

UNIT #202-34854 DELAIR RD.
 ABSTSFORD, B.C. V2S 2C9
 TEL: (604) 217-9097
 WWW.METHODDESIGNGROUP.COM

No.	Description	Date

NOTES:

ALL DIMENSIONS TO BE CHECKED BY CONTRACTOR BEFORE START OF CONSTRUCTION & ANY DISCREPANCIES REPORTED.
 THESE DRAWINGS CONFORM TO THE LATEST EDITION OF THE 2018 BRITISH COLUMBIA BUILDING CODE

PROJECT NUMBER: MDG22-12	
DRAWN BY: RJ	CHECKED BY: MB
DATE: 23-08-30	SCALE:

SHEET TITLE:
COVER SHEET

ADDRESS:
 5135 208A STREET
 LANGLEY

DRAWING:
A0.01

CIVIC ADDRESS:

5135 208A STREET LANGLEY

LEGAL ADDRESS:

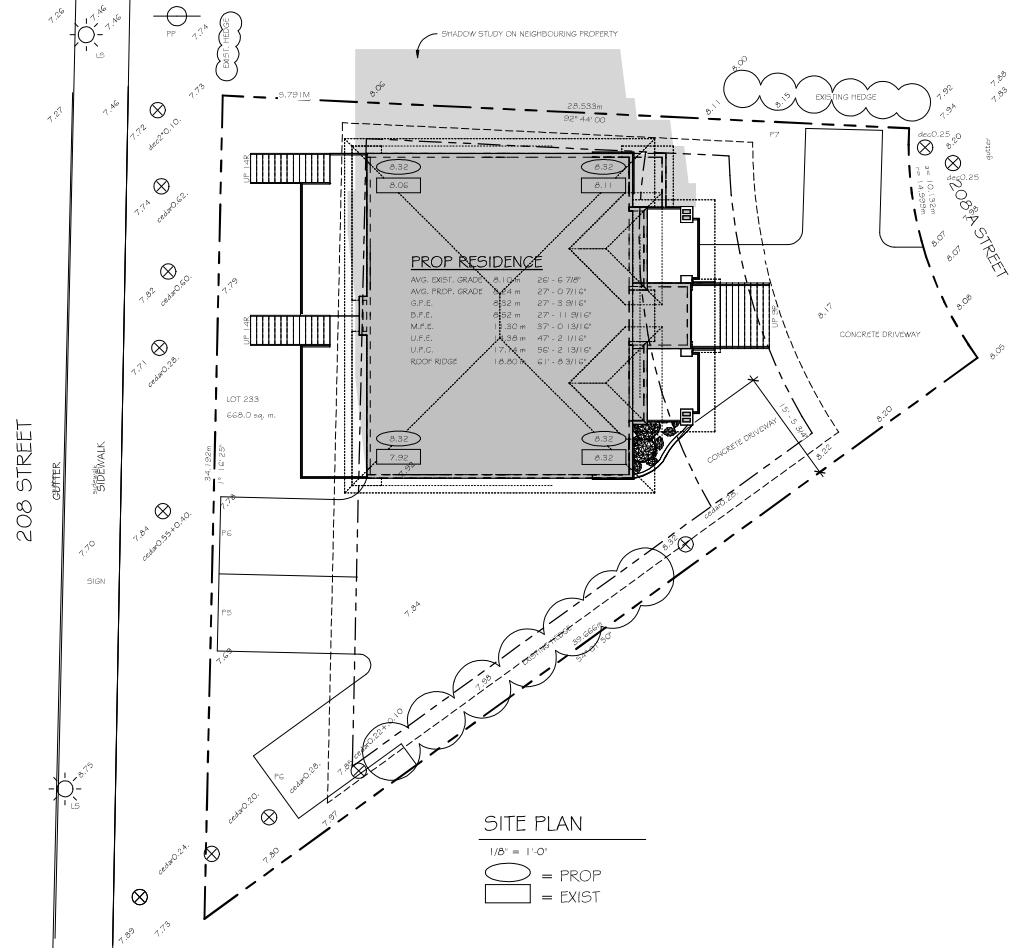
LOT: 233 1/4 PL. 56744 F.I.D. 002-572-015

SITE RECONCILIATION:

LOT SIZE :	668.00 sq. m. or 7,780.55 sq. ft.
ZONING :	R31
LOT COVERAGE :	MAX. 33% or 2,372.87 sq. ft. or 220.45 sq. m. PROP. : 32.45% or 2,333.08 sq. ft. or 214.75 sq. m.
GROSS FLOOR AREA :	PROP. : 70.62% or 5,078.03 sq. ft. or 471.74 sq. m.
BUILDING HEIGHT :	MAX. : 11m PROP. : 9.73m
NUMBER OF STOREYS :	3 STOREYS
EXISTING AVG. GRADE :	8.32m + 7.92m + 8.02m + 8.11m = 32.41m / 4 = 8.10m
# OF DWELLING UNITS :	3 DWELLING UNITS, GROUND C
BUILDING SETBACKS :	FRONT : MIN. - 7.50m PROP. - 9.45m INTERIOR (RIGHT) : MIN. - 1.50m PROP. - 1.50m REAR : MIN. - 4.00m PROP. - 6.50m INTERIOR (LEFT) : MIN. - 1.50m PROP. - 3.73m

PARKING REQUIREMENTS :	REQUIRED:
	1 BEDROOM UNIT = 1.5 SPACES > 2 BEDROOM UNIT = 2 SPACES VISITOR = 0.5 UNIT
	2 BEDROOM UNIT: 1 x 2 = 2 SPACES 3 BEDROOM UNITS: 2 x 2 = 4 SPACES VISITOR: 0.2 x 3 = 0.6 = 1 SPACE
PROVIDED:	GARAGE = 3 SPACES
	EXTERIOR PARKING = 4 TOTAL = 7 SPACES

SHEET LIST	
#	SHEET NAME
A0.01	COVER SHEET
A1.01	SITE PLAN & GENERAL NOTES
A1.02	CONTEXT PLAN
A2.02	BASEMENT FLOOR PLAN
A2.03	MAIN FLOOR PLAN
A2.04	UPPER FLOOR PLAN
A2.05	ROOF PLAN
A3.01	FRONT & RIGHT ELEVATIONS
A3.02	REAR & LEFT ELEVATIONS
A3.03	MATERIAL BREAKDOWN
A4.01	CROSS SECTION A



UNIT #202-34864 DELAIR RD.
ABBOTSFORD, B.C. V2S 2C9
TEL: (604) 217-9097
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NOTES:

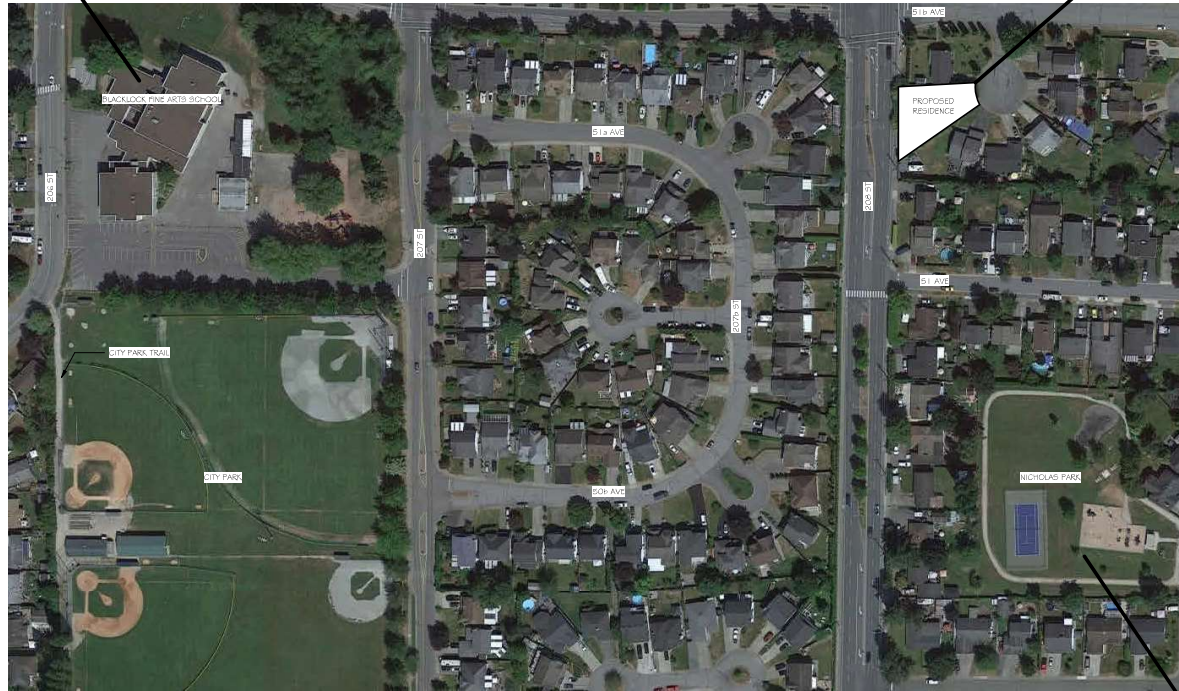
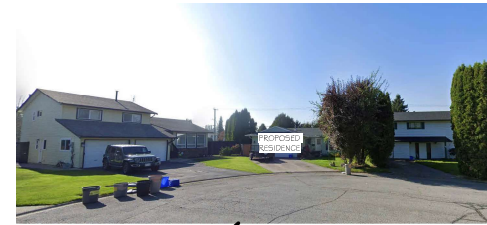
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PROJECT NUMBER:	MD22-12
DRAWN BY:	RJ
CHECKED BY:	MB
DATE:	23-08-30
SCALE:	1/8" = 1'-0"

SHEET TITLE
SITE PLAN & GENERAL NOTES

ADDRESS:
5135 208A STREET
LANGLEY

DRAWING:
A1.01



CONTEXT PLAN

1/4" = 1'-0"



UNIT #202-3464 DELAIR RD.
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PROJECT NUMBER:
 MDG22-112
 DRAWN BY: RJ
 CHECKED BY: MB
 DATE: 23-08-30
 SCALE: 1/4" = 1'-0"

SHEET TITLE:
CONTEXT PLAN

ADDRESS:
**5135 208A STREET
 LANGLEY**

DRAWINGS:
A1.02



UNIT #202-3484 DELAIR RD.
 ABINGFORD, B.C. V2S 2C9
 TEL: (604) 217-9597
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No.	Description	Date

NOTES:

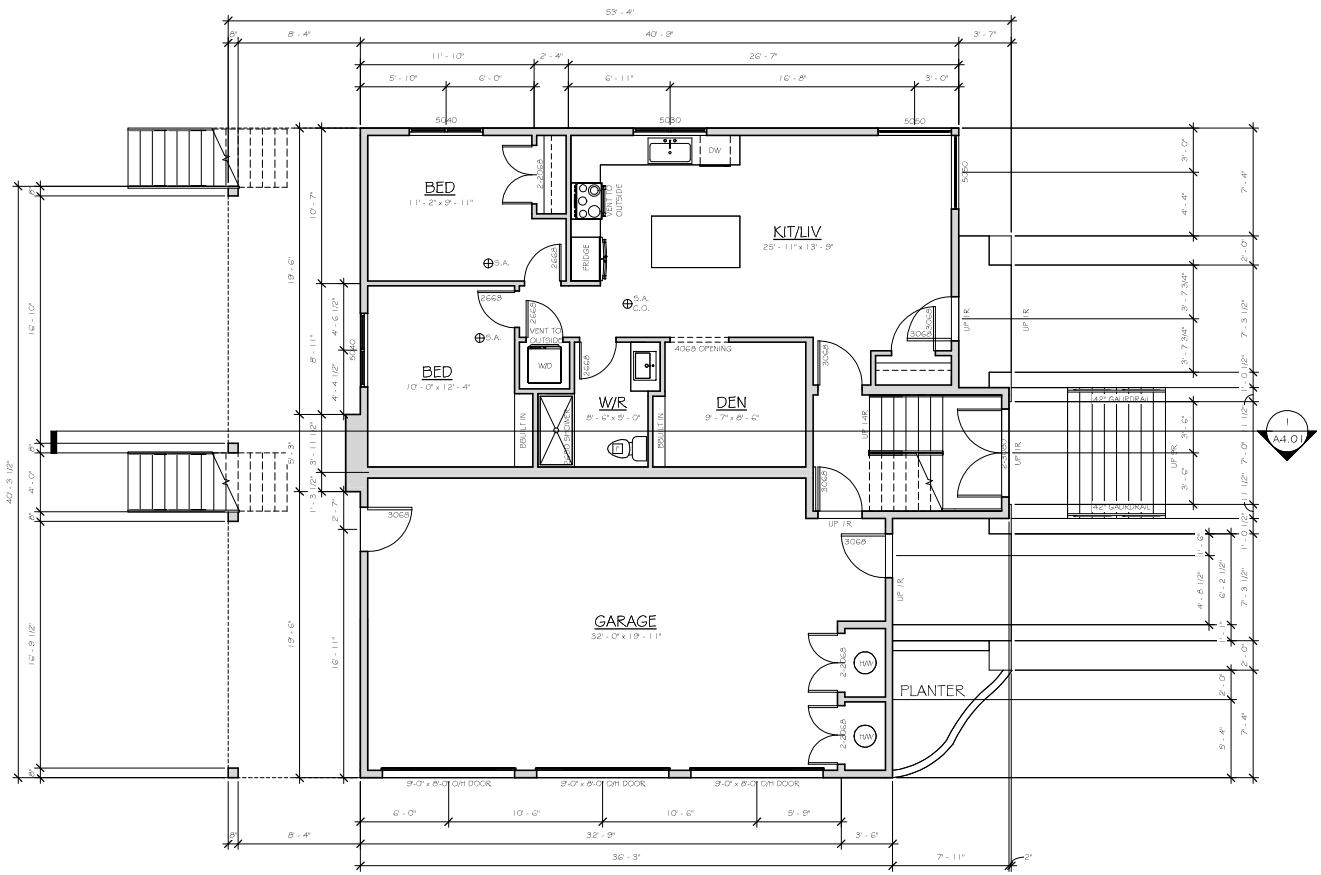
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PROJECT NUMBER:
 MD22-112
 DRAWN BY: RJ
 CHECKED BY: MB
 DATE: 23-08-30
 SCALE: 1/4" = 1'-0"

SHEET TITLE:
BASEMENT FLOOR PLAN

ADDRESS:
**5135 208A STREET
 LANGLEY**

DRAWINGS:
A2.02



BASEMENT FLOOR
 COMMON AREA: 127.07 SF
 GARAGE: 735.21 SF
 UNIT LIVING: 891.00 SF
 TOTAL AREA: 1,754.15 SF



UNIT #202-3484 DELAIR RD.
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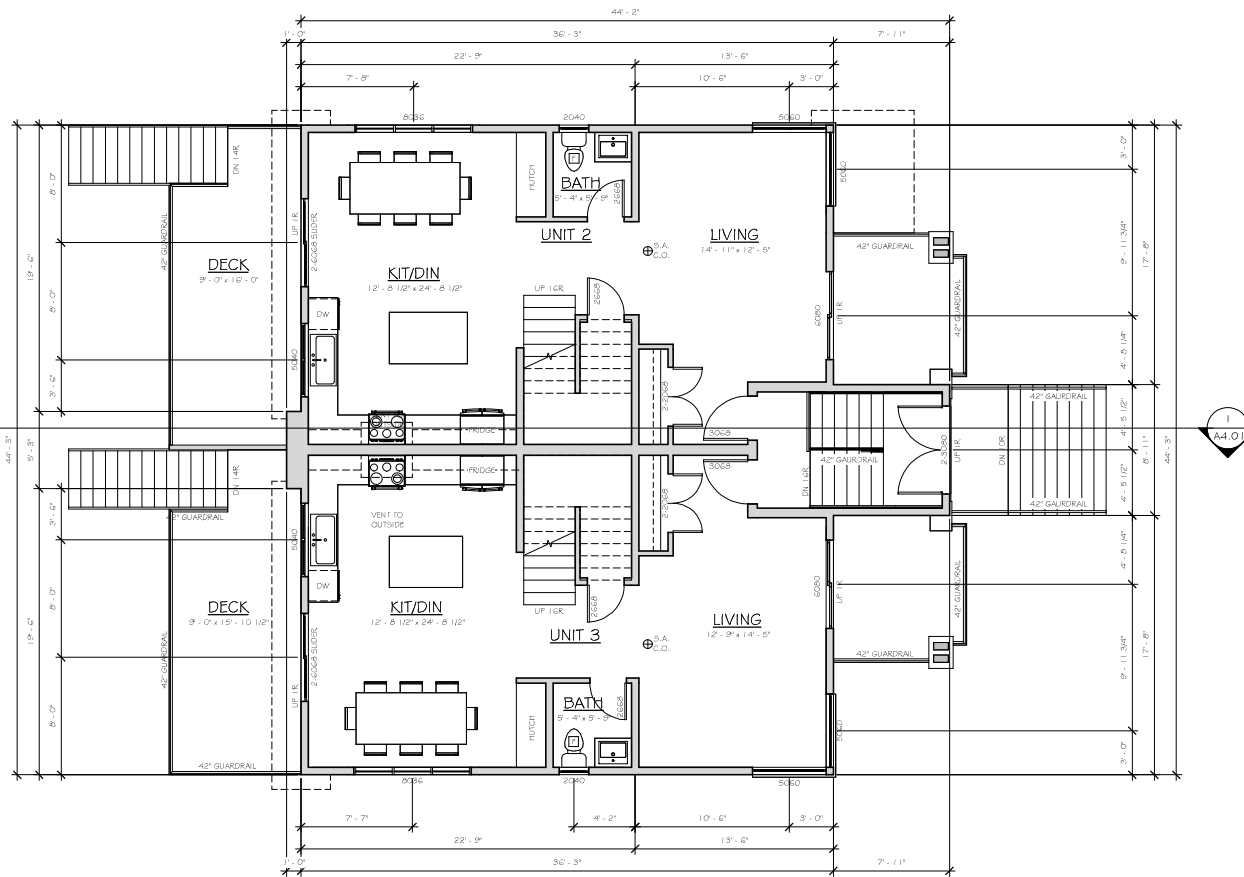
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PROJECT NUMBER:
 MD22-12
 DRAWN BY: RJ
 CHECKED BY: MB
 DATE: 23-08-30
 SCALE: 1/4" = 1'-0"

SHEET TITLE:
MAIN FLOOR PLAN

ADDRESS:
**5135 208A STREET
 LANGLEY**

DRAWINGS:
A2.03



MAIN FLOOR

COMMON AREA 126.86 SF
 UNIT 3 LIVING 778.27 SF
 UNIT 2 LIVING 774.92 SF
 TOTAL AREA 1,674.65 SF



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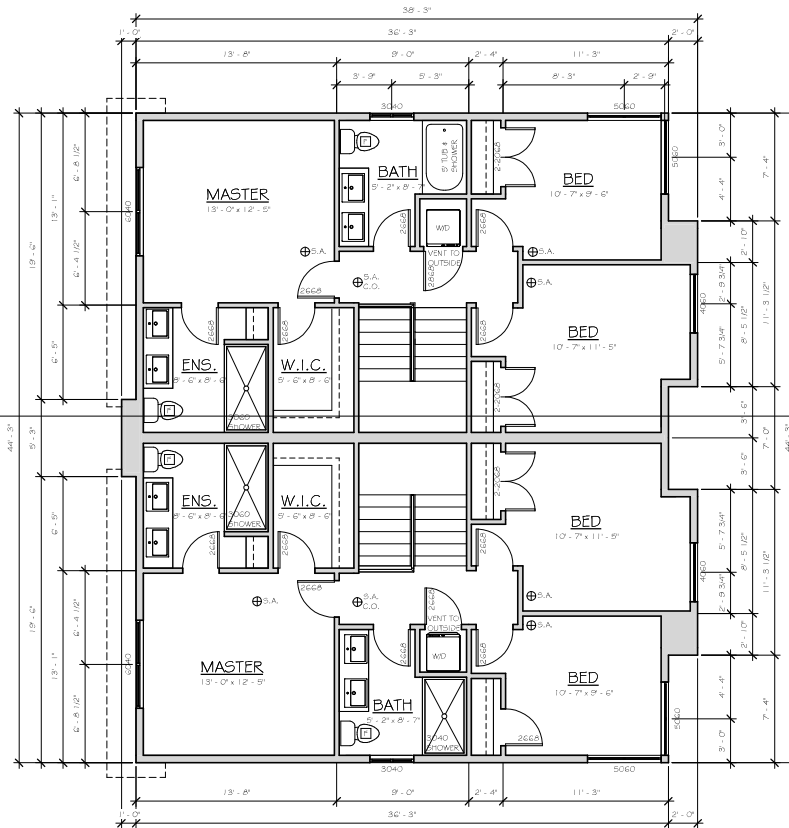
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PROJECT NUMBER:
 MD22-12
 DRAWN BY: RJ
 CHECKED BY: MB
 DATE: 23-08-30
 SCALE: 1/4" = 1'-0"

SHEET TITLE:
UPPER FLOOR PLAN

ADDRESS:
**5135 208A STREET
 LANGLEY**

DRAWING:
A2.04



UPPER FLOOR
 STAIRS 124.67 sq'
 4500-3 1,534.56 sq'
 TOTAL AREA 1,659.23 sq'

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PROJECT NUMBER:
MD22-112
DRAWN BY: RJ CHECKED BY: MB
DATE: 23-08-30 SCALE: As indicated

SHEET TITLE:
FRONT & RIGHT ELEVATIONS

ADDRESS:
**5135 208A STREET
LANGLEY**

DRAWING:
A3.01



MATERIAL LEGEND

- 1 STONE STYLE 1
- 2 STONE STYLE 2
- 3 LONGBOARD
- 4 VINYL WINDOW
- 5 2 X 10 STONE BAND
- 6 1 X 8 FASCIA BOARD W/ GUTTER
- 7 1 X 6 ON 1 X 24 FASCIA BOARD W/ PAINTED FINISH
- 8 OVERHEAD DOOR
- 9 WOOD W/ STONE BASE COLUMN
- 10 ASPHALT ROOF SHINGLES
- 11 GLASS GUARDRAILS
- 12 C-CHANNEL STEEL MEMBER

No.	Description	Date

NOTES:

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PROJECT NUMBER:
 MDG22-112
 DRAWN BY: R.J. CHECKED BY: MB
 DATE: 23-08-30 SCALE: As indicated

SHEET TITLE:
REAR & LEFT ELEVATIONS

ADDRESS:
**5135 208A STREET
 LANGLEY**

DRAWING:
A3.02



REAR ELEVATION

NOTE:
 ALL VENTS, PIPES, ETC. PROJECTING FROM THE ROOF,
 WALLS OR SOFFITS ARE TO BE PAINTED TO MATCH
 THE MATERIAL THEY ARE PROJECTING THROUGH.



LEFT ELEVATION

NOTE:
 ALL VENTS, PIPES, ETC. PROJECTING FROM THE ROOF,
 WALLS OR SOFFITS ARE TO BE PAINTED TO MATCH
 THE MATERIAL THEY ARE PROJECTING THROUGH.

MATERIAL LEGEND

- 1 STONE STYLE 1
- 2 STONE STYLE 2
- 3 LONGBOARD
- 4 VINYL WINDOW
- 5 2 X 10 STONE BAND
- 6 1 X 6 FASCIA BOARD W/ GUTTER
- 7 1 X 6 ON 1 X 24 FASCIA BOARD W/ PAINTED FINISH
- 8 OVERHEAD DOOR
- 9 WOOD W/ STONE BASE COLUMN
- 10 ASPHALT ROOF SHINGLES
- 11 GLASS GUARDRAILS
- 12 C-CHANNEL STEEL MEMBER



UNIT #202-34854 DELAIR RD.
 ABSTRACT RD. B.C. V2S 2C9
 TEL: (604) 217-9097
 WWW.METHOODDESIGNGROUP.COM

No.	Description	Date

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PROJECT NUMBER:
 MDG22-112
 DRAWN BY: RJJ CHECKED BY: MB
 DATE: 23-08-30 SCALE: 1/4" = 1'-0"

SHEET TITLE:
MATERIAL BREAKDOWN

ADDRESS:
 5135 208A STREET
 LANGLEY

DRAWING:
A3.03



MATERIAL BREAKDOWN

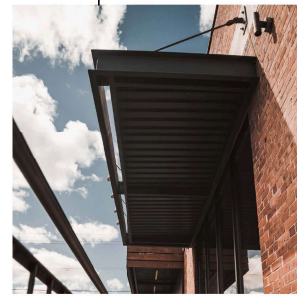
1/4" = 1'-0"



STONE; COLOR - SORRENTO



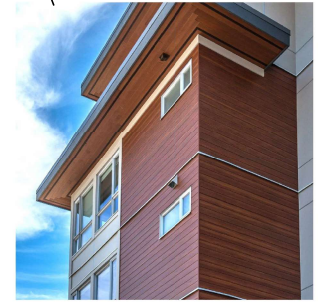
WOOD COLUMNS W/
 STONE BASE



AWNING EXAMPLE



STONE; COLOR - POSITANO



WOOD LONGBOARD



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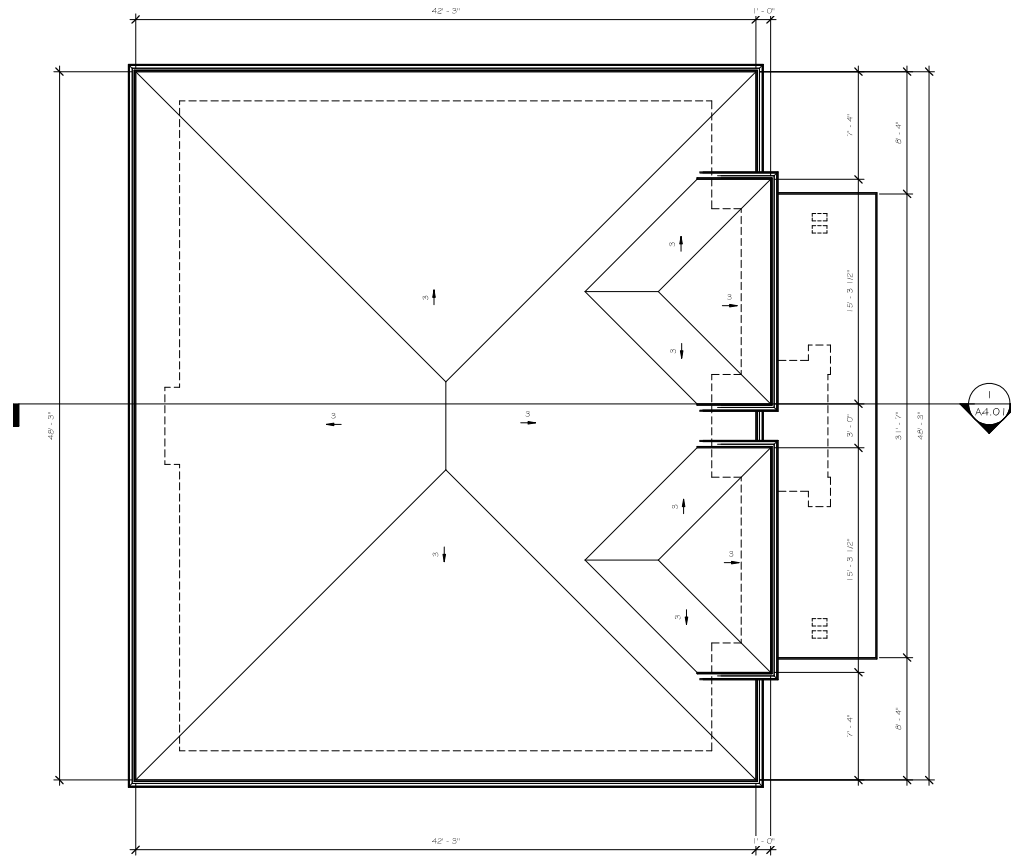
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DATE: 23-08-30	SCALE: 1/4" = 1'-0"

SHEET TITLE:
ROOF PLAN

ADDRESS:
5135 208A STREET
LANGLEY

DRAWING:
A2.05



ROOF PLAN

1/4" = 1'-0"