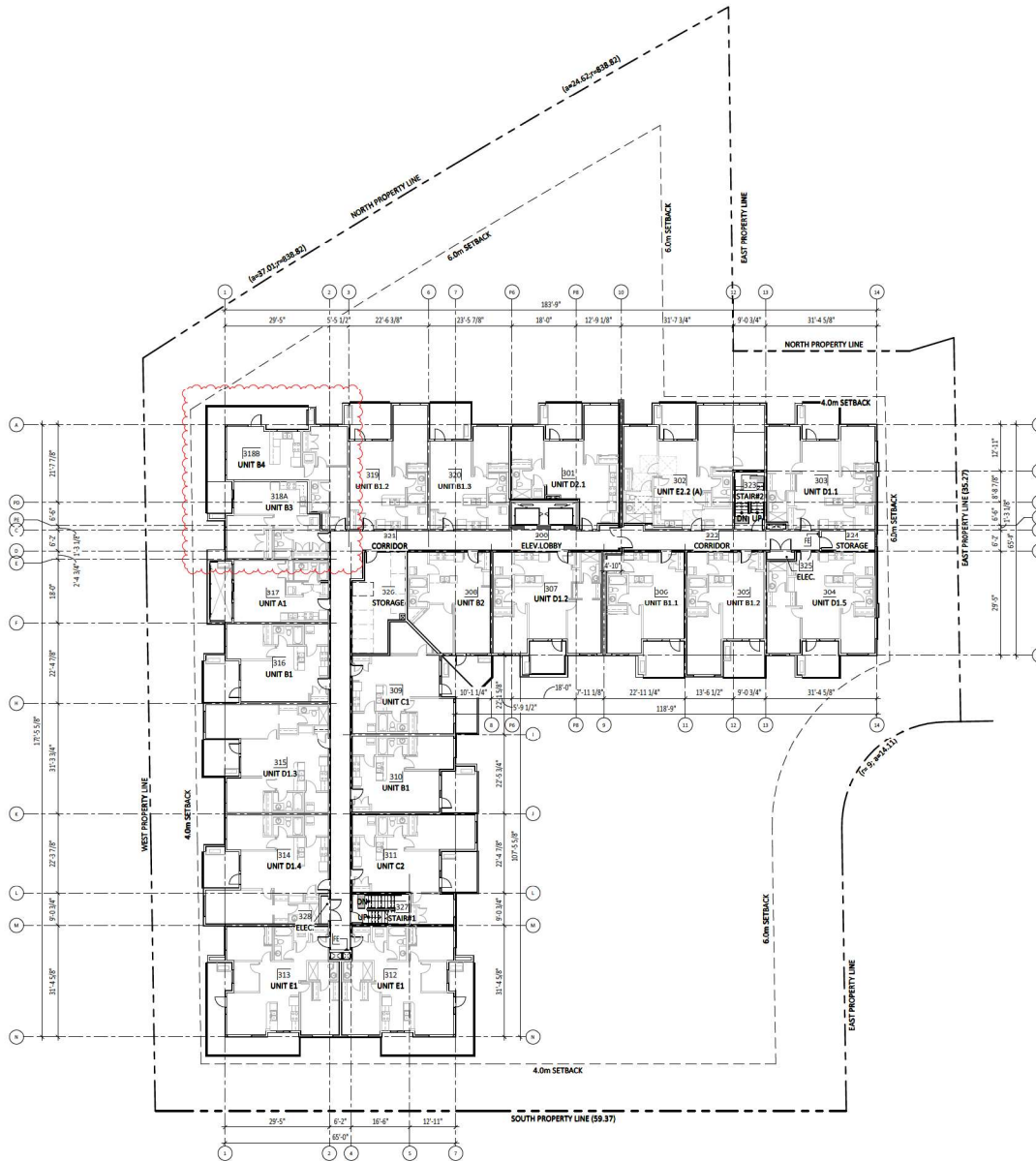
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A3.07

OVERALL 2ND LEVEL PLAN

1/16" = 1'-0"

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9	ISSUED FOR TENDER	23-01-18
11	ISSUED FOR CONSTRUCTION	23-08-22
12	ISSUED FOR RZ/DP AMENDMENT	24-06-04

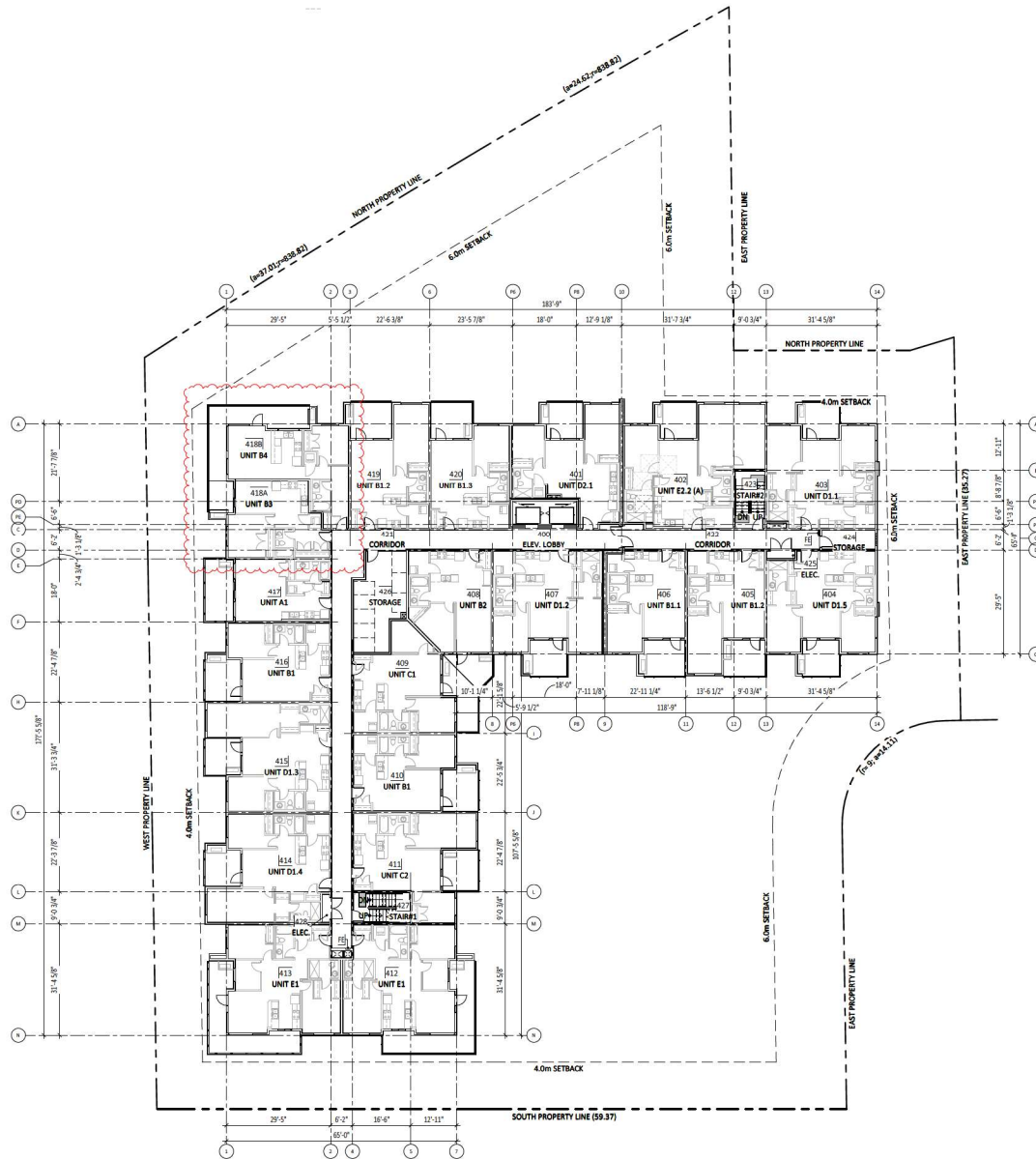
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PROJECT
THE HUDSON
 5382 - 200 STREET
SHEET TITLE
 OVERALL 3RD LEVEL PLAN

NO. 111 7211 DRAWING NO.
 Scale: 1/16" = 1'-0"
 Checked By: CG/NG
 Drawn By: SH/DZ/TT
A3.10

OVERALL 3RD LEVEL PLAN
 1/16" = 1'-0"

6/4/2024 3:30:36 PM



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& DP
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3	ISSUED FOR 60% COORD	22-04-22
4	ISSUED FOR 90% COORD	22-05-13
5	ISSUED FOR PRE-BP COORD	22-06-06
6	ISSUED FOR BP REVIEW	22-09-19
7	ISSUED FOR BP	22-12-02
9	ISSUED FOR TENDER	23-01-18
11	ISSUED FOR CONSTRUCTION	23-08-22
12	ISSUED FOR RZ/DP AMENDMENT	24-06-04

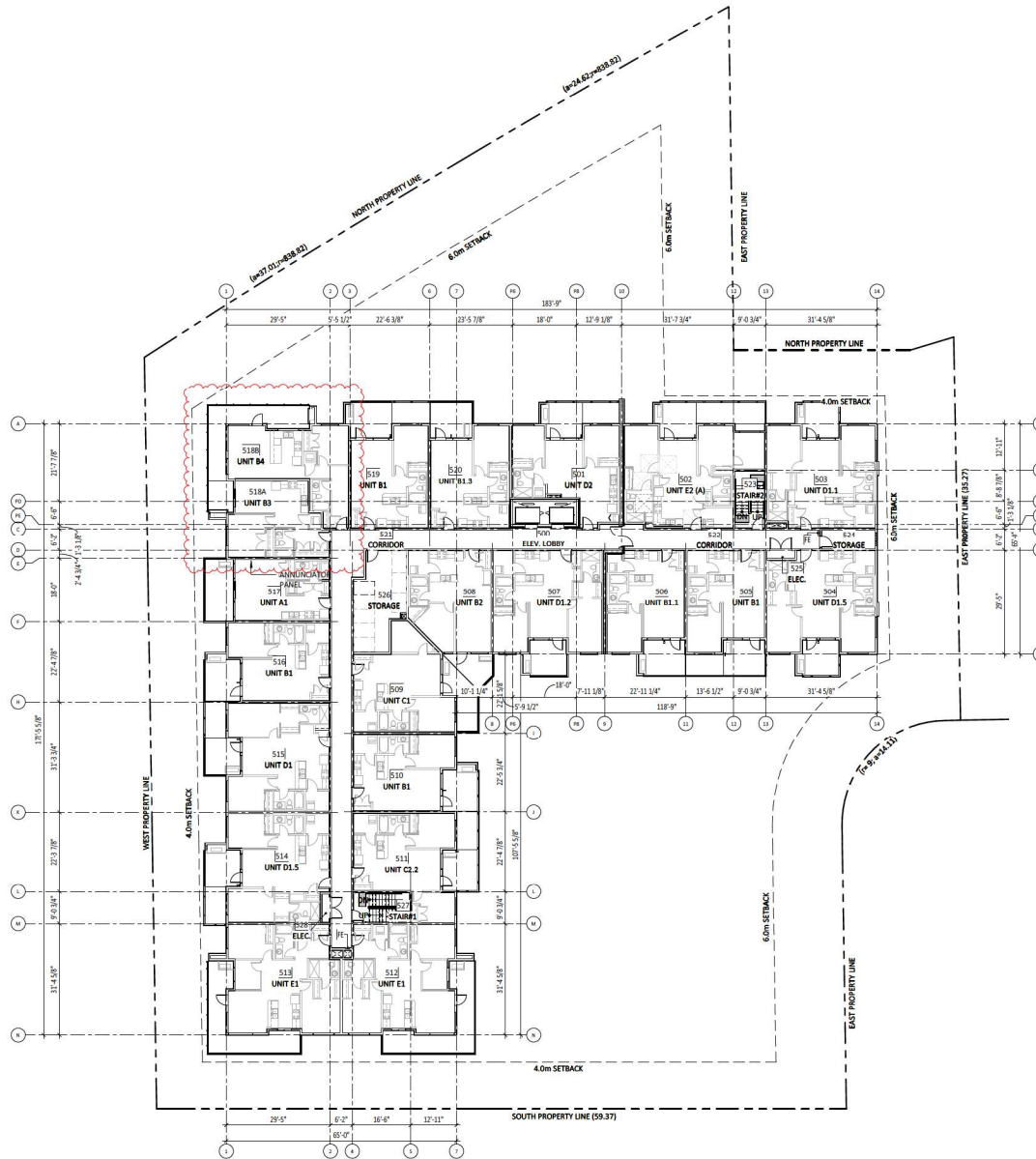
SITE INSTRUCTION #: SI131 24-02-22
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PROJECT	
THE HUDSON	
5382 - 200 STREET	
SHEET TITLE	
OVERALL 4TH LEVEL PLAN	

NO. 113 1211	DRAWING NO.
Scale: 1/16" = 1'-0"	A3.13
Checked By: CG/AG	
Drawn By: SH/DZ/TT	

OVERALL 4TH LEVEL PLAN
 1/16" = 1'-0"

6/4/2024 3:02:42 PM



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7	ISSUED FOR BP	22-12-02
9	ISSUED FOR TENDER	23-01-18
11	ISSUED FOR CONSTRUCTION	23-08-22
12	ISSUED FOR RZ/DP AMENDMENT	24-06-04

SITE INSTRUCTION #: SI1371 24-02-22

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PROJECT
THE HUDSON
 5382 - 200 STREET
SHEET TITLE
 OVERALL 5TH LEVEL PLAN

NO. 121721 DRAWING NO. **A3.16**
 Scale: 1/16" = 1'-0"
 Checked By: CG/ML
 Drawn By: SHZ/DTT

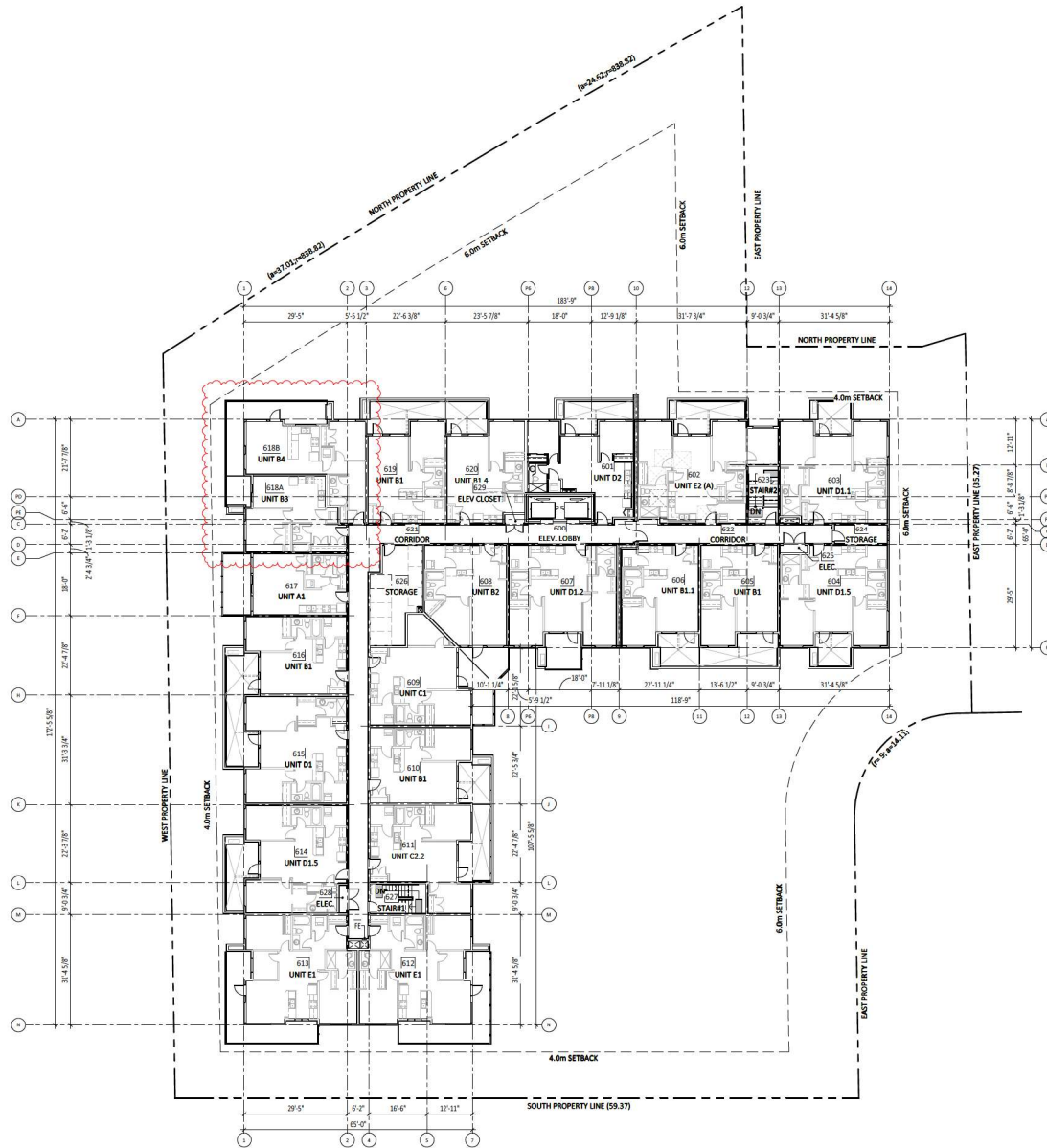
OVERALL 5TH LEVEL PLAN
 1/16" = 1'-0"

6/4/2024 3:04:47 PM



OVERALL 6TH LEVEL PLAN

1/16" = 1'-0"



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PROJECT	
THE HUDSON	
5382 - 200 STREET	
SHEET TITLE	
OVERALL 6TH LEVEL PLAN	

Job No: 213-2321	DRAWING NO.
Scale: 1/16" = 1'-0"	A3.19
Checked By: CEG/MT	
Drawn By: SHZ/DTT	

6/4/2024 3:30:53 PM

6.0.0 MATERIAL LEGEND

- 1 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS):
- JAMES HARDIE, COLOUR: LIGHT LUST - EASY TRIM 5/16" REVEAL PANEL SYS.
- 2 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS):
- JAMES HARDIE, COLOUR: ARCTIC WHITE - EASY TRIM 5/16" REVEAL PANEL SYS.
- 3 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS):
- JAMES HARDIE, COLOUR: GRAY SLATE - EASY TRIM 5/16" REVEAL PANEL SYS.
- 4 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS):
- JAMES HARDIE, COLOUR: MEDIUM DARK GRAY - EASY TRIM 5/16" REVEAL PANEL SYS.
- 5 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS):
- JAMES HARDIE, COLOUR: EVENING BLUE - EASY TRIM 5/16" REVEAL PANEL SYS.
- 6 CEMENT BOARD CEDAR MILL HORIZONTAL LAP SIDING (6" EXPOSURE):
- JAMES HARDIE, COLOUR: IRON GRAY
- 7 CEMENT BOARD (BOARD & BATTEN), SMOOTH VERTICAL SIDING WITH TRIM BOARD
- JAMES HARDIE, COLOUR: MEDIUM DARK GRAY
- 8 BRICK (90mmx64mmx190mm)
- MUTUAL MATERIALS, COLOUR: EBONY, TEXTURE: MISSION
- MORTAR COLOUR: MEDIUM GRAY
- 9 PVC EXTERIOR CLADDING, PROFILE: CHANNELLED:
- SAGIFER, SAGIWALL, COLOUR: WALNUT CEDAR
- 10 CEMENT BOARD FASCIA BOARD, TEXTURE: SMOOTH:
- JAMES HARDIE, COLOUR: MATCH TO WALNUT CEDAR
- 11 CEMENT BOARD FASCIA BOARD, TEXTURE: SMOOTH:
- JAMES HARDIE, COLOUR: MATCH TO ARCTIC WHITE
- 12 CEMENT BOARD FASCIA BOARD, TEXTURE: SMOOTH:
- JAMES HARDIE, COLOUR: IRON GRAY
- 13 CEMENT BOARD FASCIA BOARD, TEXTURE: SMOOTH:
- JAMES HARDIE, COLOUR: EVENING BLUE
- 14 MECHANICAL VENT CAP (SINGLE, DOUBLE & TRIPLE)
- PRIMEK, COLOUR: MATCH SURROUNDING CLADDING
- 15 ALUMINUM PICKET FENCING:
- COLOUR: BLACK, POWDER COATED
- 16 ALUMINUM 1/2" X 3/4" PATIO FENCE SCREEN:
- COLOUR: BLACK, POWDER COATED
- 17 CURTAIN WALL (1600 UT SYSTEM 1):
- XAWNEEK, COLOUR: BLACK ANODIZED, C/W GRAY SPANDREL PANEL
- 18 ALUMINUM PICKET BALCONY RAILING/GC GUARD RAILING:
- COLOUR: BLACK, POWDER COATED
- 19 PERGOLA
- REFER TO LANDSCAPING
- 20 CONCRETE WALL:
- COLOUR: CLEAR SEALER
- 21 ALUMINUM MECHANICAL EQUIPMENT SCREEN:
- COLOUR: CLEAR ANODIZED
- 22 PLANTER
- REFER TO LANDSCAPING
- 23 CONCRETE WALL, BRICK PATTERN STAMPED
- COLOUR AND PATTERN TO MATCH WITH BUILDING EXTERIOR BRICK
- 24 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS):
- JAMES HARDIE, COLOUR: DARK GRAY - EASY TRIM 5/16" REVEAL PANEL SYS.
- 25 CEMENT BOARD CEDAR MILL HORIZONTAL LAP SIDING (6" EXPOSURE):
- JAMES HARDIE, COLOUR: ARCTIC WHITE
- 26 VINYL WINDOW:
- COLOUR: BLACK EXT./WHITE INT.
- 27 VINYL BALCONY DOOR:
- COLOUR: BLACK EXT./WHITE INT.
- 28 METAL DOOR:
- COLOUR: BLACK
- 29 GLASS BLOCK:
- WEEK, COLOUR: ARCTIC
- 30 ROOF SOFFIT:
- PERFORATED WOOD GRAIN ALUMINUM SOFFIT, REFER TO PROJECT MANUAL
- 31 CEMENT BOARD FASCIA BOARD, TEXTURE: SMOOTH:
- JAMES HARDIE, COLOUR: MATCH TO GRAY SLATE

- NOTES:**
1. MATERIAL TERMINATIONS AND INTERSECTIONS WITH OTHER MATERIALS REQUIRE MOCK-UPS AS PER PROJECT MANUAL.
 2. ALL CLADDING MATERIALS SHOWN RETURN AT BUILDING PERIMETER RECESSES U.N.O.
 3. ALL MATERIALS CLADDING FIRE-RATINGS TO BE NON-COMBUSTIBLE.
 4. ALL WALL MOUNT VENTS OR GRILLS TO BE COLOUR MATCHED TO ADJACENT WALL FINISH UNLESS NOTED OTHERWISE.
 5. MAIN ROOF AND HWY CORNER POP UP SOFFITS TO BE WOOD-LOOK SOFFIT TO MATCH ITEM 9. SOFFITS AT ALL OTHER BUILDOUTS AND/OR BALCONIES TO BE SOLID TAUPÉ COLOUR.



SOUTH ELEVATION

1" = 10'-0"



WEST ELEVATION

1" = 10'-0"

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2	ISSUED FOR 30% COORD	22-09-05
3	ISSUED FOR 50% COORD	22-04-12
4	ISSUED FOR 90% COORD	22-05-13
5	ISSUED FOR PRE-BP COORD	22-06-05
6	ISSUED FOR BP PREVIEW	22-09-15
7	ISSUED FOR BP	22-12-02
8	ISSUED FOR TENDER	23-01-18
9	ISSUED FOR CONSTRUCTION	23-08-22
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PROJECT	
THE HUDSON	
5382 - 200 STREET	
SHEET TITLE	
EXTERIOR ELEVATIONS	
Job No.: 21-223	DRAWING NO.
Scale: 1" = 10'-0"	A4.02
Checked By: CGH/EE	Drawn By: SH/DZ/VT

04/2024, 3.11.17 PM



NE CORNER



SE CORNER



NW CORNER



SW CORNER

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& DP
AMENDMENT



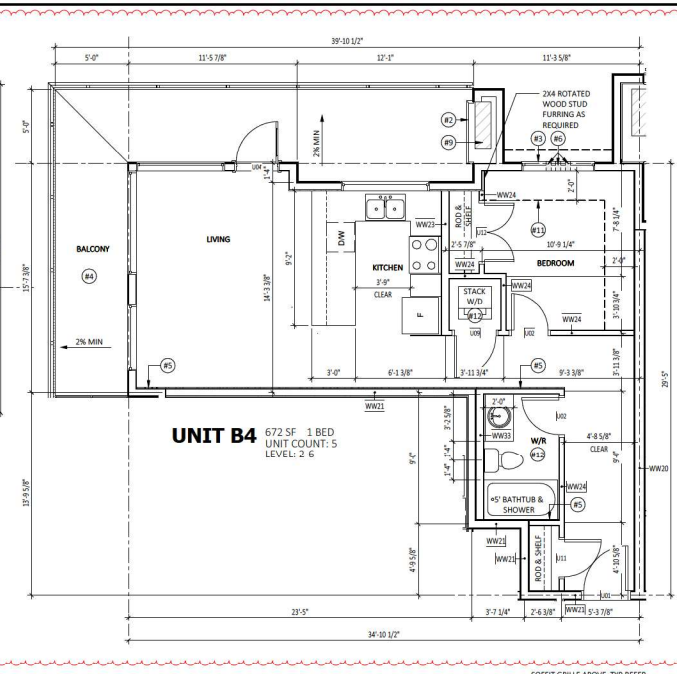
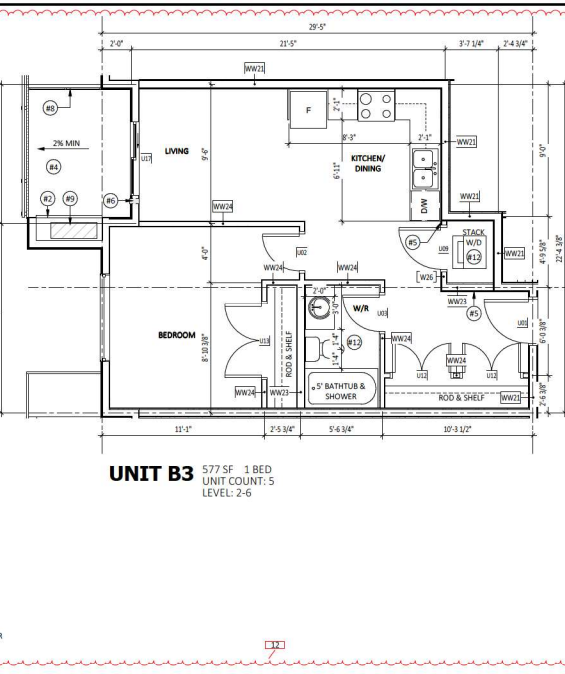
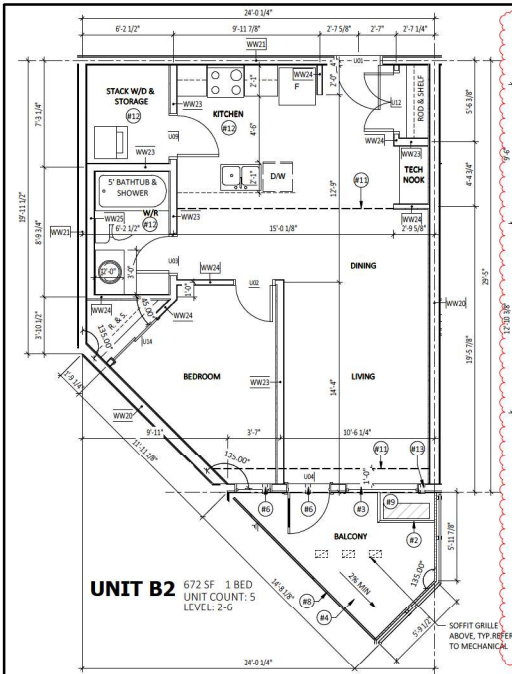
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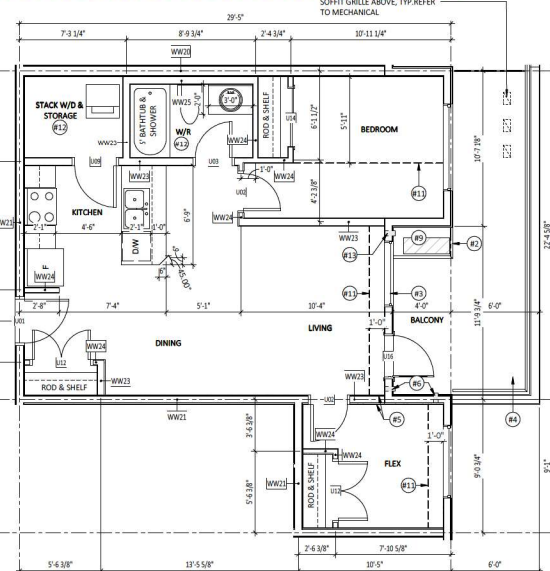
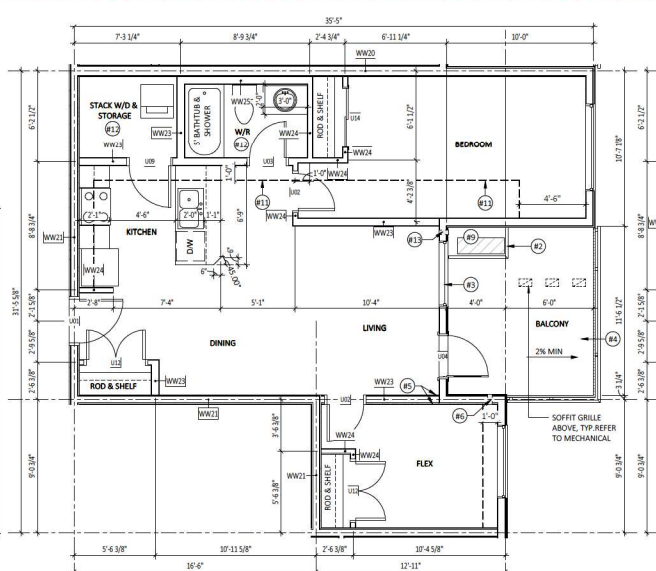
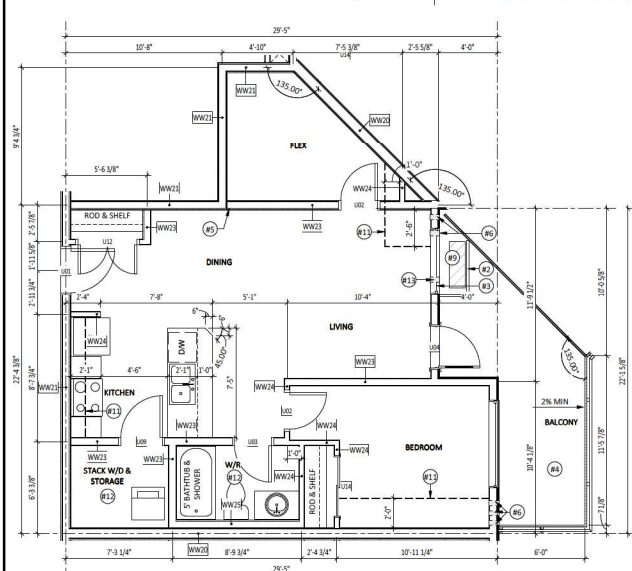
PROJECT
THE HUDSON
5382 - 200 STREET
SHEET TITLE
PERSPECTIVE VIEWS

JOB No.: 213-121 **DRAWING NO.**
Scale: **A4.04**
Checked By: CG/NG
Drawn By: SH/DZ/T



- ### 6.0.1 UNIT PLAN KEYNOTES
- | NOTE # | DESCRIPTION |
|--------|--|
| #1 | A UNIT NAME WITH A NUMBERED SUFFIX INDICATES A VARIATION FROM THE ORIGINAL UNIT. ONLY THE VARIATION WILL BE ANNOTATED ON THE UNIT PLAN. |
| #2 | 42" HIGH A/C GUARD. A/C NICHES AT BUILDOUT VARIES. REFER TO OVERALL PLANS. |
| #3 | REFER TO OVERALL PLANS FOR TYPE AND DIMENSIONS TYP. BALCONY C/W 42" 1/4" ABOVE DECK LEVEL GUARDRAIL. BALCONY DIMENSIONS VARY. REFER TO OVERALL PLANS. |
| #4 | ADD 1/8" GYP/SING BOARD TO ALIGN WITH ADJACENT WALL. |
| #5 | MECHANICAL VENTS - REFER TO MECH. PROVIDE SINGLE, DOUBLE, TRIPLE PRIMARY VENT CAP. - SIZE TO ACCOMMODATE MECHANICAL DUCTS. COLOUR TO MATCH SURROUNDING MATERIAL. |
| #6 | FUTURE FOLD DOWN GRAB BAR. PROVIDE SOLID BLOCKING PRIVACY SCREEN. LENGTH VARIES DEPENDING ON BALCONY WIDTH. REFER TO OVERALL PLANS. |
| #7 | REFER TO OVERALL PLANS FOR A/C FANCOIL LOCATIONS/NICHES WHERE THERE IS NO NICHE, A/C FANCOILS TO BE ON DECK FOR LEVEL 5 UNITS AND ON THE ROOF FOR LEVEL 6 UNITS. PENETRATIONS TO BE AS PER MECH. |
| #8 | INDICATES AN AREA OF 1500mm x 1500mm CLEAR SPACE IN ADAPTABLE UNITS |
| #9 | LINE OF BULKHEAD, 8'-0" CLEAR TO U/S OF BULKHEAD. REFER TO ELEVATIONS FOR EXHAUST VENT LOCATION AND COLOUR. |
| #10 | 8'-0" DROPPED CEILING |
| #11 | A/C WALL PENETRATION, 12" ABOVE FLOOR LEVEL U.L.N.O. |

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5	ISSUED FOR PRE-8P COORD	22-06-06
6	ISSUED FOR 8P REVIEW	22-09-19
7	ISSUED FOR 8P	22-12-02
8	ISSUED FOR TENDER	23-01-18
9	ISSUED FOR CONSTRUCTION	23-08-22
11	ISSUED FOR RZ/DP AMENDMENT	24-06-04

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PROJECT
THE HUDSON
5382 - 200 STREET
ENLARGED PLANS - UNITS

SHEET TITLE
A6.02

NO. 11-2311
DRAWING NO.
Scale: 1/4" = 1'-0"
Checked By: CG/NG
Drawn By: SHZ/DTT

6/4/2024 3:32:40 PM