

KERR Langley Mixed Use

for Kerr Properties Ltd.

Development Permit



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DRAWING LIST

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DATE: 2024.03.27
 2024.03.27 Issued for DP

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GRAVITY ARCHITECTURE

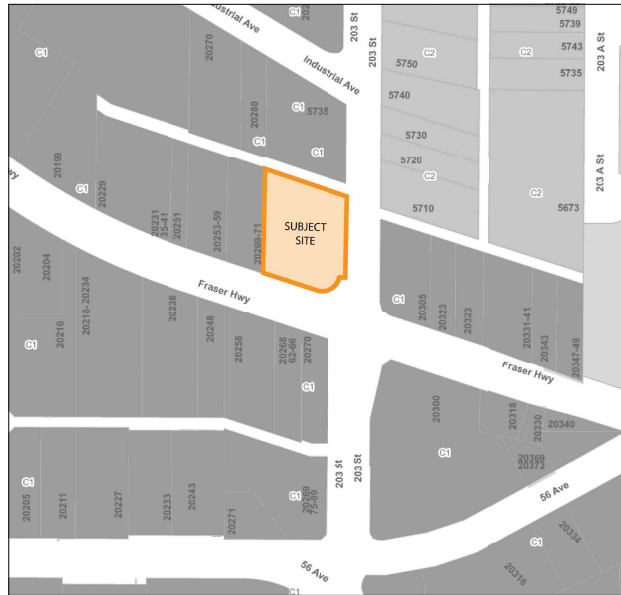
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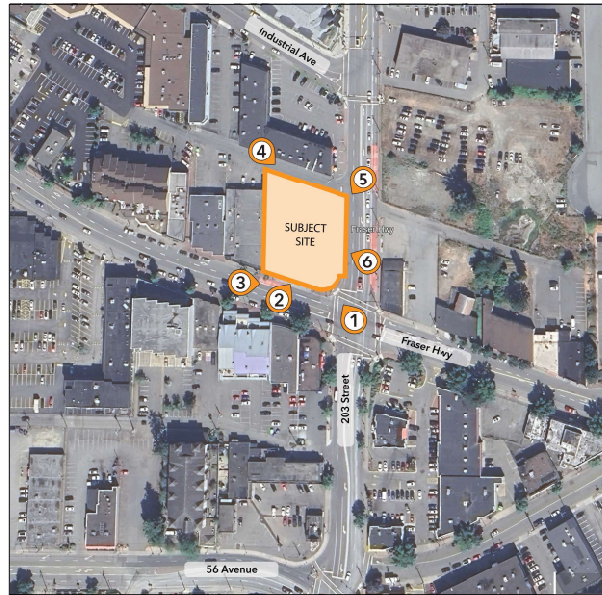
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PROJECT STATUS
 Development Permit
PROJECT
 KERR Langley Mixed Use
 20297 Fraser Highway
 Langley, BC
 Lot 52, Plan 28343,
 PID 008-981-612
TITLE
 COVER SHEET

PROJECT NUMBER	DRAWING NUMBER
21-051	DP0.0
SCALE	DATE
1/4" = 1'-0"	2024.03.27
DESIGNED BY	CHECKED BY
GRA/AD	GRA/AD
DATE	DATE
2024.03.27	2024.03.27



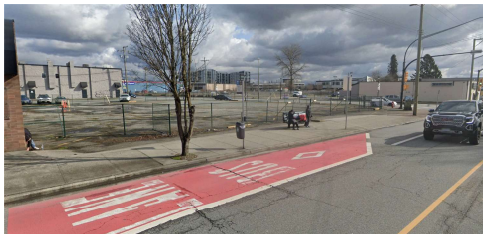
1 LAND USE CONTEXT PLAN
SCALE: NTS



2 VICINITY PLAN
SCALE: NTS



1. SITE PHOTO



2. SITE PHOTO



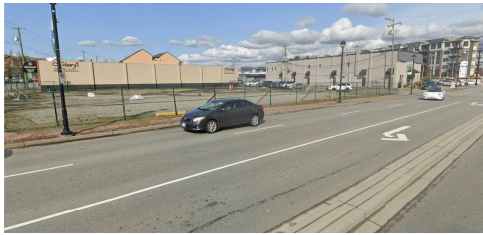
3. SITE PHOTO



4. SITE PHOTO



5. SITE PHOTO



6. SITE PHOTO

LAND USE BYLAW ANALYSIS BASED ON ZONING BYLAW, 1996 NO.2100

SITE AREA
 • Existing Area 274,123 m² = 62,743 ha
 • Area after dedications 239,269 m² = 62,392 ha

LAND USE DESIGNATION
 • C1 DOWNTOWN COMMERCIAL ZONE

PART III - COMMERCIAL ZONE
 General Provisions in Section 1.0
 • Section 1.E
 • Section 1.F

2- PERMITTED USES
 • (a) Retail Stores
 • (b) Multi-Family Residential

3- LOT DIMENSIONS
 • Lot Size is 2392Jm²

4- SIZE OF BUILDING AND STRUCTURES
 • Principal building - 371 units/ha
 • Maximum height - 46.0m

5- LOT COVERAGE
 • All buildings and structures combined shall not cover more than ninety-five (95) percent of the lot area. Parking structures are excluded from the lot coverage requirements provided they are screened by buildings, berms and landscaping.

6- FINISH OF BUILDINGS AND STRUCTURES
 • Front (South) setbacks - Retail = 2.0m, Residential = 3.0m
 • Rear (North) setbacks - Retail = 5.0m, Residential = 6.0m
 • Interior (West) setbacks - Retail = 6.0m, Proposed = 6.0m, Residential = 6.0m
 • Exterior (East) setbacks - Retail = 2.0m, Residential = 3.0m

SITE DEDICATIONS
 • Fraser Highway, 2.25m
 • 203 Street, 4.0m
 • North lane, 1.0m
 • Fraser Highway & 203 Street corner cut, 5m
 • 203 Street & north lane corner cut, 4m

7- OFF-STREET PARKING AND LOADING - Section 1.E
 For all multi-level residential users, all parking spaces (other than those designated for "Visitor Parking") shall be underground or enclosed.
 All visitor parking shall be located at grade.
 A minimum of five (5) percent of total parking spaces required shall be designated with signage as Handicapped parking spaces.
 A maximum of forty (40) percent of the total parking spaces required may be designated with signage as Small Car Parking Spaces.
 CR-Street Loading Requirements:
 4.0m² x 2.32m² = 2 loading spaces
 Each additional 2.32m² = 1 additional
 Commercial loading spaces: 0.2m² x 1.0m² x 0.2m² (Releasable to 7.0m)
 Residential loading spaces: 7.0m² x 1.0m² x 0.2m²

BICYCLE PARKING STALL REQUIREMENTS
CLASS 1
 Multi-unit residential - 0.5 spaces per dwelling unit
 Commercial - 0.1 space per 500m² of gross floor area

CLASS 2
 Multi-unit residential - 6.0 spaces per building
 Commercial - 0.1 space per 100m² of gross floor area

STORAGE LOCKERS
 Minimum of 0.20m² of usable storage area per unit with a locker height of at least 1.0m - Storage space within Units

8- LANDSCAPING - Section 1.F
 A buffer of planted trees or shrubs or a fence of not less than 1.2m (3.93 ft) high (at time of planting) shall be provided along all lot lines which abut a lot which is zoned to permit different uses from the lot where the buffer is located.
 Landscaping shall be screened from any adjacent lot with a landscaped screen of not less than 1.2 metres high.
 A continuous landscaping strip of not less than 0.70m wide shall be provided within the lot abutting a provincial highway.
 Garbage containers and recycling containers shall be screened from any adjacent lot to a height of at least 1.2m

SPECIAL REGULATIONS
 Minimum 2.3m² indoor amenity space per dwelling unit for all buildings containing more than 20 units
 2.3m² x 7.8 Units = 178.4m² (1531sqft)

SITE OF GARBAGE AND RECYCLING STORAGE SPACE (Metro Vancouver Specifications)

Residential
 The minimum size of the centralized garbage and recycling storage space for multi-family residential building is determined through this formula: (0.01 m² x number of housing units) + 6.1 m² = 32.8m²
 Within the garbage and recycling storage space, the minimum size of the centralized recycling storage space for multi-family residential building is determined through this formula: (0.16 m² x number of housing units) + 6.1 m² = 17.4m²
 Flex Space for storage to be equivalent to an additional 50% of the recycling storage space = 17.4x50% = 8.7m²

Commercial
 The minimum size of the centralized garbage and recycling storage space for commercial buildings = 0.0162 x 740,15m² = 3.7 x 1747m²
 The minimum size of the centralized recycling storage space for commercial buildings = 0.014 x 740,15m² + 3.0 = 13,20m²
 Combined Space Required: 49,35m²

SITE INFORMATION		WASTE & RECYCLING	
LAND USE DISTRICT	C1 Downtown Commercial Zone	REQUIRED	
LEGAL DESCRIPTION	Plan 28343 Lot 52, Folio 042240 PID 008-681-612	Residential	
MUNICIPAL ADDRESS	20297 Fraser Hwy, Langley	Waste	Garbage 4,134 L 534 L/Unit/Week Organics 1,092 L 144 L/Unit/Week TOTAL 5,226 L
COMMUNITY		Recycling	Mixed Containers 1,443 L 183 L/Unit/Week Mixed Papers 1,170 L 154 L/Unit/Week Cardboard 2,145 L 274 L/Unit/Week Glass 195 L 25 L/Unit/Week TOTAL 4,922 L
SITE AREA*	2,392 SM 25,749 SF 0.59 AC 0.239 HA	Commercial	
DEVELOPMENT STATISTICS		Waste	Garbage 1,624 L 2,25 L/SM/Week TOTAL 1,624 L
PROPOSED USE	Residential, Commercial Retail	Recycling	Mixed Containers 440 L 0.6 L/SM/Week Mixed Papers 1,916 L 1.9 L/Unit/Week Cardboard 1,000 L 2.9 L/Unit/Week Glass 2 L 0.00 L/Unit/Week TOTAL 3,617 L
UNIT COUNT		Phenolics	
1 Bed	36 Units 44.9%	Residential	Garbage 4,588 L 1 x 360 L/Week Organics 1,090 L 1 x 360 L/Week TOTAL 5,678 L
2 Bed	34 Units 43.6%	Recycling	Mixed Containers 1,440 L 1 x 360 L/Week Mixed Papers 1,916 L 1 x 360 L/Week Cardboard 2,284 L 3 x 360 L/Week Glass 240 L 2 x 360 L/Week TOTAL 5,414 L
TOTAL	78 Units 100.0%	Commercial	
PROJECT GFA		Waste	Garbage 2,284 L 3 x 360 L/Week TOTAL 2,284 L
Parking - Main Floor	727 SM 7,833 SF	Recycling	Mixed Containers 480 L 1 x 360 L/Week Mixed Papers 1,060 L 1 x 360 L/Week Cardboard 2,284 L 3 x 360 L/Week Glass 0 L Stored w/ Res. TOTAL 3,854 L
Commercial	678 SM 7,293 SF		
Main Floor	346 SM 3,726 SF		
Level 2	1,079 SM 11,517 SF		
Level 3	1,473 SM 15,800 SF		
Level 4	1,473 SM 15,800 SF		
Level 5	1,473 SM 15,800 SF		
Level 6	1,473 SM 15,800 SF		
TOTAL	8,178 SM 86,157 SF		
DENSITY			
Maximum	371 units/ha		
Proposed	320 units/ha		
PARCEL COVERAGE			
Maximum	96.4%		
Proposed	77.5%		
AMENITY AREA			
Required, Indoor	178 SM 2,394 sm ²		
Proposed			
Indoor	181 SM 2,000 sm ²		
TOTAL	181 SM 2,000 sm²		
BUILDING HEIGHT			
Maximum	46 m		
VEHICLE PARKING			
Required	1 Bed 31.5 stalls 0.86 stalls/unit 2 Bed 48.8 stalls 1.28 stalls/unit 0 Unit 15.9 stalls 1.44 stalls/unit Visitor 7.8 stalls 0.19 stalls/unit Optional** 6.8 stalls 1.8 stalls/100 SM ² Commercial		
TOTAL	99 stalls 1.28 stalls/unit		
Provided	85.0 stalls 1.09 stalls/unit 13 stalls Visitor/Commercial TOTAL 98 stalls 1.26 stalls/unit Deficiency		
BICYCLE PARKING			
Required	Class 1 (Resident) 39.0 stalls 0.5 stalls/unit Commercial 0.14 stalls 0.14 stalls/100 SM ² TOTAL 39 stalls 0.5 stalls/unit		
Class 2 (Short Term)	Resident 6.0 stalls 0.8 stalls/unit Visitor 10.8 stalls 0.14 stalls/100 SM ² TOTAL 16.8 stalls 0.2 stalls/unit		
Provided	Class 1 (Resident) 40.0 stalls Commercial 1.00 stalls TOTAL 41 stalls 0.53 stalls/unit		
Class 2 (Short Term)	Resident 6.0 stalls Commercial 2.00 stalls TOTAL 8 stalls 0.11 stalls/unit		
GENERAL NOTES	*See area site dedications addressed ** up to max 50% Commercial stalls can be stored with visitor parking, 7.1 x 2.4 stalls stored		

PROJECT NUMBER: 2024-03-27 Issue for DP

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PROJECT STATUS: Development Permit

PROJECT: KERR Langley Mixed Use

20297 Fraser Highway
 Langley, BC
 Lot 52, Plan 28343,
 PID 008-681-612

CONTEXT PLAN, PROJECT STATISTICS, SITE PHOTOS

PROJECT NUMBER: 21-051
 DRAWING NUMBER: DP1.2

As indicated

DATE: 2024-03-27
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]



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PROJECT STATUS

Development Permit

KERR Langley Mixed Use

20297 Fraser Highway
 Langley, BC
 Lot 52, Plan 28343,
 PID 008-081-612

21-051 DP
 SITE & PARKING LEVEL
 DETAILS, STREETSCAPE
 ELEVATIONS

PROJECT NUMBER: 21-051

DATE: As indicated

BY: [Signature]

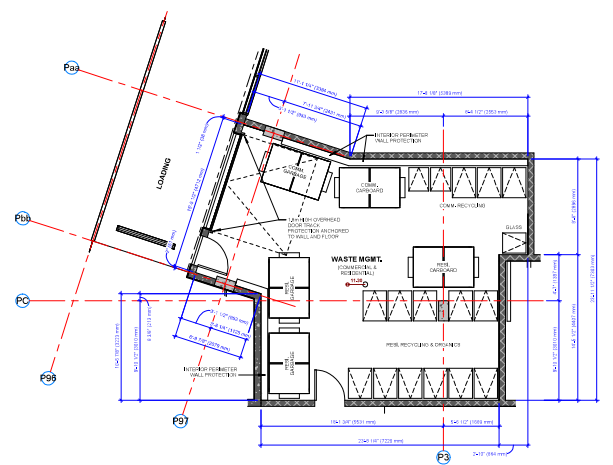
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DATE: 2024 03 27

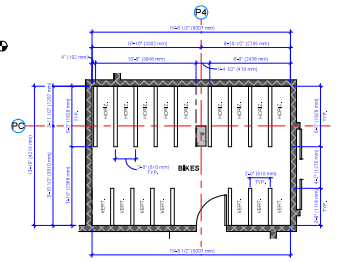
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SCALE: [Scale]

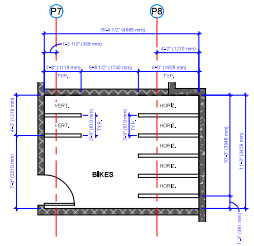
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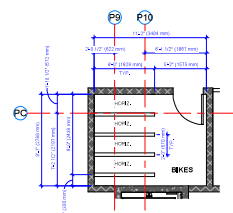
1 PLAN DETAIL - LVL 1 - WASTE & RECYCLING
 3/16" = 1'-0"



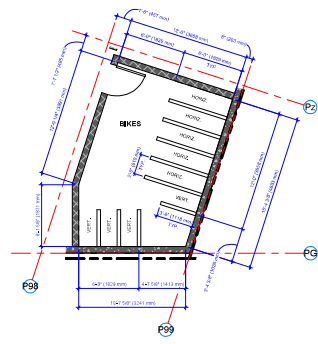
3 PLAN DETAIL - LVL 1 - BIKE RM NE
 3/16" = 1'-0"



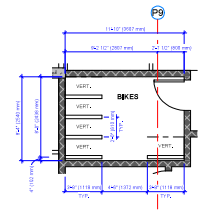
2 PLAN DETAIL - LVL 1 - BIKE RM CENTRE
 3/16" = 1'-0"



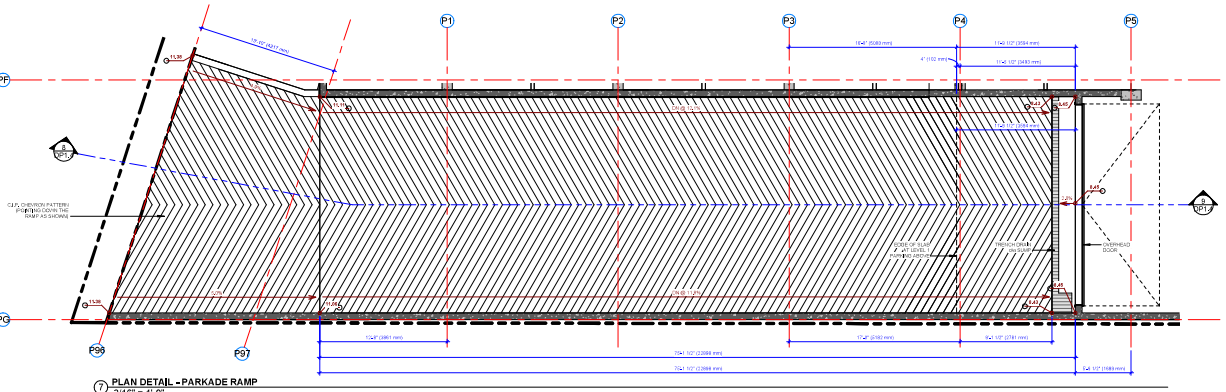
4 PLAN DETAIL - P1 - BIKE RM CENTRE
 3/16" = 1'-0"



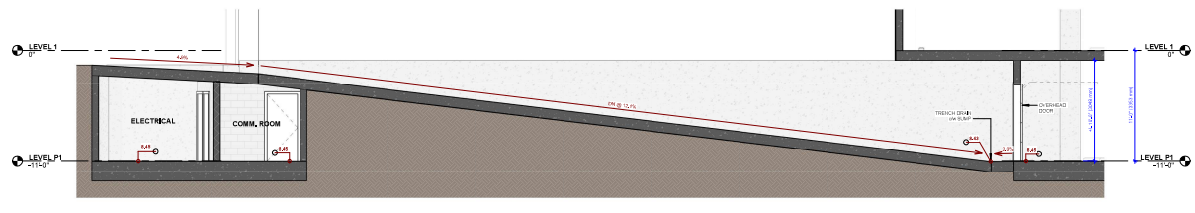
5 PLAN DETAIL - P1 - BIKE RM SW LARGE
 3/16" = 1'-0"



6 PLAN DETAIL - P1 - BIKE RM SW SMALL
 3/16" = 1'-0"

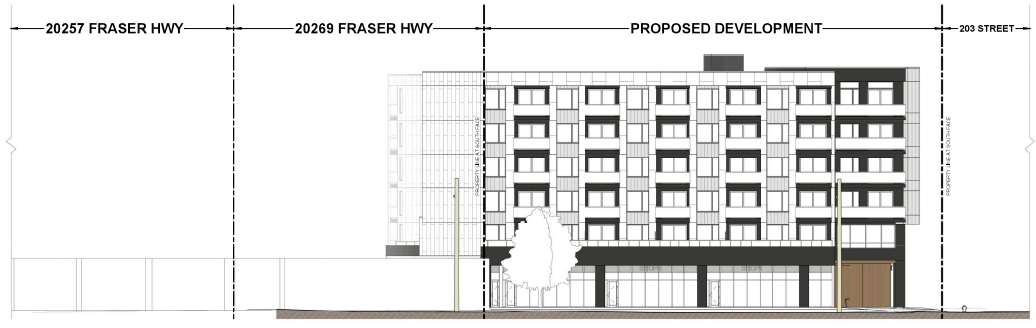


7 PLAN DETAIL - PARKADE RAMP
 3/16" = 1'-0"

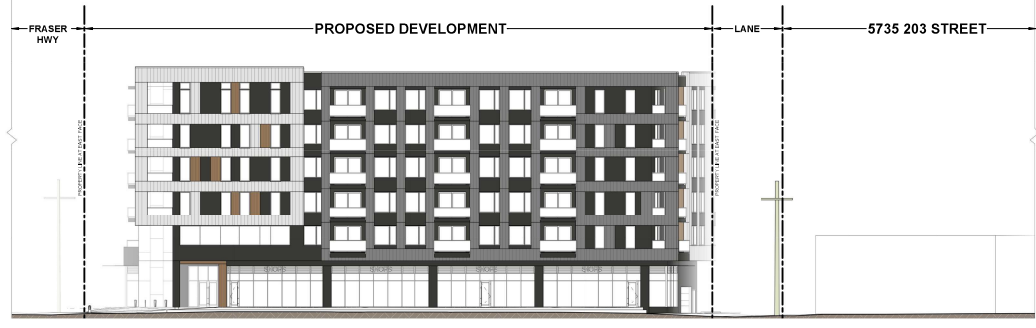


8 SECTION DETAIL - PARKADE RAMP
 3/16" = 1'-0"

9 DP PARKADE RAMP RIGHT
 3/16" = 1'-0"



10 South (Fraser Highway Alignment) - STREETSCAPE
 1/16" = 1'-0"

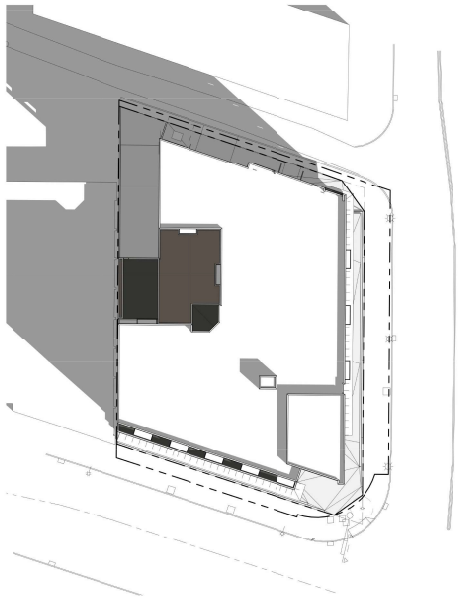


11 East Elevation - STREETSCAPE
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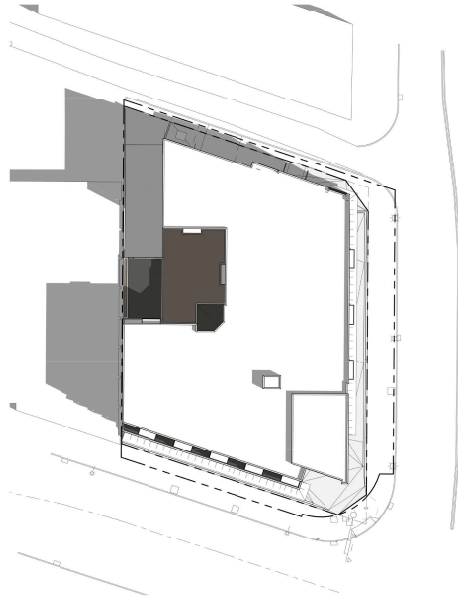


2024 03 27 Issued for DP

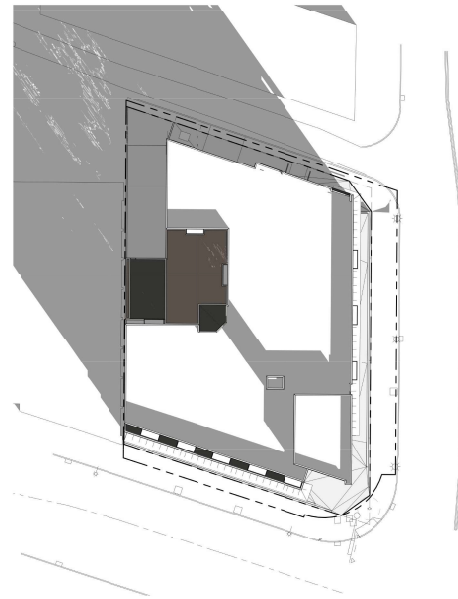
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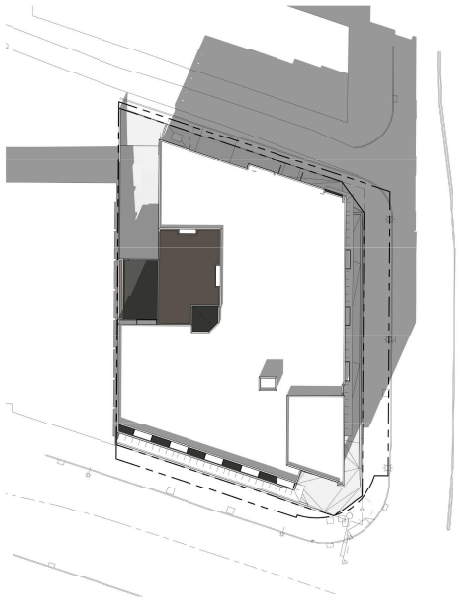
1 Shadow Study - Spring Equinox (Mar 22) @ 10am
1" = 30'-0"



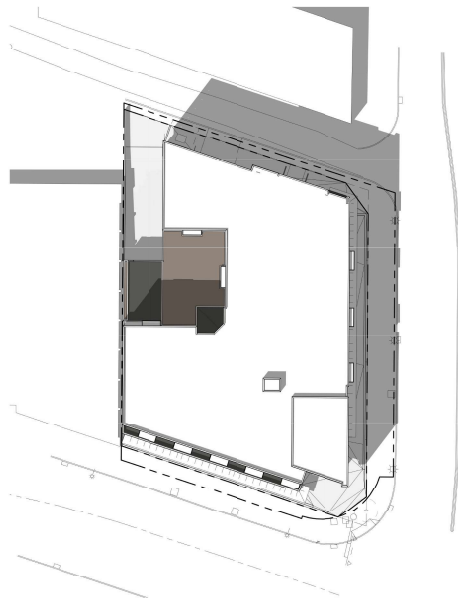
3 Shadow Study - Summer Solstice (June 22) @ 10am
1" = 30'-0"



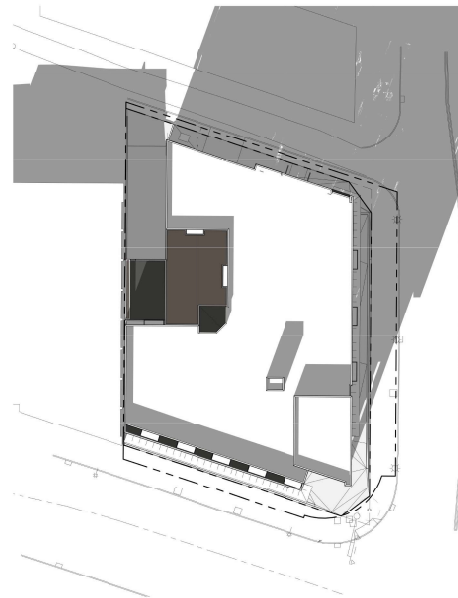
5 Shadow Study - Winter Solstice (Dec 22) @ 10am
1" = 30'-0"



2 Shadow Study - Spring Equinox (Mar 22) @ 2pm
1" = 30'-0"



4 Shadow Study - Summer Solstice (June 22) @ 2pm
1" = 30'-0"



6 Shadow Study - Winter Solstice (Dec 22) @ 2pm
1" = 30'-0"

GRAVITY ARCHITECTURE

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PROJECT STATUS

Development Permit

KERR Langley Mixed Use

20207 Fraser Highway
Langley, BC
Lot 52, Plan 28343,
PID 008-981-612

SHADOW STUDIES

PROJECT NUMBER

21-051

SCALE

1" = 30'-0"

DATE

2024.03.27

BY

GRAVITY ARCHITECTURE

DRAWING NUMBER

DP1.5

DESIGNED

GRAVITY ARCHITECTURE

CHECKED

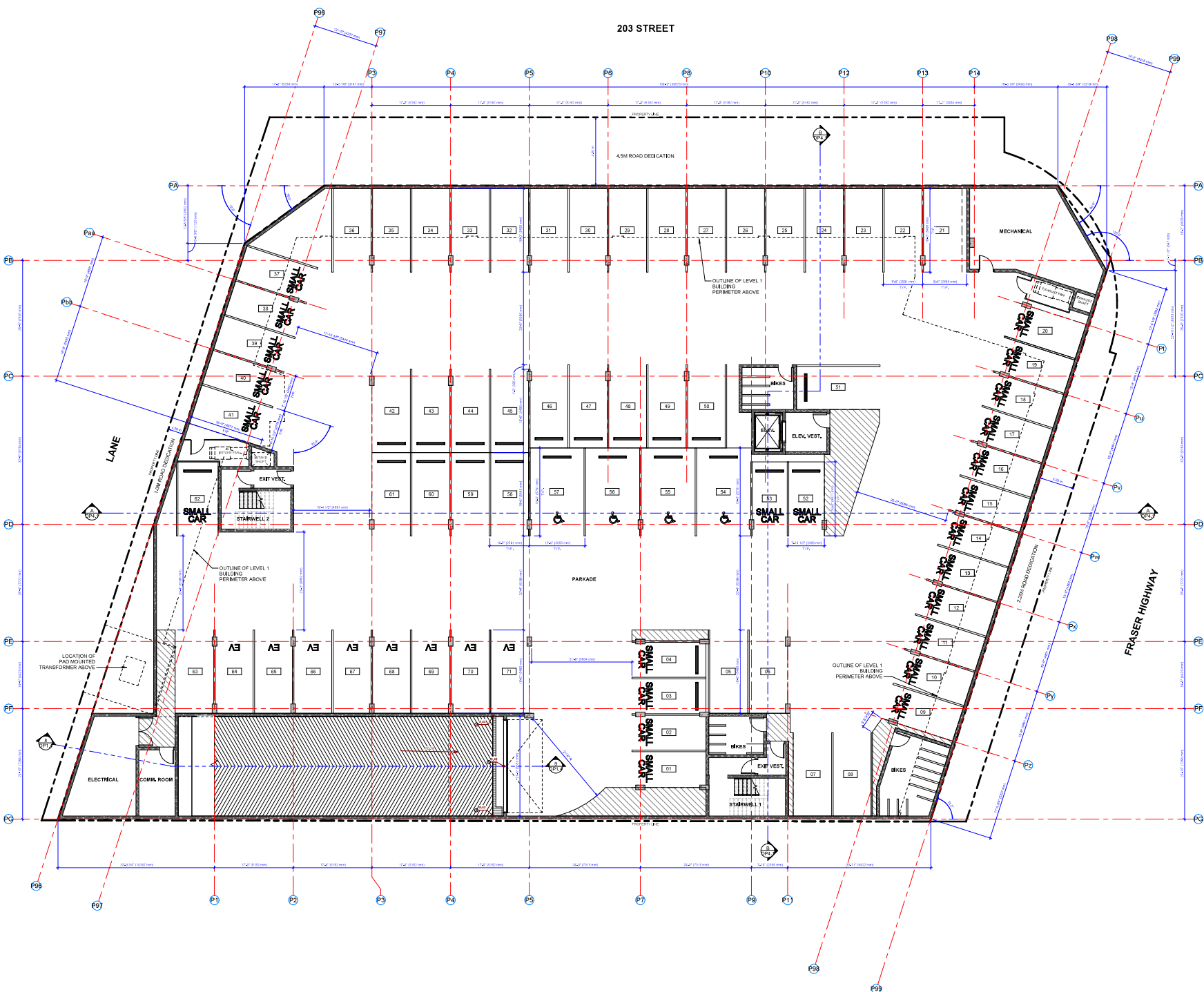
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DATE

2024.03.27

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 2024-03-27 Issue for DP

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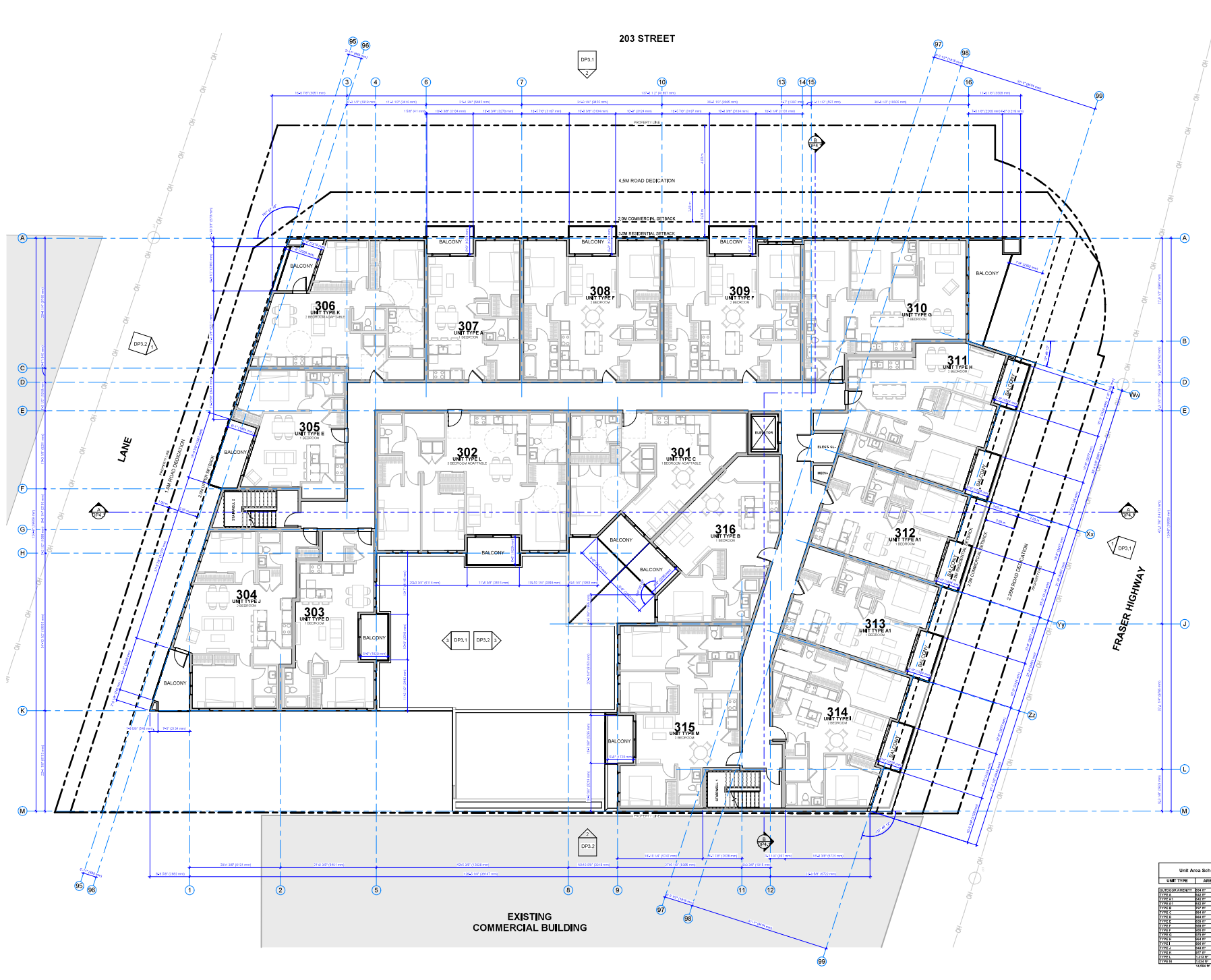
21-051
 1/8" = 1'-0"
 2024-03-27



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PROJECT STATUS
 Development Permit
KERR Langley Mixed Use
 20237 Fraser Highway
 Langley, BC
 Lot 52, Plan 28343,
 PID 008-981-612
FLOOR PLAN - LEVEL P1

PROJECT NUMBER	21-051	DRAWING NUMBER	DP2.1
SCALE	1/8" = 1'-0"	DATE	2024-03-27
DESIGNED BY	GRAVITY ARCHITECTURE	CHECKED BY	GRAVITY ARCHITECTURE
DRAWN BY	GRAVITY ARCHITECTURE	DATE	2024-03-27
DATE	2024-03-27	SCALE	1/8" = 1'-0"



REVISED
 2024.03.27 Issued for DP

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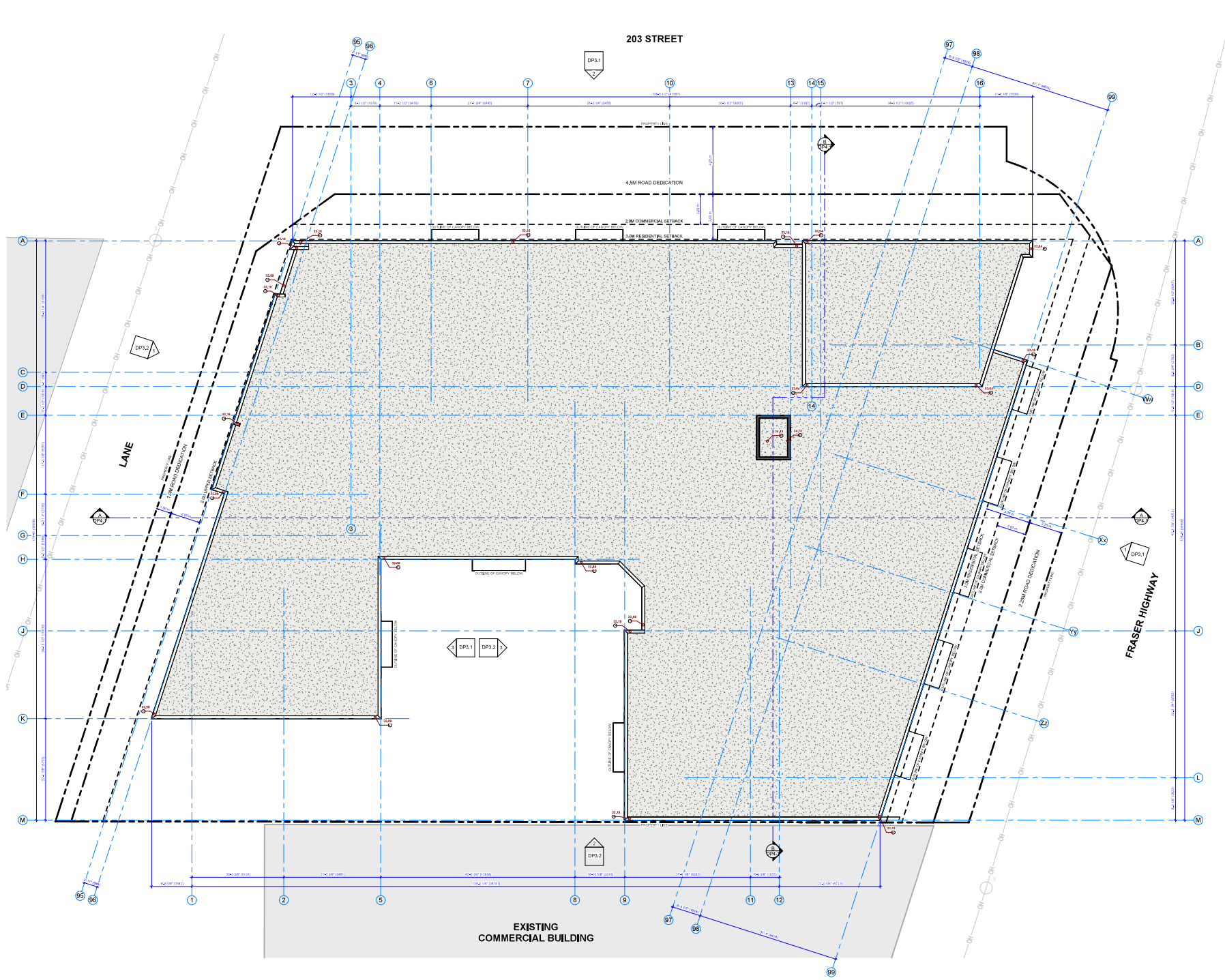
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PROJECT STATUS
 Development Permit
KERR Langley Mixed Use

20207 Fraser Highway
 Langley, BC
 Lot 52 Plan 28343,
 PID 008-981-612

FLOOR PLAN - LEVELS 3-6

Unit Area Schedule (Rentable)		
UNIT TYPE	AREA (SF)	AREA (RM)
UNIT TYPE A	1,200	1,200
UNIT TYPE B	1,500	1,500
UNIT TYPE C	2,000	2,000
UNIT TYPE D	2,500	2,500
UNIT TYPE E	3,000	3,000
UNIT TYPE F	3,500	3,500
UNIT TYPE G	4,000	4,000
UNIT TYPE H	4,500	4,500
UNIT TYPE I	5,000	5,000
UNIT TYPE J	5,500	5,500
UNIT TYPE K	6,000	6,000
UNIT TYPE L	6,500	6,500
UNIT TYPE M	7,000	7,000
UNIT TYPE N	7,500	7,500
UNIT TYPE O	8,000	8,000
UNIT TYPE P	8,500	8,500
UNIT TYPE Q	9,000	9,000
UNIT TYPE R	9,500	9,500
UNIT TYPE S	10,000	10,000
UNIT TYPE T	10,500	10,500
UNIT TYPE U	11,000	11,000
UNIT TYPE V	11,500	11,500
UNIT TYPE W	12,000	12,000
UNIT TYPE X	12,500	12,500
UNIT TYPE Y	13,000	13,000
UNIT TYPE Z	13,500	13,500
UNIT TYPE AA	14,000	14,000
UNIT TYPE AB	14,500	14,500
UNIT TYPE AC	15,000	15,000
UNIT TYPE AD	15,500	15,500
UNIT TYPE AE	16,000	16,000
UNIT TYPE AF	16,500	16,500
UNIT TYPE AG	17,000	17,000
UNIT TYPE AH	17,500	17,500
UNIT TYPE AI	18,000	18,000
UNIT TYPE AJ	18,500	18,500
UNIT TYPE AK	19,000	19,000
UNIT TYPE AL	19,500	19,500
UNIT TYPE AM	20,000	20,000
UNIT TYPE AN	20,500	20,500
UNIT TYPE AO	21,000	21,000
UNIT TYPE AP	21,500	21,500
UNIT TYPE AQ	22,000	22,000
UNIT TYPE AR	22,500	22,500
UNIT TYPE AS	23,000	23,000
UNIT TYPE AT	23,500	23,500
UNIT TYPE AU	24,000	24,000
UNIT TYPE AV	24,500	24,500
UNIT TYPE AW	25,000	25,000
UNIT TYPE AX	25,500	25,500
UNIT TYPE AY	26,000	26,000
UNIT TYPE AZ	26,500	26,500
UNIT TYPE BA	27,000	27,000
UNIT TYPE BB	27,500	27,500
UNIT TYPE BC	28,000	28,000
UNIT TYPE BD	28,500	28,500
UNIT TYPE BE	29,000	29,000
UNIT TYPE BF	29,500	29,500
UNIT TYPE BG	30,000	30,000
UNIT TYPE BH	30,500	30,500
UNIT TYPE BI	31,000	31,000
UNIT TYPE BJ	31,500	31,500
UNIT TYPE BK	32,000	32,000
UNIT TYPE BL	32,500	32,500
UNIT TYPE BM	33,000	33,000
UNIT TYPE BN	33,500	33,500
UNIT TYPE BO	34,000	34,000
UNIT TYPE BP	34,500	34,500
UNIT TYPE BQ	35,000	35,000
UNIT TYPE BR	35,500	35,500
UNIT TYPE BS	36,000	36,000
UNIT TYPE BT	36,500	36,500
UNIT TYPE BU	37,000	37,000
UNIT TYPE BV	37,500	37,500
UNIT TYPE BW	38,000	38,000
UNIT TYPE BX	38,500	38,500
UNIT TYPE BY	39,000	39,000
UNIT TYPE BZ	39,500	39,500
UNIT TYPE CA	40,000	40,000
UNIT TYPE CB	40,500	40,500
UNIT TYPE CC	41,000	41,000
UNIT TYPE CD	41,500	41,500
UNIT TYPE CE	42,000	42,000
UNIT TYPE CF	42,500	42,500
UNIT TYPE CG	43,000	43,000
UNIT TYPE CH	43,500	43,500
UNIT TYPE CI	44,000	44,000
UNIT TYPE CJ	44,500	44,500
UNIT TYPE CK	45,000	45,000
UNIT TYPE CL	45,500	45,500
UNIT TYPE CM	46,000	46,000
UNIT TYPE CN	46,500	46,500
UNIT TYPE CO	47,000	47,000
UNIT TYPE CP	47,500	47,500
UNIT TYPE CQ	48,000	48,000
UNIT TYPE CR	48,500	48,500
UNIT TYPE CS	49,000	49,000
UNIT TYPE CT	49,500	49,500
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UNIT TYPE CV	50,500	50,500
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UNIT TYPE CY	52,000	52,000
UNIT TYPE CZ	52,500	52,500
UNIT TYPE DA	53,000	53,000
UNIT TYPE DB	53,500	53,500
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UNIT TYPE DD	54,500	54,500
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UNIT TYPE DF	55,500	55,500
UNIT TYPE DG	56,000	56,000
UNIT TYPE DH	56,500	56,500
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UNIT TYPE DJ	57,500	57,500
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UNIT TYPE DN	59,500	59,500
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UNIT TYPE DS	62,000	62,000
UNIT TYPE DT	62,500	62,500
UNIT TYPE DU	63,000	63,000
UNIT TYPE DV	63,500	63,500
UNIT TYPE DW	64,000	64,000
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UNIT TYPE DY	65,000	65,000
UNIT TYPE DZ	65,500	65,500
UNIT TYPE EA	66,000	66,000
UNIT TYPE EB	66,500	66,500
UNIT TYPE EC	67,000	67,000
UNIT TYPE ED	67,500	67,500
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UNIT TYPE EF	68,500	68,500
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UNIT TYPE EH	69,500	69,500
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UNIT TYPE EJ	70,500	70,500
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UNIT TYPE ES	75,000	75,000
UNIT TYPE ET	75,500	75,500
UNIT TYPE EU	76,000	76,000
UNIT TYPE EV	76,500	76,500
UNIT TYPE EW	77,000	77,000
UNIT TYPE EX	77,500	77,500
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UNIT TYPE FB	79,500	79,500
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UNIT TYPE FD	80,500	80,500
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UNIT TYPE FH	82,500	82,500
UNIT TYPE FI	83,000	83,000
UNIT TYPE FJ	83,500	83,500
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UNIT TYPE FL	84,500	84,500
UNIT TYPE FM	85,000	85,000
UNIT TYPE FN	85,500	85,500
UNIT TYPE FO	86,000	86,000
UNIT TYPE FP	86,500	86,500
UNIT TYPE FQ	87,000	87,000
UNIT TYPE FR	87,500	87,500
UNIT TYPE FS	88,000	88,000
UNIT TYPE FT	88,500	88,500
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UNIT TYPE FV	89,500	89,500
UNIT TYPE FW	90,000	90,000
UNIT TYPE FX	90,500	90,500
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UNIT TYPE GF	94,500	94,500
UNIT TYPE GG	95,000	95,000
UNIT TYPE GH	95,500	95,500
UNIT TYPE GI	96,000	96,000
UNIT TYPE GJ	96,500	96,500
UNIT TYPE GK	97,000	97,000
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UNIT TYPE GN	98,500	98,500
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UNIT TYPE GP	99,500	99,500
UNIT TYPE GQ	100,000	100,000
UNIT TYPE GR	100,500	100,500
UNIT TYPE GS	101,000	101,000
UNIT TYPE GT	101,500	101,500
UNIT TYPE GU	102,000	102,000
UNIT TYPE GV	102,500	102,500
UNIT TYPE GW	103,000	103,000
UNIT TYPE GX	103,500	103,500
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UNIT TYPE GZ	104,500	104,500
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UNIT TYPE HV	115,500	115,500
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UNIT TYPE IL	123,500	123,500
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UNIT TYPE IN	124,500	124,500
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UNIT TYPE IQ	126,000	126,000
UNIT TYPE IR	126,500	126,500
UNIT TYPE IS	127,000	127,000
UNIT TYPE IT	127,500	127,500
UNIT TYPE IU	128,000	128,000
UNIT TYPE IV	128,500	128,500
UNIT TYPE IW	129,000	129,000
UNIT TYPE IX	129,500	129,500
UNIT TYPE IY	130,000	130,000
UNIT TYPE IZ	130,500	130,500
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UNIT TYPE JB	131,500	131,500
UNIT TYPE JC	132,000	132,000
UNIT TYPE JD	132,500	132,500
UNIT TYPE JE	133,000	133,000
UNIT TYPE JF	133,500	133,500
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UNIT TYPE JH	134,500	134,500
UNIT TYPE JI	135,000	135,000
UNIT TYPE JJ	135,500	135,500
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UNIT TYPE JN	137,500	137,500
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UNIT TYPE JR	139,500	139,500
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UNIT TYPE JY	143,000	143,000
UNIT TYPE JZ	143,500	143,500
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UNIT TYPE KB	144,500	144,500
UNIT TYPE KC	145,000	145,000
UNIT TYPE KD	145,500	145,500
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UNIT TYPE KJ	148,500	148,500
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UNIT TYPE KQ	152,000	152,000
UNIT TYPE KR	152,500	152,500
UNIT TYPE KS	153,000	153,000
UNIT TYPE KT	153,500	153,500
UNIT TYPE KU	154,000	154,000
UNIT TYPE KV	154,500	154,500
UNIT TYPE KW	155,000	155,000
UNIT TYPE KX	155,500	155,500
UNIT TYPE KY	156,000	156,000
UNIT TYPE KZ	156,500	156,500
UNIT TYPE LA	157,000	157,000
UNIT TYPE LB	157,500	157,500
UNIT TYPE LC	158,000	158,000
UNIT TYPE LD	158,500	158,500
UNIT TYPE LE		



REVISED
 2024.03.27 Issued for DP

PRELIMINARY, NOT FOR CONSTRUCTION

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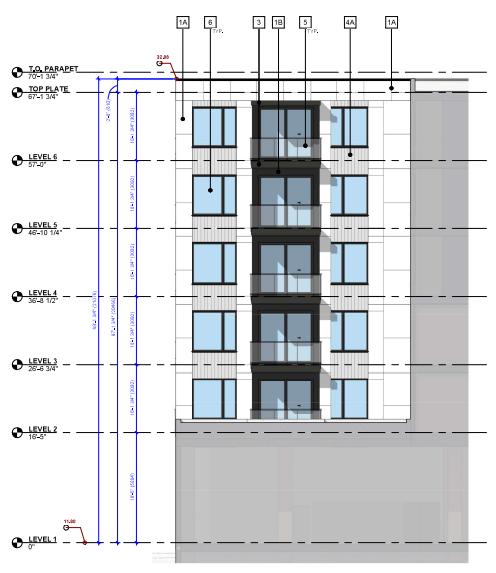


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PROJECT STATUS
 Development Permit
KERR Langley Mixed Use
 20207 Fraser Highway
 Langley, BC
 Lot 52 Plan 28343,
 PID 008-981-612
ROOF PLAN

PROJECT NUMBER 21-051	DRAWING NUMBER DP2.5
SCALE 1/8" = 1'-0"	
DATE 2024.03.27	
DESIGNED BY GRAVITY ARCHITECTURE	CHECKED BY GRAVITY ARCHITECTURE
DATE 2024.03.27	

PRELIMINARY, NOT FOR CONSTRUCTION



③ South Elevation (Building Return @ Roof Amenities)
 1/8" = 1'-0"



① South Elevation (Fraser Highway Alignment) - DP
 1/8" = 1'-0"



② East Elevation - DP
 1/8" = 1'-0"

Exterior Material Board

Exterior Material Board

Exterior Materials		
#	Description	Colour
1A	Ceramic Coated Fibre Cement Panel Cladding	White
1B	Ceramic Coated Fibre Cement Panel Cladding	Charcoal
2	Metal Panel Series & Soffit Panels	Wood Look
3	Metal Panel Series	Charcoal
4	Metal Panel Series	Off-White
5	Metal Panel Series	Grey

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PROJECT STATUS
 Development Permit
 KERR Langley Mixed Use

2027 Fraser Highway
 Langley, BC
 Lot 52, Plan 28343,
 PID 008-981-612

**BUILDING ELEVATIONS,
 EXTERIOR MATERIAL BOARD**

PROJECT NUMBER	DRAWING NUMBER
21-051	DP3.1
1/8" = 1'-0"	
DATE	DATE
2024.03.27	
BY	CHECKED
DAVID PERRY	DAVID PERRY
PROJECT MANAGER	PROJECT MANAGER
DAVID PERRY	DAVID PERRY

