

Project Data

Zoning check list		Zoning Bylaw Reference / Notes
city address	6141 200th Street, City of Langley, BC V2Y 1A2 PID: 915-895-254 Lot B Section 10 Township 8 NWD Plan 84272	
legal address	Survey of Part of Lot B Section 10 Township 8 NWD Plan 84272	
survey	Topographic Survey of Part of Lot B Section 10 Township 8 NWD Plan 84272	
zoning	C2 Service Commercial Zone	
occupancy classification	Group A-2, up to 2 Storeys	refer to BCBC 2018 table 3.1.2.1
number of stories	2 stories	
streets facing building	200 Street & Langley By-Pass (2)	
existing mail site area	47369.61 m ² (50962.24 R2 or 11.70 acres)	area derived from CQL's Webmap and based on the following description: 631 200 ST Langley BC V2Y 1A2 PID: 915-895-254 (mail site area Willowbrook Park)
existing mail gross floor area	10,425.12 m ² (112,177 R2)	
existing gross floor area of subject CRU	591.71 m ² (6369.47 R2)	area derived from "Topographic Survey of Part of Lot B Section 10 Township 8 NWD Plan 84272"
new gross floor area proposed to be added	502.64 m ² (5410.42 R2)	refer to plan A0.05
open space area	proposed: 189,381 m ² (1,351,259 R2) 17%	refer to plan A0.04
new mall approx. gross floor area	10,906,970 m ² (117,402,625 R2)	refer to plan A0.05
new gross floor area of subject CRU Level 1	917.78m ² (9879.00 R2)	refer to plan A0.05
new gross floor area of subject CRU Level 2	176.57m ² (1900.60 R2)	
existing use of subject CRU	eating establishment	
proposed use of subject CRU	eating establishment	
density / floor area ratio (FAR)		Official Community Plan Bylaw - Service Commercial
	allowed: 0.5 FAR (33,664,805 m ²)	
	existing: 0.21 (10,425.12 m ²)	
	proposed: 0.23 (10,927,760 m ²)	
lot coverage		Part 3 Commercial Zones (C2)5, Lot Coverage
	allowed: 90% (42,632,649 m ²)	
	existing: 21% (10,425.12 m ²)	refer to plan A0.05
	proposed: 23% (10,751,190 m ²)	refer to plan A0.05
yards & setbacks		Part 3 Commercial Zones (C2)6, Siting of Building and Structures
	required:	
	front: 4.50m (14.76 ft)	
	rear: 0.0m (0.0 ft)	
	interior: 0.0m (0.0 ft)	
	exterior: 4.50m (14.76 ft)	refer to plan A1.01
	proposed:	
	front: 4.50m (14.76 ft)	
	rear: 0.0m (0.0 ft)	
	interior: 0.0m (0.0 ft)	
	exterior: 4.50m (14.76 ft)	
building height		Part 3 Commercial Zones (C2)6, Siting of Building and Structures
	allowed: 15.0 m (49.21ft)	
	proposed: 8.23 m (27.00ft)	refer to plans A2.01-A2.02
Total parking count	637 parking stalls	
existing parking ratio	3.6 spaces per 93m ² (1001.07 R2)	
required parking	for existing use (eating establishment) of subject CRU: 325 regular stalls 17 HC	Part 1 Administration And Enforcement(E, 4.8)
	for proposed use (eating establishment) of subject CRU: eating establishment 3.0 spaces per 93m ² (1001.07 R2) of gross floor area or fraction thereof	Part 1 Administration And Enforcement(E, Off-Street Parking and Loading)4, Off Street Parking Requirements
	for proposed use (eating establishment) of subject CRU: eating establishment 3.6 spaces per 93m ² (1001.07 R2) of gross floor area or fraction thereof	
bicycle parking	bicycle parking requirements for existing use are the same as for the proposed use (eating establishment), therefore bicycle parking requirements are unchanged	Part 1 Administration And Enforcement(E, Off-Street Parking and Loading)10, Bicycle Parking Requirements
	existing: 28 bicycle spaces (7 racks)	
	required: 22 bicycle spaces	
loading		Part 1 Administration And Enforcement(E, Off-Street Parking and Loading)7, Loading Requirements
	required: 1 space for 465 m ² (5006.38ft ²)	
	2 space for 465 m ² - 2323 m ² (5006.38ft ² - 25006.38ft ²) + 1 space each additional 2323 m ² (25006.38ft ²) or fraction thereof	
	existing: no significant new GFA is proposed to be added to the mall, therefore the loading requirements remain unchanged	
	proposed:	
landscape		refer to landscape plans L0.0-L0.1-L0.2

Code Analysis BCBC 2018



King Taps Willowbrook

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2023-01-30 Issued for Building Permit
2023-11-10 Issued for Development Permit Re-submission
2023-11-27 Response to ICF Meeting
2023-12-06 Response to DP Comments

No.	Date	Revision Notes
01	2023-12-06	DP Revision 1

Architectural Symbols

- Grid Bubble
- Text Tag Note
- Keynote
- Window Tag
- Exterior Wall Tag
- Partition Tag
- Floor Tag
- Roof Tag
- Door Tag
- Detail Tag
- Building Section Marker
- Revision Marker
- Plan Elevation Marker
- Room Tag
- Interior Elevation
- Design Grade Elevation
- Drawing Title

Project Description

Project includes full demolition of existing building. New building will include:
 -Covered entry.
 -Main lounge.
 -Dining area.
 -Covered patio
 -Area for a seasonal patio.
 Service area such as:
 -Washrooms (both men and women, including universal).
 -Staff area.
 -Kitchen.
 -Storage.
 -Service platform.
 -Enclosed garbage area.

Architectural Drawing List

- A0 General
- A0.00 Cover
- A0.01 Location Plan
- A0.02 Existing Context Plan
- A0.03 Existing/Proposed Site Overlay
- A0.04 Code Analysis
- A0.05 Site Coverage Calculation
- A0.06 Site Coverage Plan
- A0.07 Demolition Plan
- A0.10 FAR Overlay Level 0
- A0.11 FAR Overlay Level 2
- A0.12 Existing Grade
- A0.13 Proposed Grade
- A0.14 Shadow Study
- A1 Plans
- A1.00 Proposed Site Plan
- A1.01 Level 0 Plan
- A1.02 Level 2
- A1.03 Roof Plan
- A2 Sections
- A2.01 Sections
- A2.02 Sections
- A2.03 Sections
- A3 Elevations
- A3.01 Elevations
- A3.02 Elevations
- A10 Signage
- A10.01 Signage Proposal
- A20 Views
- A20.01 Night View

- Landscape
- L0.0 Cover Sheet
- L0.1 Site Plan
- L0.1B Planting Plan
- L0.2 Sections
- L0.3 Details
- Survey
- Site Survey

note: architectural drawings print full scale when printed at 22" x 34"

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scale: drawn by
 NTS DMH

status: reviewed by
 DP RSAAW

Cover + Project Data

A0.00

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 dylan@dkl.bc.ca
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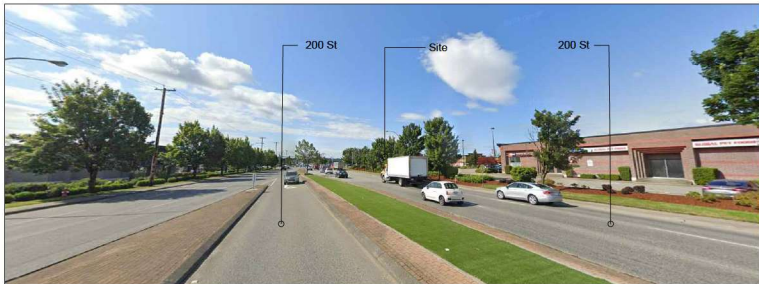
Surveyor
 Bennett Land Surveying LTD
 BC Land Surveyors
 201 - 275 Fell Ave
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 V7P 3R5
 www.bennettsurveys.com
 604.980.4868



1 View from Langley Bypass looking East
NTS



2 View from 200 St looking North
NTS



3 View from 200 St looking South
NTS



4 Location Plan
1/80" = 1' 0"

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	2022-12-06	Response to DP Comments

No.	Date	Revision Notes
1	2022-12-06	DP Revision 1

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scale As noted drawn by DM
status DP reviewed by RSA

Location Plan

A0.01



1 Existing Building from 200 St (East Elevation)
NTS



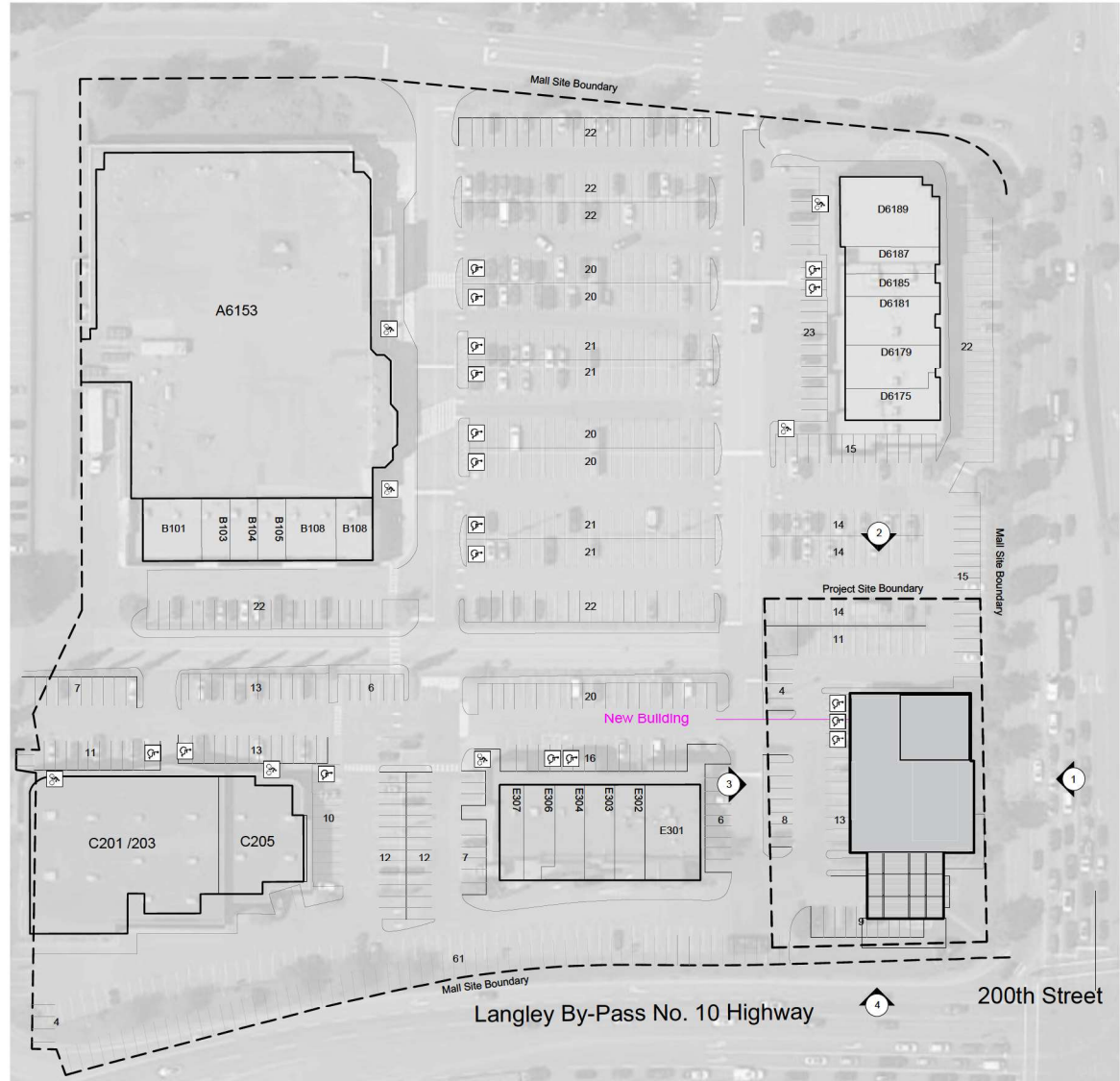
2 Existing Building from parking (North Elevation)
NTS



3 Existing Building from parking (West Elevation)
NTS



4 Existing Building from Langley Bypass (South Elevation)
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2022-01-20	Issued for Building Permit
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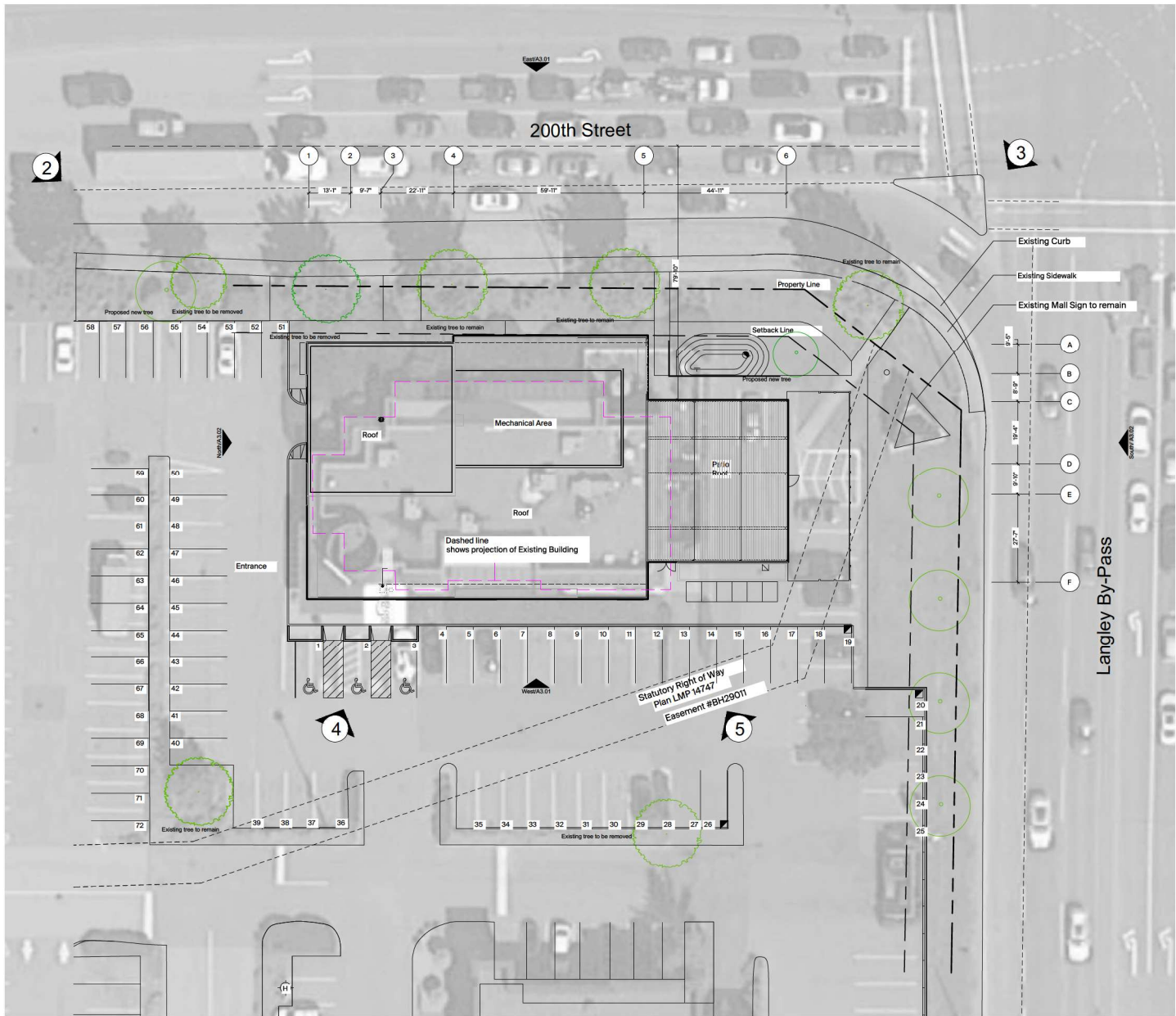
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status DP reviewed by RSA

Existing Context
Plan

A0.02



1 Existing / Proposed Site Overlay
1/16" = 1' 0"



2 Existing trees on the sidewalk
NTS



3 Pedestrian crosswalk
NTS



4 Existing HC parking stalls
NTS



5 Existing Garbage Area
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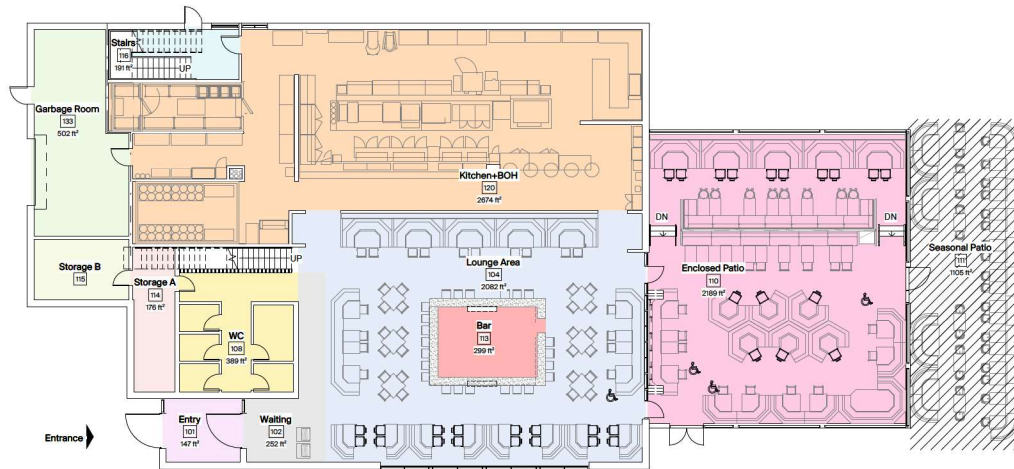
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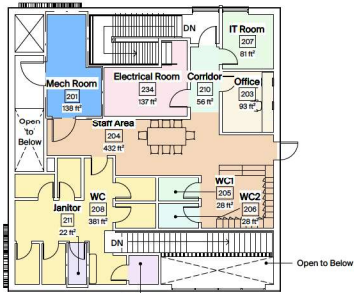
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Existing/Proposed
Site Overlay

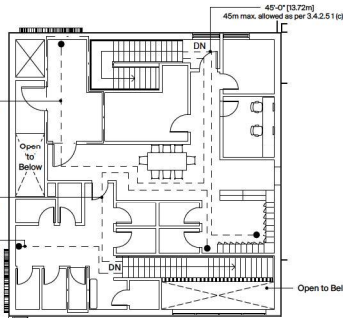
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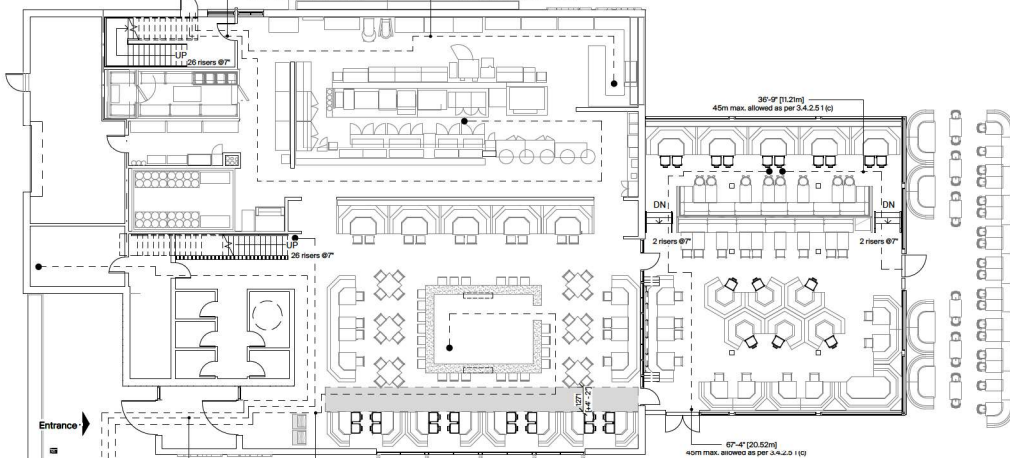
1 Code Analysis Main Floor Plan



2 Code Analysis Level 2



4 Travel Distance Level 2



3 Travel Distance Main Floor Plan

Code Analysis BCBC 2018

Number of Stories	2 stories	
Streets Facing Building	2 (200 Street & Langley ByPass)	
Existing Mall Site Area	47369.61 m ² (609882.24 ft ² or 11.70 acres)	
Proposed Building Area Level 1	917.76m ² (9879.00 ft ²)	Previous Area 902.88m ² (9718.52 ft ²)
Proposed Building Area Level 2	176.57m ² (1900.60 ft ²)	
Limiting Distance	N/A	
Combustibility	3.2.2.26 combustible or non-combustible construction	
Sprinklers	3.2.2.26 Sprinklered throughout	
Mechanical Room Floor Assembly	1th FRR Previous Occupancy	
Total Occupant Load	3.1.17.1 305 people+60 people seasonal patio	295 people+62 people seasonal patio
Number of Exits	3.4.2.1 (i) Minimum number required: 2 / Provided: 4	
Location of Exits/Travel Distance	3.4.2.5 (i)(c) Max. travel distance required: 45m	
Exit Width	table 3.4.3.2 - A Required: 365x6.1mm= 2227.0 mm (min as per 3.4.3.2.A.800mm) Provided: 1x2007.00mm, 1x1855.00mm, 1x1800mm, 1x915mm	
Washrooms	3.7.2.2 (e) 13 WC, including 1 universal WC	Previous WC provided: 15

Fire Rating

— Fire Rating

Occupant Load Calculation

as per table 3.1.17.1 BCBC 2018

Main Floor Plan

Room	Occupable Area	Calculation	Occupant Load
(101) Entrance	147.11 ft ² 14 m ²	3.70m ² /person	4
(102) Waiting	251.80 ft ² 23 m ²	3.70m ² /person	7
(104) Lounge	2082.25 ft ² 193 m ²	seats=106	106
(108) WC	388.77 ft ² 36 m ²	N/A	Note 1*
(110) Patio	2189.40 ft ² 203 m ²	seats=132	132
(111) Seasonal Patio	104.94 ft ² 10 m ²	seats=60	60
(113) Bar	299.06 ft ² 28 m ²	seats=23	23
(114) Storage A	175.67 ft ² 16 m ²	N/A	Note 1*
(115) Storage B	167.31 ft ² 16 m ²	N/A	Note 1*
(116) Stairs	190.81 ft ² 18 m ²	N/A	Note 1*
(120) Kitchen + BOH	2673.77 ft ² 248 m ²	9.30m ² /person	27
(133) Garbage Room	501.51 ft ² 47 m ²	N/A	Note 1*
Total	10772.31 ft² 945 m²		359

Level 2

(201) Mechanical Room	137.65 ft ² 13 m ²	N/A	Note 1*
(203) Office	92.60 ft ² 9 m ²	9.30m ² /person	1
(204) Staff Area	431.72 ft ² 40 m ²	9.30m ² /person	5
(205) WC 1	28.19 ft ² 3 m ²	N/A	Note 1*
(206) WC 2	28.44 ft ² 3 m ²	N/A	Note 1*
(207) V/T Room	81.13 ft ² 8 m ²	N/A	Note 1*
(208) WC	380.81 ft ² 35 m ²	N/A	Note 1*
(209) Storage	24.51 ft ² 2 m ²	N/A	Note 1*
(210) Corridor	55.57 ft ² 5 m ²	N/A	Note 1*
(211) Janitor	21.96 ft ² 2 m ²	N/A	Note 1*
(234) Electrical Room	137.34 ft ² 13 m ²	N/A	Note 1*
Total	1419.91 ft² 132 m²		6
Total			365

OLF Occupancy as per 3.1.17.1 BCBC 2018

Kitchen 9.30m²/person
Office 9.30m²/person
BOH 46.00m²/person (storage)
Waiting 3.70m²/person (public corridors intended for occupancies in addition to pedestrian travel)

Notes:
1. Not included in occupancy calculation as per BCBC 2018

Exit Width Calculation

as per table 3.4.3.2 of BCBC 2018

Exit Doorways	Factor as per 3.4.3.2 (f)	Occupant load	Required width	As per 3.4.3.2-A (800mm min)	Provided width
	6.1mm x	365 people	2,227.00m		1 x 2007.00mm 1 x 1855.00mm 1 x 1800.00mm 1 x 915mm 38"

Washroom Calculation

as per table 3.7.2.2.A of BCBC 2018

	People	# of WC Required	# of WC Provided
Occupant load	365 people		
Occupant load reduction as per table 3.7.2.2 (2)	-10 people		
Reduced occupant load	355		
Male	178 people	as per table 3.7.2.2 A requires 4 WC	6 WC
Female	176 people	as per table 3.7.2.2 A requires 8 WC	6 WC
Universal	1 person	1 WC	1 WC
Total	355	12 WC	13 WC

Accessibility Compliance

as per section 3.9 of BCBC 2018

Number of accessible seats Table 3.8.2.3 Minimum number required: 2 / Provided: 4

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2023-01-08	Issued for Building Permit
2023-11-16	Issued for Development Permit Re-submission
2023-11-09	Response to RFP Meeting
2023-12-06	Response to RFP Comments

No.	Date	Revision Notes
001	2023-12-06	RF Revision 1

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scale 3/32" = 1'-0"
drawn by DM
status reviewed by BP

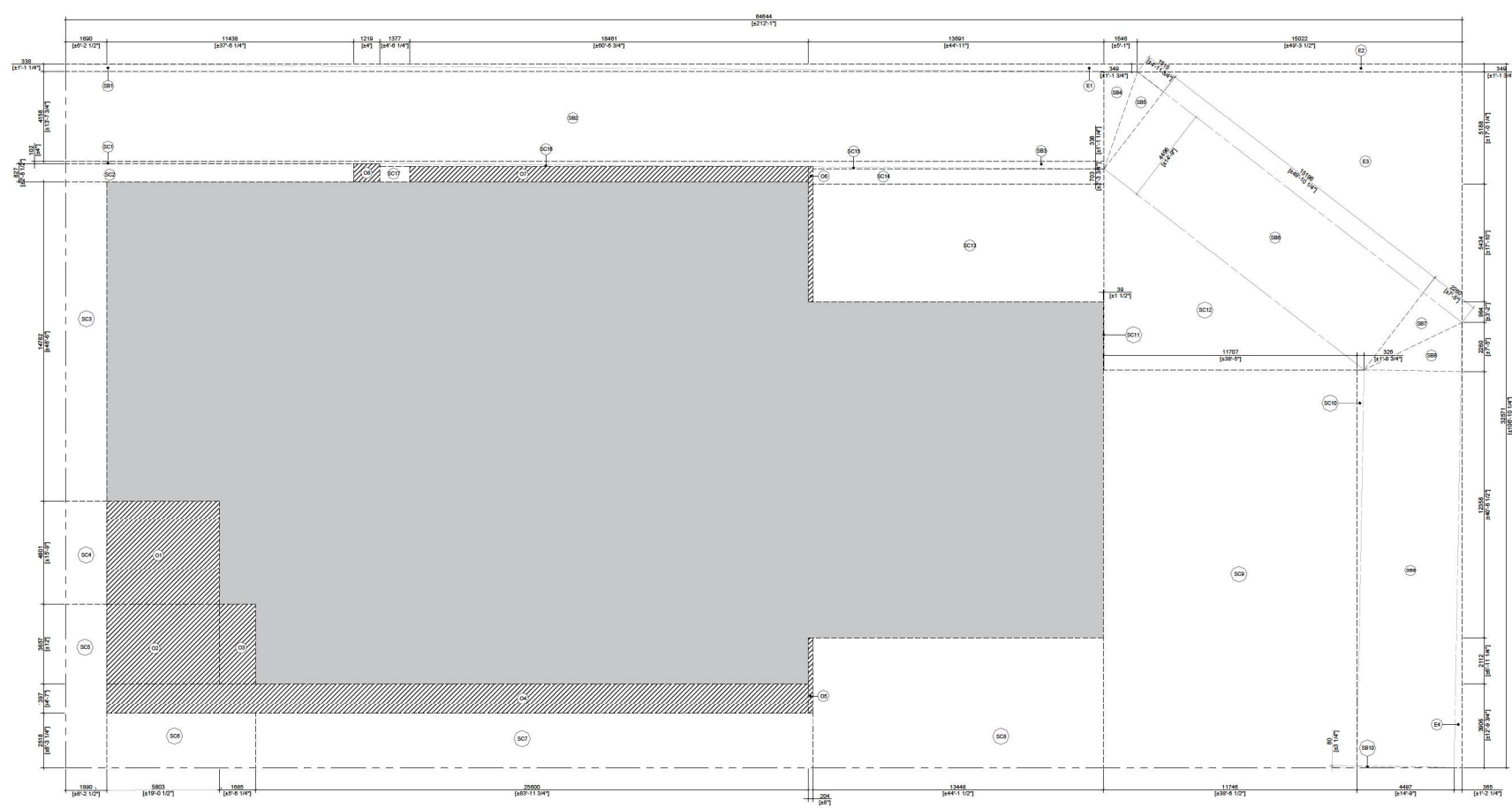
Code Analysis +
Diagrams

A0.04

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 2023-11-28 Response to DP Meeting
 2023-12-06 Response to DP Comments

No. Date Revision Notes
 001 2023-12-06 DP Revision 1



1 Overlay Site Plan

GROSS PERIMETER AREA				
	Width (mm)	Length (mm)	Area (sq.m)	
Gross Perimeter Area	32572	64645	2105.632	(22096.705sq.ft)
Area Deductions				
E1	340	49023	8.609	(triangle)
E2	340	15022	5.101	(triangle)
E3	11855	15022	87.015	(triangle)
E4	20637	385	3.789	(triangle)
Subtotal			104.880	
Total Net Area			2000.752	(21537.821 sq. ft)

SITE COVERAGE CALCULATION				
	Width (mm)	Length (mm)	Area (sq.m)	
Area Deductions				
Exterior Space				
SC1	182	25810	0.745	(triangle)
SC2	827	25910	11.028	
SC3	1990	14702	27.937	
SC4	1990	4801	9.073	
SC5	1383	7564	14.314	
SC6	2518	7460	17.397	
SC7	2518	26664	67.060	
SC8	6018	13448	80.860	
SC9	11707	18450	216.818	
SC10	2074	1697	4.038	(triangle)
SC11	30	3224	0.123	
SC12	6280	12033	65.833	(triangle)
SC13	5434	13488	73.236	
SC14	703	13488	9.478	
SC15	95	13488	0.940	(triangle)
SC16	105	10058	1.414	(triangle)
SC17	498	1377	0.945	
Subtotal			599.417	
Total Excludable Exterior Area			588.817	(6344.684sq.ft)

SITE COVERAGE CALCULATION				
	Width (mm)	Length (mm)	Area (sq.m)	
Area Deductions				
Setback				
SB1	308	48076	8.125	(triangle)
SB2	4158	48076	199.900	
SB3	308	48076	8.128	(triangle)
SB4	4460	1545	3.475	(triangle)
SB5	1515	4460	3.408	(triangle)
SB6	4460	15156	68.021	
SB7	2290	4460	5.000	(triangle)
SB8	2200	4467	5.062	(triangle)
SB9	18377	4467	82.941	
SB10	80	4467	0.350	(triangle)
Subtotal			384.335	
Total Excludable Exterior Area			384.335	(4138.853 sq.ft)

SITE COVERAGE CALCULATION				
	Width (mm)	Length (mm)	Area (sq.m)	
Area Deductions				
Covered Areas				
C1	4801	5803	25.010	
C2	3407	5803	18.960	
C3	1685	3557	6.100	
C4	204	32000	45.500	
C5	203	3010	0.716	
C6	203	6230	1.260	
C7	680	18450	12.370	
C8	830	1220	1.000	
Subtotal			109.350	
Total Excludable Interior Area			109.350	(1171.843 sq.ft)

BUILDING AREA				
	Width (mm)	Length (mm)	Area (sq.m)	
Gross Perimeter Area	32572	64645	2000.93	
Area Deductions				
Excludable Uncovered Area			673.752	
Excludable Covered Area			109.350	
Subtotal			1083.102	
Total Net Area			917.828	(9873.285 sq.ft)

- FAR Legend**
- Included in FAR calculation
 - Covered outdoor area, not included in FAR calculation
 - Garbage enclosure, not included in FAR calculation
 - Open areas, not included in FAR calculation
 - Exterior wall assembly zone, included in FAR calculation

2 Site Coverage Calculation
NTS

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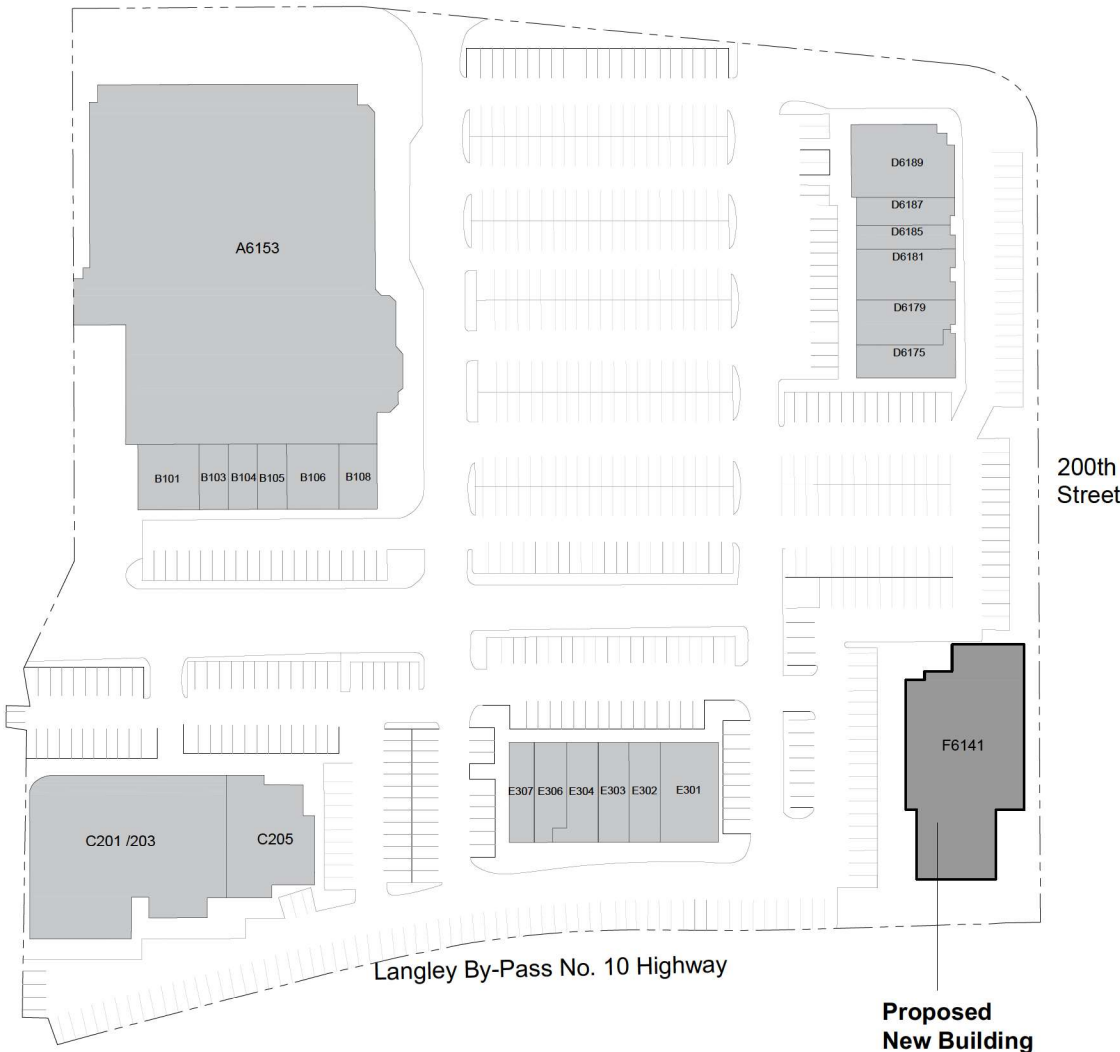
KTWB
King Taps Willowbrook

6141 200 St
Langley BC V2Y 1A2

scale 1/8" = 1'-0" drawn by DM
status DP reviewed by RSA

Site Coverage Calculation

A0.05



SITE COVERAGE SUMMARY		
Area (sq.m)		
Site Area		* 47369.617
Area Additions		
Zone A	A6153	5048.351 SafeWay
Zone B	B101	151.710 H & R Block
	B103	81.197 Edward Jones
	B104	81.011 Soccerwest
	B105	78.967 CK Nail Salon
	B106	143.906 Sally Beauty
	B108	104.794 Insuro BC
Zone C	C201/203	1493.973 MEC
	C205	500.933 Optiks International
Zone D	D6175	154.497 M & M Food Market
	D6179	205.873 Jenny Craig
	D6181	271.462 Global Pet Foods
	D6185	135.731 Running Room
	D6187	121.703 W. park Dental Center
	D6189	414.161 Scotiabank
Zone E	E301	243.498 Dairy Queen
	E302	97.176 Wild Birds Unlimited
	E303	96.990 Sonu Haircut
	E304	147.158 Pizza Hut
	E306	147.251 Red Wings Shoes
	E307	113.063 Purolator
Proposal	F6141	917.828 King Taps
Subtotal		
Total Net Area		10,751,190 [115,725,809 sq.ft]
Site Coverage		23%

- FAR Legend**
- Net Area of existing buildings in the site
 - Net Area of proposed building
 - * Site area based on information from City of Langley Data Base

Required by Law Parking

Required by Law 3 per 93m²
 Required by Law 5% (of provided stalls) for accessible stalls

Required Parking

Regular stalls	325
Accessible	17
Total Provided:	342

Existing Parking

Regular stalls	620
Accessible	17
Total Provided:	637

2 Site Coverage Summary
NTS

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Date: Issued Notes

2022-03-08 Issued for Development Permit
 2022-01-13 Issued for Landlord Review
 2022-01-20 Issued for Building Permit
 2022-11-10 Issued for Development Permit Re-submission
 2022-11-27 Response to DP Meeting
 2022-12-06 Response to DP Comments

No.	Date	Revision Notes
01	2022-12-06	DP Revision 1

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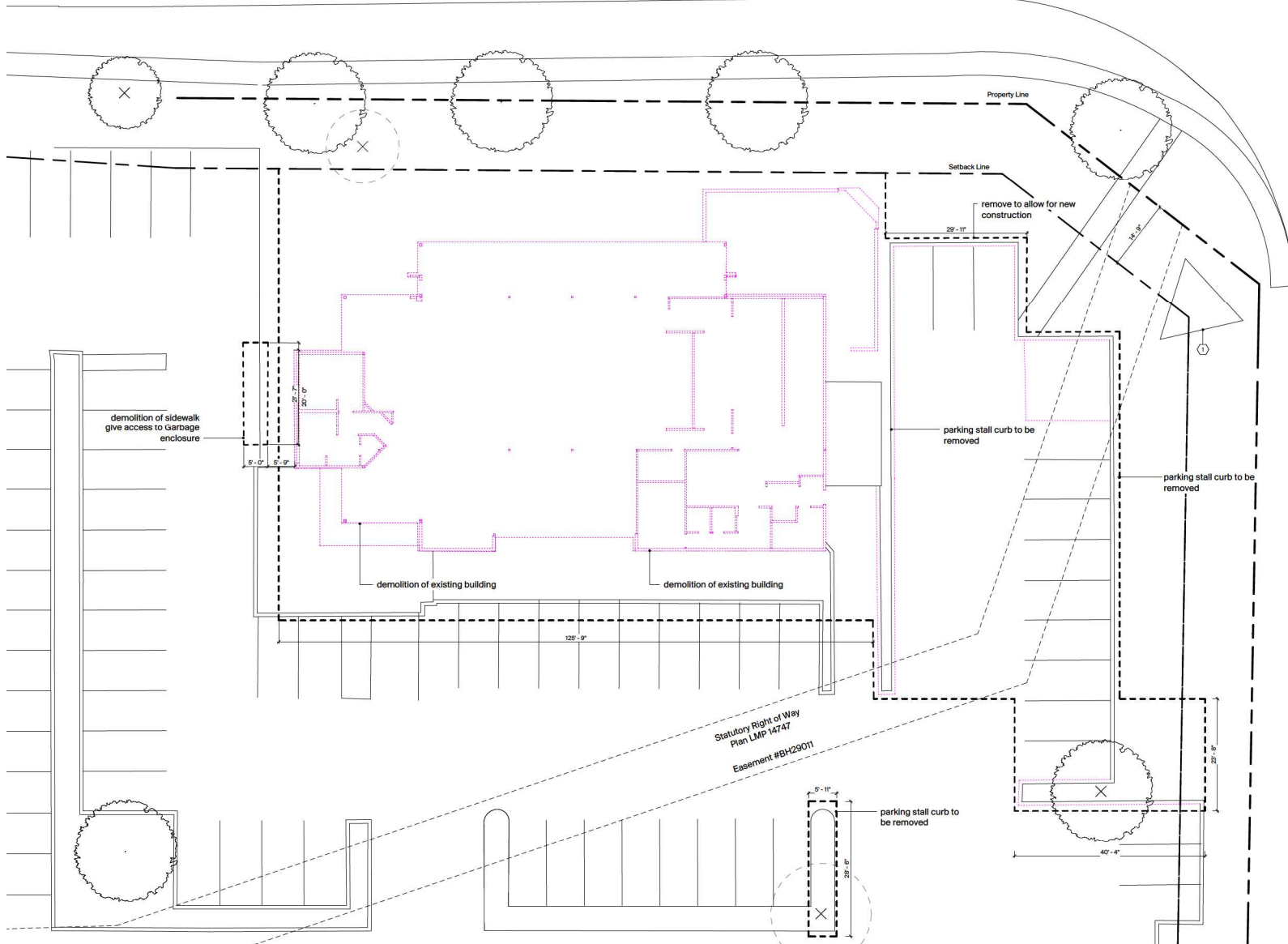
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scale NTS drawn by DM
 status DP reviewed by RSA

Site Coverage Plan

A0.06



Legend

-  demolition
-  area of work
-  existing tree to remain
-  existing tree to be removed (refer to landscape)

Keynotes

-  Existing mail sign to remain

General Notes

All existing trees on site to remain unless noted otherwise.

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Date	Issue Notes
2023-02-08	Issued for Development Permit
2023-01-12	Issued for Landfill Review
2023-01-30	Issued for Building Permit
2023-11-16	Issued for Development Permit Reevaluation
2023-11-29	Response to RFP Meeting
2023-12-06	Response to DP Comments

No.	Date	Revision Notes
001	2023-12-06	DP Revision 1

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scale
3/32" = 1'-0" drawn by
DM

status
DP reviewed by
RSA

Demolition Plan

A0.07

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Date: Issued For
 2023-03-08 Issued for Development Permit
 2023-01-13 Issued for Landfill Review
 2023-01-30 Issued for Building Permit
 2023-11-10 Issued for Development Permit Resubmission
 2023-11-29 Response to RFP Meeting
 2023-12-06 Response to DP Comments

No.	Date	Revision Notes
01	2023-12-06	DP Revision 1

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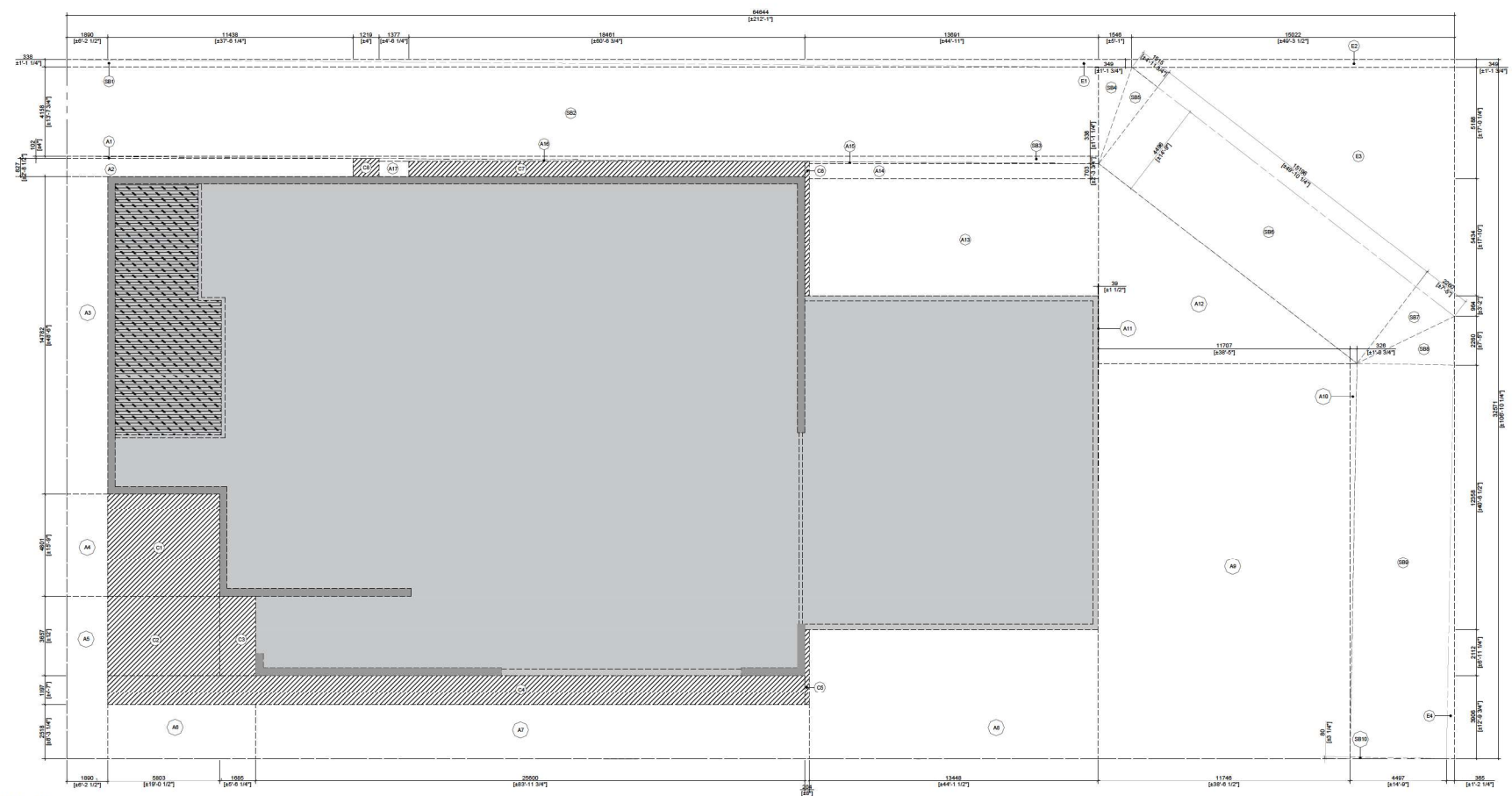
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scale: 1/8" = 1'-0" drawn by: DM
 status: DP reviewed by: RSA

FAR Overlay
 Level 0

A0.10



1 Overlay FAR Site Plan

GROSS PERIMETER AREA		
	Width (mm)	Length (mm)/Area (sq.m)
Gross Perimeter Area	32572	64845 2105.620 [22984.700sq.ft]
Area Deductions		
E1	340	40623 8.656 (Triangle)
E2	340	15022 5.243
E3	11685	19022 87210 (Triangle)
E4	20637	365 3.796 (Triangle)
Subtotal		104.690
Total Net Area		2000.930 [71537.821 sq.ft]

SITE COVERAGE CALCULATION				
	Width (mm)	Length (mm)	Area (sq.m)	
Exterior Space				
A1	102	25016	0.746 (Triangle)	
A2	827	25616	11.028	
A3	1800	14782	27.927	
A4	1080	4201	5.073 (Triangle)	
A5	1383	7964	14.314	
A6	2518	7488	17.367	
A7	2518	29304	64.893	
A8	8018	13446	89.966	
A9	11707	18459	216.818	
A10	2674	1697	4.528 (Triangle)	
A11	39	3224	0.123	
A12	6280	12033	56.833 (Triangle)	
A13	5434	13488	73.288	
A14	703	13488	9.476	
A15	65	13488	0.860 (Triangle)	
A16	105	16938	1.814 (Triangle)	
A17	688	1377	0.946	
Subtotal			588.417	
Total Excludable Exterior Area			588.417 [2144.683sq.ft]	

SITE COVERAGE CALCULATION				
	Width (mm)	Length (mm)	Area (sq.m)	
Setback				
SB1	338	48076	8.126 (Triangle)	
SB2	4158	48076	190.600	
SB3	338	48076	8.126 (Triangle)	
SB4	4468	1546	3.075 (Triangle)	
SB5	1515	4466	3.406 (Triangle)	
SB6	4466	15196	68.321	
SB7	2286	4466	5.083 (Triangle)	
SB8	2286	4467	5.082 (Triangle)	
SB9	18377	4467	82.641	
SB10	80	4467	0.180 (Triangle)	
Subtotal			384.335	
Total Excludable Exterior Area			384.335 [14136.853 sq.ft]	

SITE COVERAGE CALCULATION				
	Width (mm)	Length (mm)	Area (sq.m)	
Covered Areas				
C1	4801	5803	28.010	
C2	8957	5803	18.000	
C3	1995	3657	6.100	
C4	304	32500	45.000	
C5	203	3910	0.710	
C6	203	6230	1.260	
C7	690	16400	12.070	
C8	830	1720	1.060	
Subtotal			138.350	
Total Excludable Interior Area			138.350 [1177.843 sq.ft]	

BUILDING AREA		
	Width (mm)	Length (mm)/Area (sq.m)
Gross Perimeter Area	32572	64845 2000.91
Area Deductions		
Excludable Uncovered Area		973.750
Excludable Covered Area		108.350
Subtotal		1083.100
Total Net Area		[897.809 sq.ft]

- FAR Legend**
- Included in FAR calculation
 - Covered outdoor area, not included in FAR calculation
 - Garbage enclosure, included in FAR calculation
 - Open areas, not included in FAR calculation
 - Exterior wall assembly zone, included in FAR calculation

2 FAR Calculation
 NTS

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 2022-11-10 Issued for Development Permit Reassessment
 2023-11-27 Response to RFP Meeting
 2023-12-06 Response to DP Comments

No. Date Revision Notes
 04 2023-12-06 DP Revision 1

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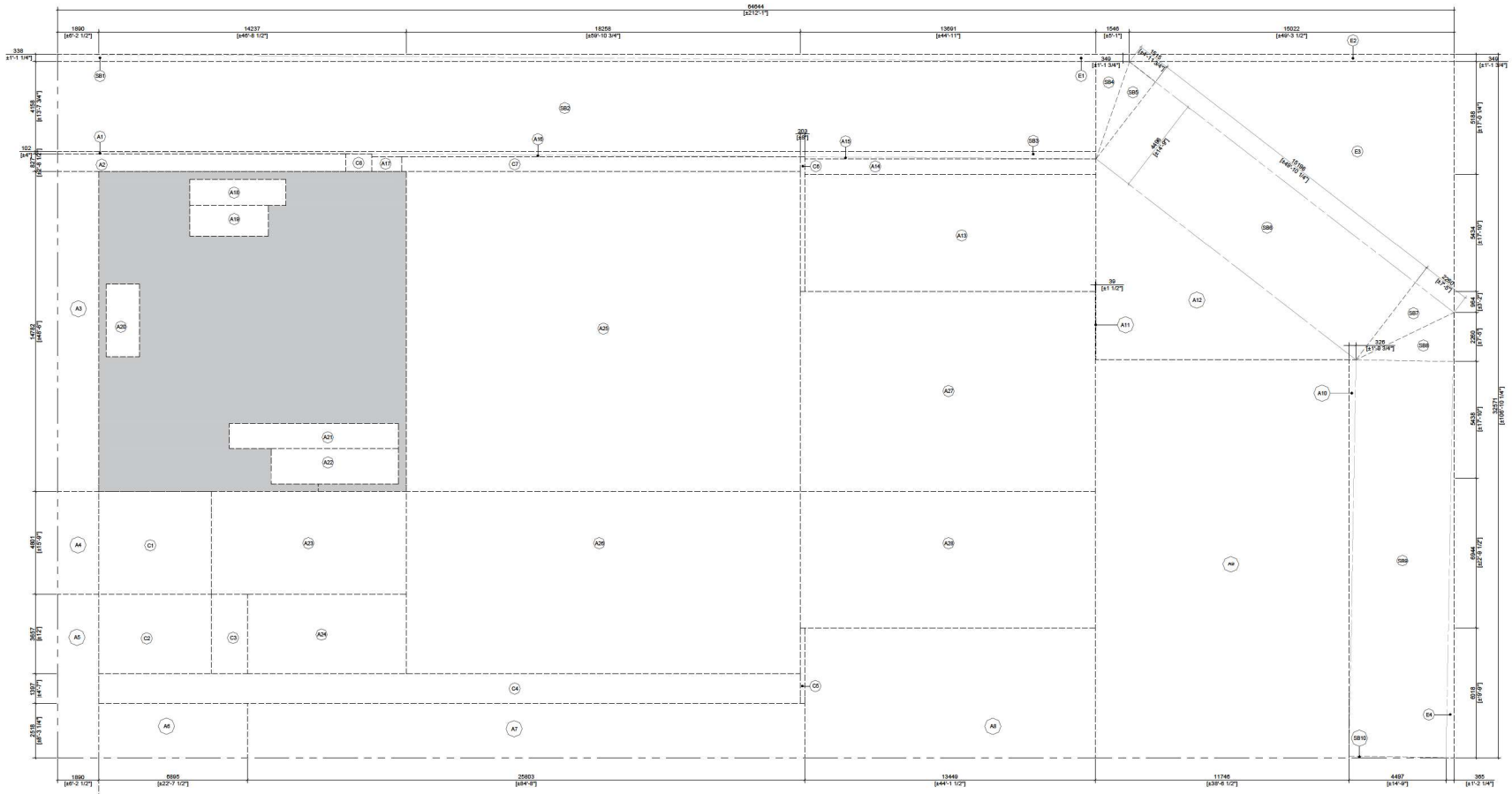
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 status DP reviewed by RSA

FAR Overlay
 Level 2

A0.11



1 Overlay FAR Level 2

GROSS PERIMETER AREA	
Width (mm)	Length (mm)/Area (sq.m)
32572	64845 2105.620
Gross Perimeter Area	
23094.700(sq.m)	
E1	349 49223 8.550 (triangle)
E2	349 15022 5.241
E3	11269 12022 87.010 (triangle)
E4	20637 385 7.786 (triangle)
Subtotal	134.690
Total Net Area	2099.930
	[21937.811 sq.m]

SITE COVERAGE CALCULATION	
Area Deductions	Width (mm) Length (mm)/Area (sq.m)
Exterior Spaces	A1 182 20816 3.745 (triangle)
A2	859 20816 11.028
A3	2005 14974 27.897
A4	4188 7186 9.072
A5	1383 7872 14.314
A6	3645 5803 17.357
A7	2389 2706 6.462
A8	6039 11976 80.965
A9	11767 18376 216.818
A10	2674 1967 5.253 (triangle)
A11	150 3224 0.123
A12	9280 12033 55.833 (triangle)
A13	5434 13602 73.288
A14	703 22280 9.476
A15	3570 10305 0.940 (triangle)
A16	2670 10305 1.414 (triangle)
A17	3070 10305 0.945
A18	1230 4302 0.348
A19	1467 3485 5.107
A20	1524 3333 5.080
A21	1142 7605 8.933
A22	813 8880 9.517
A23	540 8027 43.334
A24	3057 7342 28.851
A25	14183 18258 260.461
A26	9067 14294 164.127
A27	8638 13652 126.104
A28	6944 13652 88.828
Subtotal	1330.847
Total Excludable Exterior Area	1338.847
	[14227.884 sq.m]

SITE COVERAGE CALCULATION	
Area Deductions	Width (mm) Length (mm)/Area (sq.m)
Setback	SB1 338 48070 5.128 (triangle)
SB2	4158 48070 199.900
SB3	338 48070 5.128 (triangle)
SB4	4466 1546 3.476 (triangle)
SB5	1515 4496 3.406 (triangle)
SB6	4466 15106 88.321
SB7	2280 4456 0.585 (triangle)
SB8	2280 4467 0.582 (triangle)
SB9	18377 4467 82.641
SB10	80 4467 0.180 (triangle)
Subtotal	384.335
Total Excludable Exterior Area	384.335
	[1318.853 sq.m]

SITE COVERAGE CALCULATION	
Area Deductions	Width (mm) Length (mm)/Area (sq.m)
Covered Area	C1 4801 5803 25.010
C2	3657 5803 18.000
C3	1685 3680 6.180
C4	204 32500 45.000
C5	263 3510 0.715
C6	203 8230 1.280
C7	690 18490 12.270
C8	830 1220 1.000
Subtotal	108.360
Total Excludable Interior Area	108.360
	[1177.843 sq.m]

BUILDING AREA	
Width (mm)	Length (mm)/Area (sq.m)
32572	64845 2000.93
Gross Perimeter Area	
Area Deductions	
Excludable Uncovered Area 1714.982	
Excludable Covered Area 108.360	
Subtotal	1824.332
Total Net Area	178.598
	[1903.360 sq.m]

- FAR Legend**
- Included in FAR calculation
 - Covered outdoor area, not included in FAR calculation
 - Gerbage enclosure, not included in FAR calculation
 - Open areas, not included in FAR calculation
 - Exterior wall assembly zone, included in FAR calculation

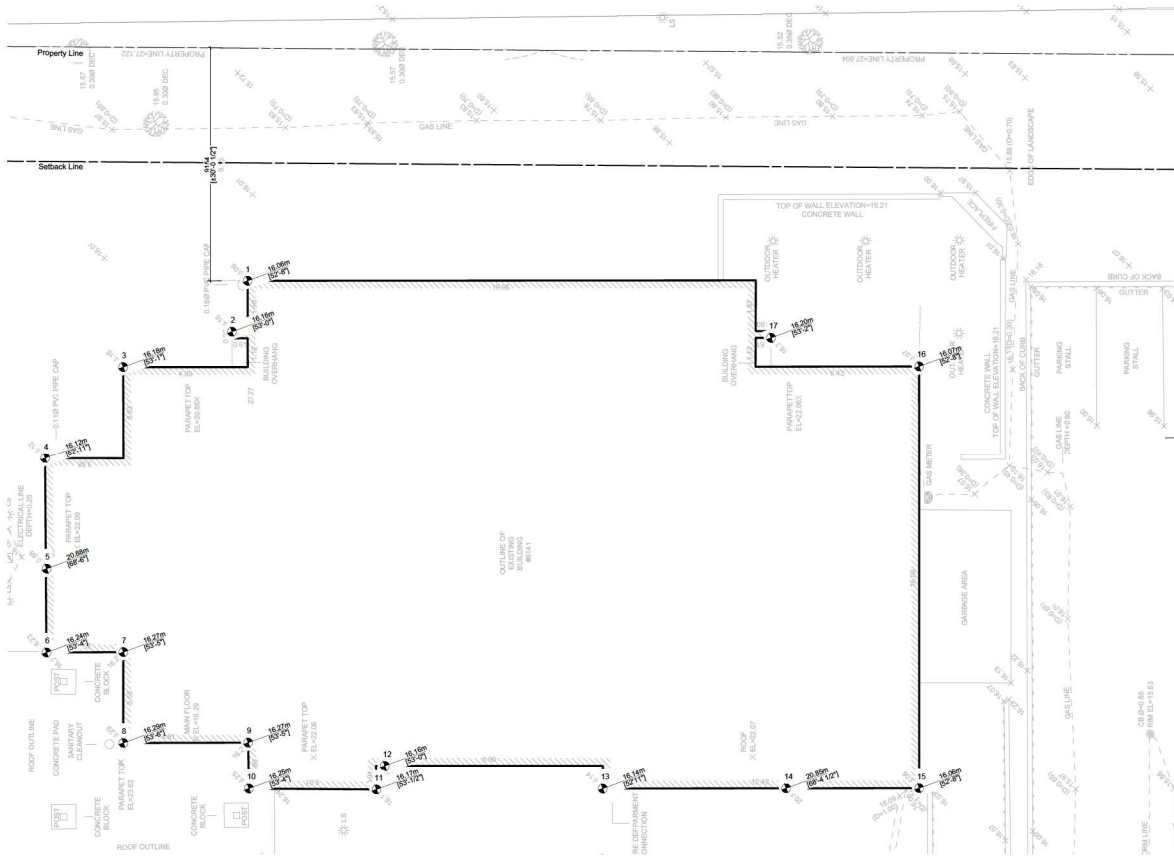
**2 FAR Calculation
NTS**

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Date: Issued Notes

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 2022-01-20 Issued for Building Permit
 2022-11-10 Issued for Development Permit Re-submission
 2023-11-27 Response to RFP Meeting
 2023-12-06 Response to DP Comments

No. Date Revision Notes
 1 2023-12-06 DP Revision 1
 GMA



1 Building Grade Plan

Existing Average grade

as per topographic survey plan of part of LOT B Section 10 Township 8 NWD PLAN 84272.

Existing grades	Value
1	16.06m/52'-8"
2	16.10m/53'-0"
3	16.18m/53'-1"
4	16.12m/52'-11"
5	20.88m/68'-8"
6	16.24m/53'-4"
7	16.27m/53'-5"
8	16.29m/53'-6"
9	16.27m/53'-5"
10	16.25m/53'-4"
11	16.17m/53'-1/2"
12	16.16m/53'-0"
13	16.14m/52'-11"
14	20.85m/68'-4 1/2"
15	16.06m/52'-8"
16	16.07m/52'-8"
17	16.20m/53'-2"
Subtotal	284.37m/932'-11 3/4"
Average natural grade (284.37/17)	16.73m/54'-10"

*Survey plan 84272 info. shown only for grade references.

2 Existing Average Grade Summary

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status DP reviewed by RSA

Existing Grade

A0.12

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 2022-01-08 Issued for Building Permit
 2022-11-18 Issued for Development Permit Re-submission
 2022-11-12 Response to RFP Meeting
 2022-12-06 Response to DP Comments

No. Date Revision Notes
 001 2022-12-06 DP Revision 1

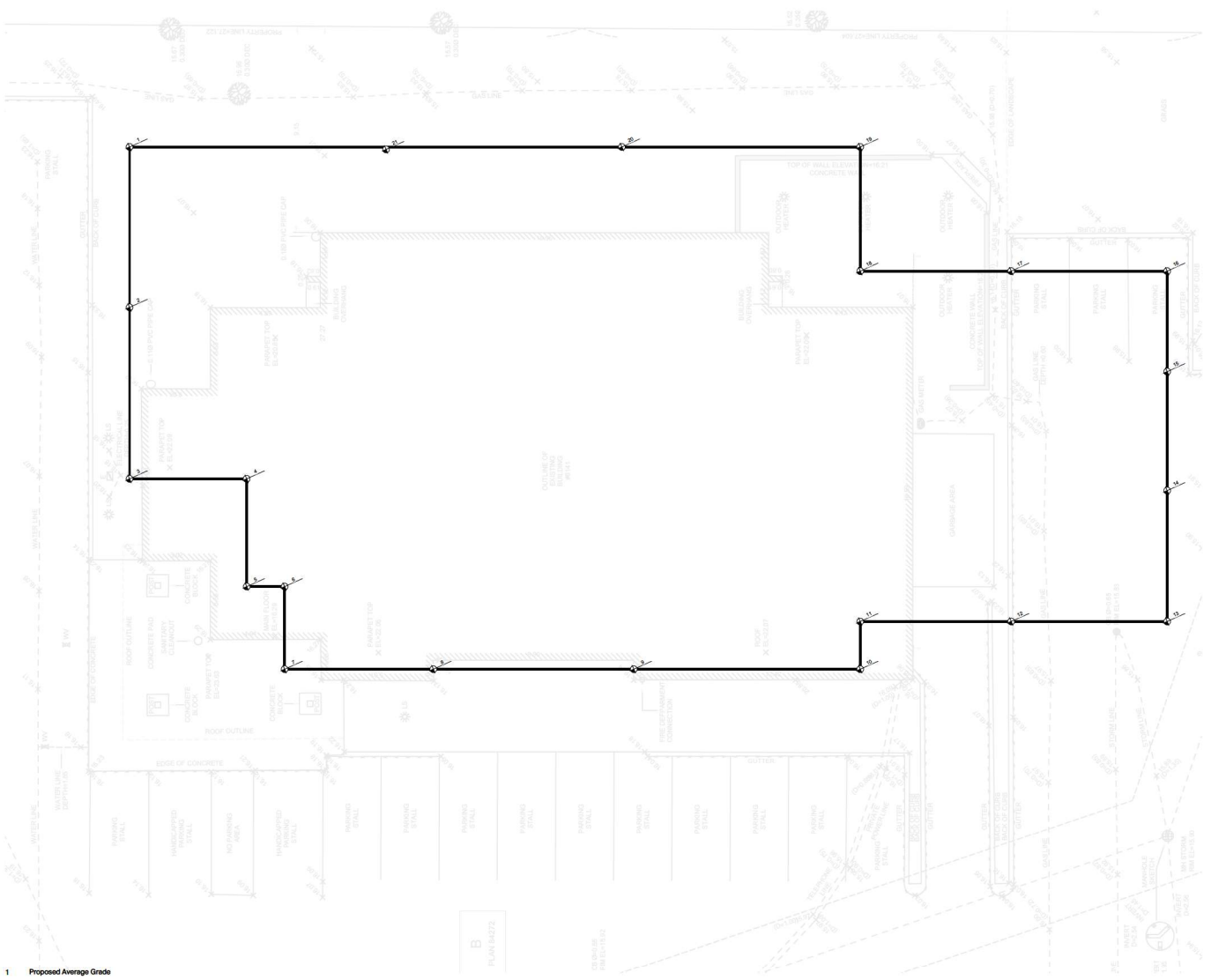
Average Grades

Proposed Grades	Value
1	16.07m/52'-8"
2	16.27m/53'-5"
3	16.16m/53'-1"
4	16.24m/53'-4"
5	16.27m/53'-5"
6	16.27m/53'-5"
7	16.29m/53'-5"
8	16.16m/53'-0"
9	16.14m/52'-11"
10	16.06m/52'-8"
11	16.06m/52'-8"
12	16.23m/53'-4"
13	15.90m/52'-2"
14	15.91m/52'-2"
15	15.99m/52'-5"
16	16.02m/52'-5"
17	16.08m/52'-9"
18	16.07m/52'-8"
19	16.00m/52'-6"
20	16.00m/52'-6"
21	16.01m/52'-6"

Subtotal 338.21m/1109'-7"

Average natural grade (354.23/22) 16.10m/52'-10"

* Refer to Survey plan 84272 for existing grading.



B PLAN 84272
 Proposed Average Grade

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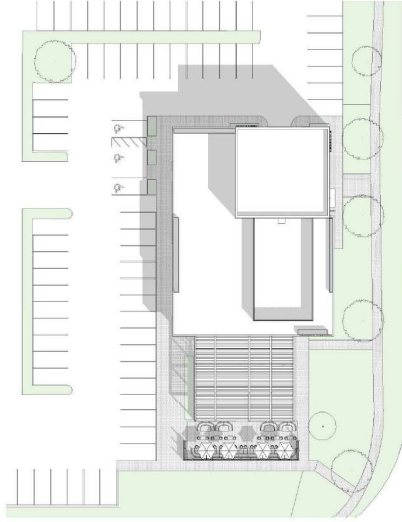
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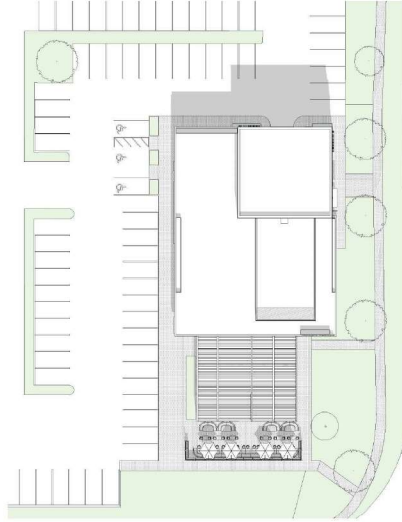
scale 1/8" = 1'-0" drawn by DM
 status DP reviewed by RSA

Proposed
 Average Grade

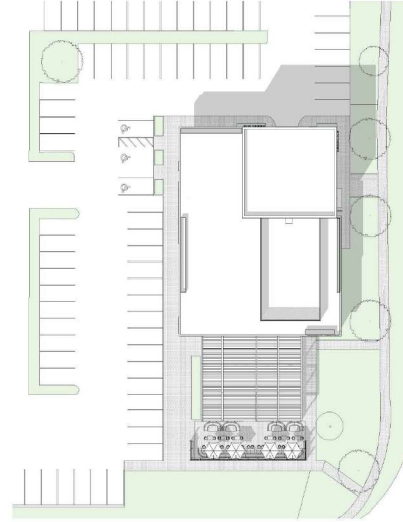
A0.13



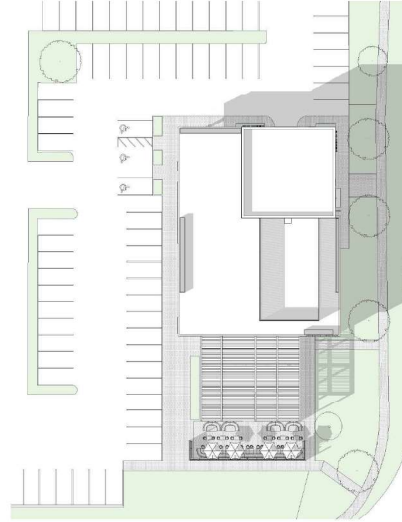
1 Shadow Study Spring Equinox 10am



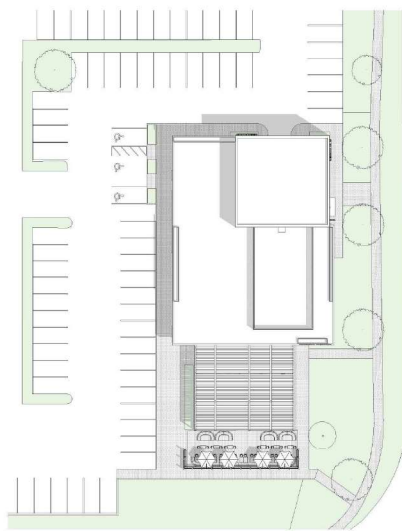
2 Shadow Study Spring Equinox 12pm



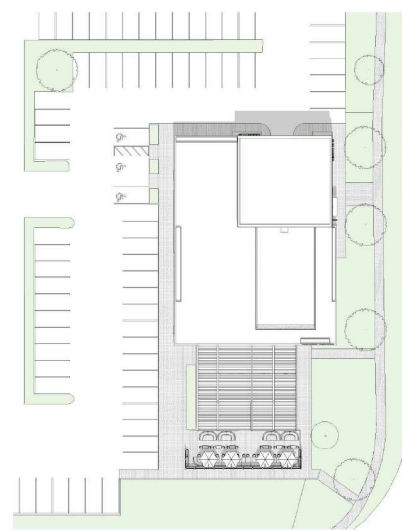
3 Shadow Study Spring Equinox 2pm



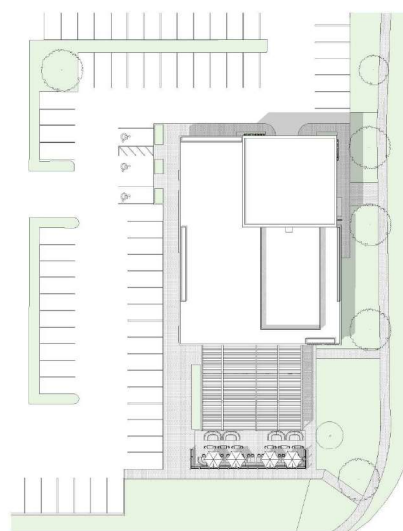
4 Shadow Study Spring Equinox 4pm



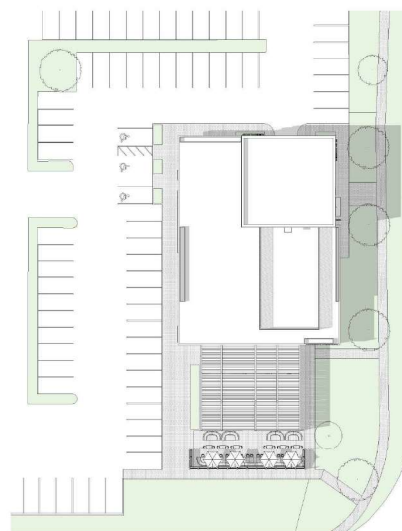
5 Shadow Study Summer Solstice 10am



6 Shadow Study Summer Solstice 12pm



7 Shadow Study Summer Solstice 2pm



8 Shadow Study Summer Solstice 4pm

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2022-01-20	Issued for Building Permit
2022-11-08	Issued for Development Permit Reevaluation
2022-11-29	Response to NIP Meeting
2022-12-06	Response to DP Comments

No.	Date	Revision Notes
001	2022-12-06	DP Revision 1

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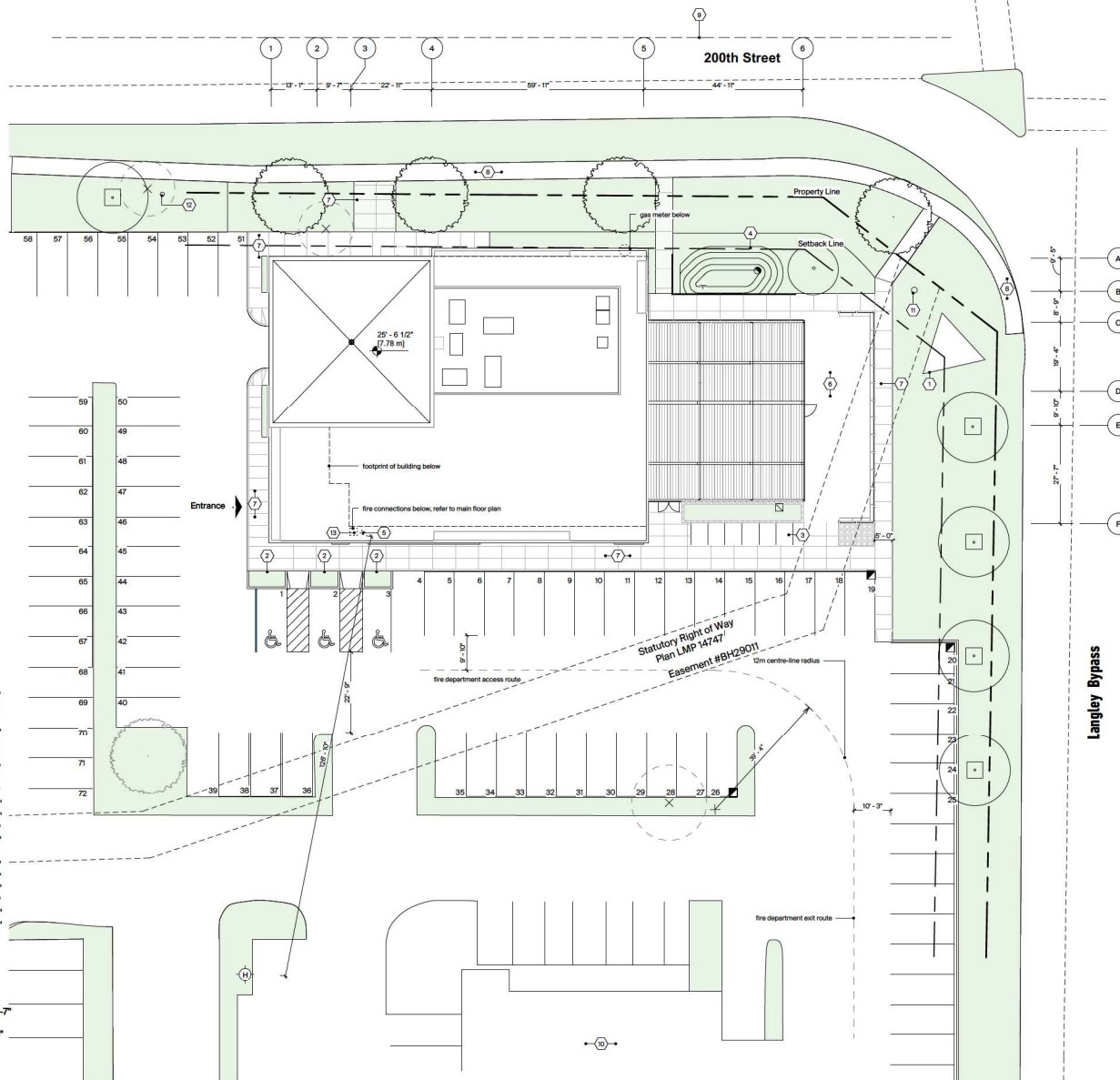
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Scale	RTS	drawn by	DM
Status	DP	reviewed by	RSA

Shadow Study

A0.14



Average Grades

Proposed grades	Value
1	16.07m/52'-8"
2	16.27m/53'-5"
3	16.18m/53'-1"
4	16.24m/53'-4"
5	16.27m/53'-5"
6	16.27m/53'-5"
7	16.29m/53'-5"
8	16.16m/53'-0"
9	16.14m/52'-11"
10	16.06m/52'-8"
11	16.06m/52'-8"
12	16.23m/53'-4"
13	15.90m/52'-2"
14	15.91m/52'-2"
15	15.99m/52'-6"
16	16.02m/52'-5"
17	16.00m/52'-6"
18	16.07m/52'-8"
19	16.00m/52'-6"
20	16.00m/52'-6"
21	16.01m/52'-6"

Subtotal	338.21m/1109'-7"
Average natural grade (354.23/22)	16.10m/52'-10"

* Refer to Survey plan 84272 for existing grading.

11 Site Plan
1/16" 1'-0"

Keynotes

- ① Existing mail sign to remain
- ② planter
- ③ bike rack
- ④ bioswale
- ⑤ fire department connection
- ⑥ seasonal patio
- ⑦ new sidewalk
- ⑧ existing sidewalk
- ⑨ measurement to centerline of street
- ⑩ existing building
- ⑪ Existing Storm Manhole. Refer to Survey
- ⑫ Proposed Sanitary Manhole
- ⑬ fire department lock box (recessed into concrete)

Legend

- ⊙ existing tree to be removed (refer to landscape)
- ⊙ existing tree to remain
- ⊙ proposed new tree
- ⊙ proposed planting
- ⊙ EV stall
- ⊙ existing fire hydrant
- ⊙ accessible parking stall
- ▭ lawn area
- ▭ catch basin
- ▭ lawn basin
- ▭ bioswale inlet
- ▭ roof drain

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2023-11-21 Response to SFP Meeting
2023-12-06 Response to DP Comments

No.	Date	Revision Notes
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6141 200 St
Langley BC V2Y 1A2

scale As noted drawn by DM
status reviewed by RSA

Proposed Site Plan

A1.00

Required Bylaw Parking

Required by Zoning Bylaw 3 stalls per 93m² (1001.07ft)
(7500 / 1001.07) x 3 = 23 stalls

Required by LL 5.5 stalls per 1000 ft² (7.5 x 5.5) = 42 stalls

Required by Zoning Bylaw 5% (of provided stalls) for accessible = 42 x 0.05 = 2 stalls

Existing Parking	
Regular Stalls	54
Accessible	2
Total Provided:	56

Proposed Parking	
Regular Stalls	69
Accessible	3
Total Provided:	72

Bicycle Parking	6
-----------------	---

1 2 3 4 5 6
200th Street

Fire Rating

— 1hr fire rating

General Notes

Refer to Site Plan and Landscape Architecture Drawings for landscape design

Keynotes

- 1 takeout window
- 2 bench
- 3 Bike Rack
- 4 Sealed Glazing Units
- 5 operable glass windscreen
- 6 planter
- 7 wood sunshades
- 8 operable roof
- 9 mechanical equipment area
- 10 mechanical units

Legend

- proposed new tree
- existing tree to remain
- proposed planting
- ⊞ push button
- ⊞ fire department connection & hydrant

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Date	Issue Notes
2022-02-08	Issued for Development Permit
2022-01-12	Issued for Landfill Review
2022-01-08	Issued for Building Permit
2022-11-16	Issued for Development Permit Re-submission
2022-11-12	Response to NIP Meeting
2022-12-06	Response to DP Comments

No.	Date	Revision Notes
001	2022-12-06	DP Revision 1

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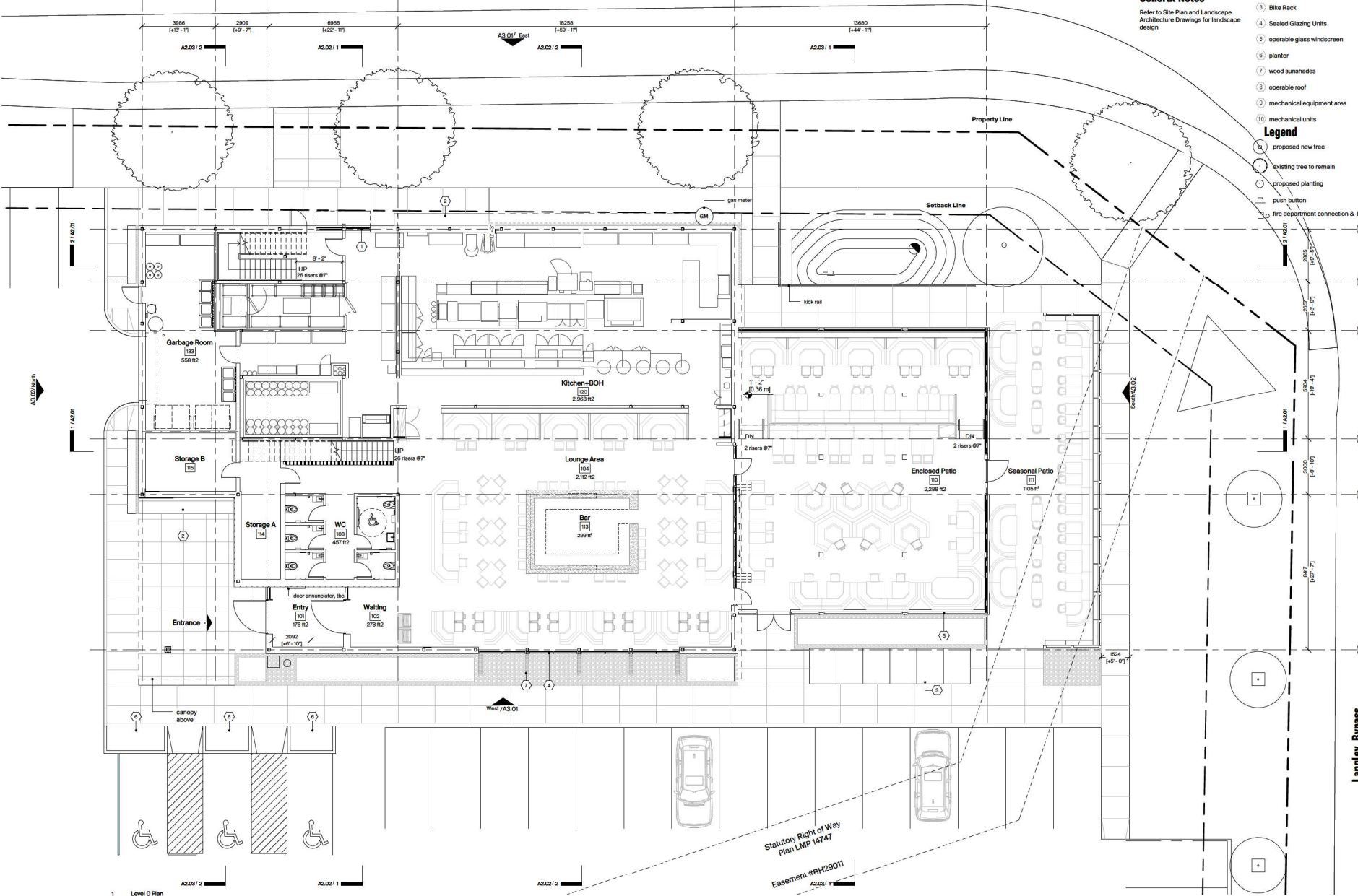
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status DP reviewed by RSA

Level 0 Plan

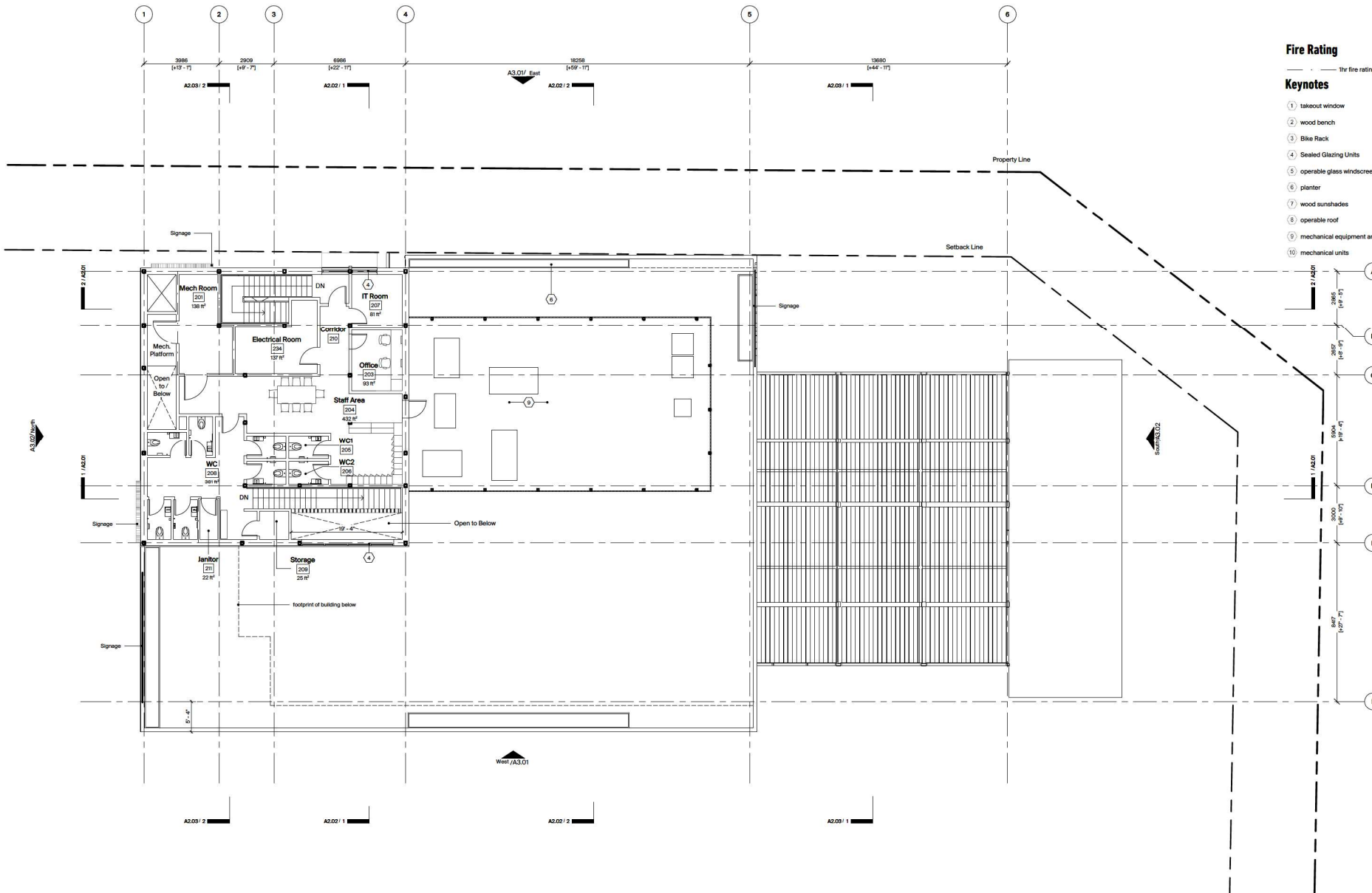
A1.01



Statutory Right of Way
Plan LMP 14747

Easement #BH29011

1 Level 0 Plan



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Fire Rating
 --- 1hr fire rating

- Keynotes**
- ① takeout window
 - ② wood bench
 - ③ Bike Rack
 - ④ Sealed Glazing Units
 - ⑤ operable glass windscreen
 - ⑥ planter
 - ⑦ wood sunshades
 - ⑧ operable roof
 - ⑨ mechanical equipment area
 - ⑩ mechanical units

No.	Date	Revision Notes
001	2023-03-08	Issued for Development Permit
002	2023-01-13	Issued for Landfill Review
003	2023-01-30	Issued for Building Permit
004	2023-11-16	Issued for Development Permit Re-submission
005	2023-11-29	Response to RFP Meeting
006	2023-12-06	Response to DP Comments

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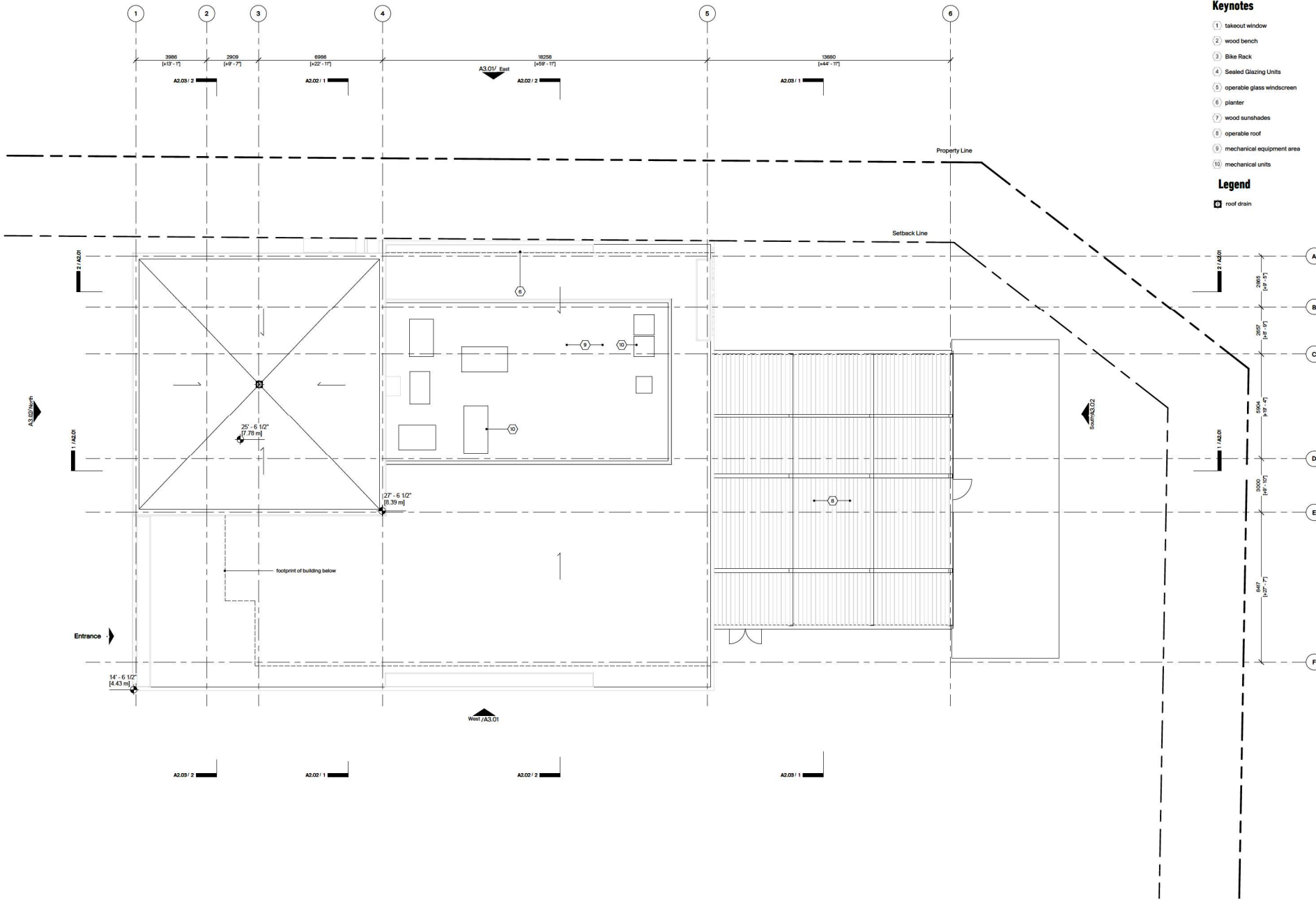
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 status DP reviewed by RSA

Level 2 Plan

A1.02



Keynotes

- 1) takeout window
- 2) wood bench
- 3) Bike Rack
- 4) Sealed Glazing Units
- 5) operable glass windscreen
- 6) planter
- 7) wood sunshades
- 8) operable roof
- 9) mechanical equipment area
- 10) mechanical units

Legend

- roof drain

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2022-01-12	Issued for Landfill Review
2022-01-08	Issued for Building Permit
2022-11-18	Issued for Development Permit Reevaluation
2022-11-12	Response to MP Meeting
2022-12-06	Response to DP Comments

No.	Date	Revision Notes
001	2023-12-06	DP Revision 1

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Roof Plan

A1.03

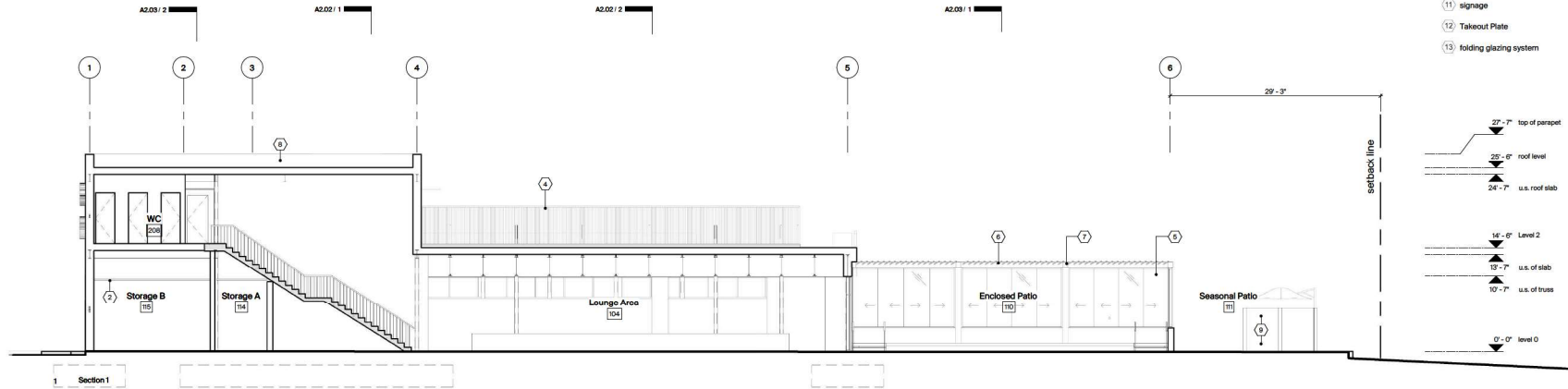
Keynotes

- 1 Spandrel Panel
- 2 ceiling
- 3 Railing
- 4 Screen
- 5 operable glass windscreen
- 6 operable roof
- 7 runners
- 8 Parapet
- 9 Sealed Glazing Units
- 10 fiber cement panel
- 11 signage
- 12 Takeout Plate
- 13 folding glazing system

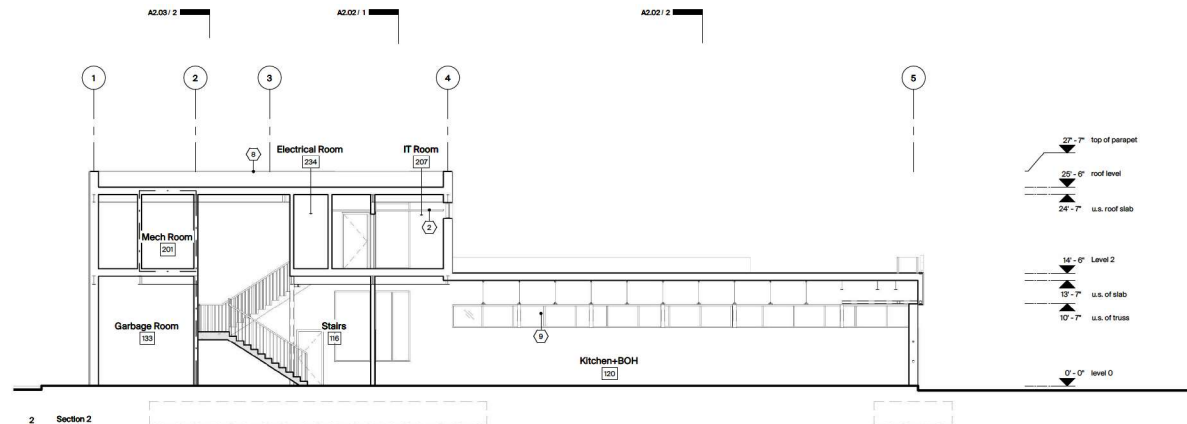
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2022-11-18	Issued for Development Permit Re-submission
2022-11-29	Response to RFP Meeting
2022-12-06	Response to RFP Comments

No.	Date	Revision Notes
1	2022-12-06	DP Revision 1



1 Section 1



2 Section 2

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status DP reviewed by RSA

Sections

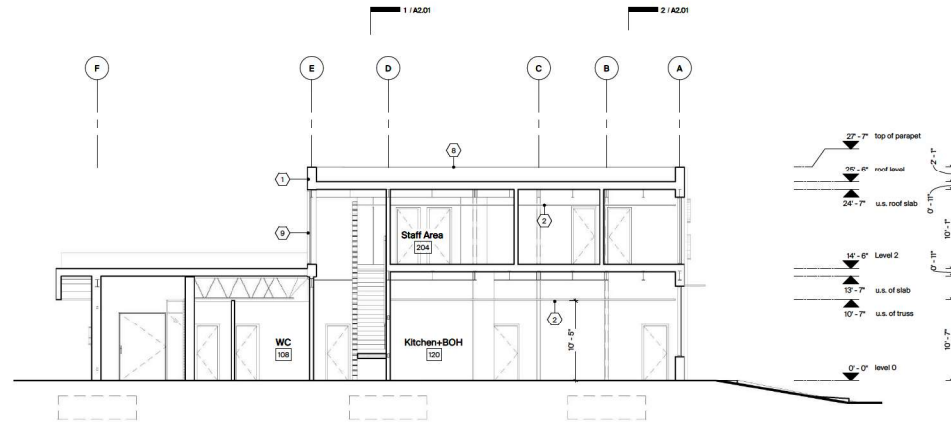
A2.01

Keynotes

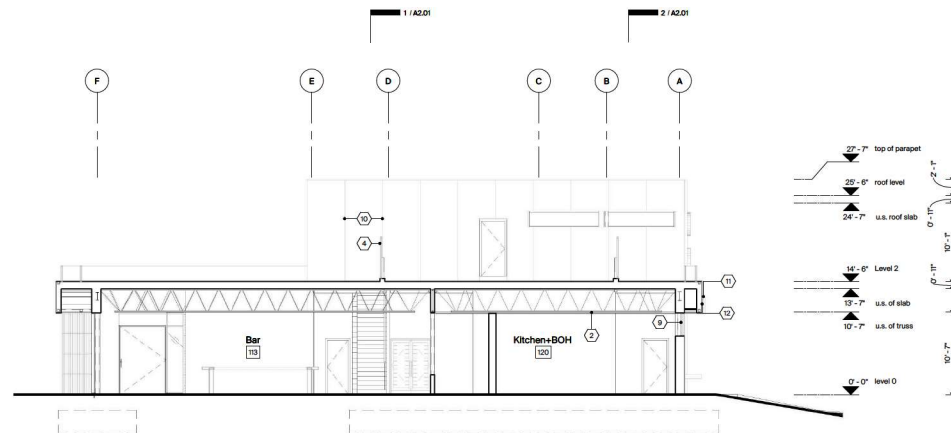
- 1 Spandrel Panel
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- 3 Railing
- 4 Screen
- 5 operable glass windscreen
- 6 operable roof
- 7 runners
- 8 Parapet
- 9 Sealed Glazing Units
- 10 fiber cement panel
- 11 signage
- 12 Takeout Plate
- 13 folding glazing system

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6	2023-12-06	Response to RFP Comments



1 Section 3



2 Section 4

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scale
1/8" = 1'-0" drawn by
DM
status
DP reviewed by
RSA

Sections

A2.02

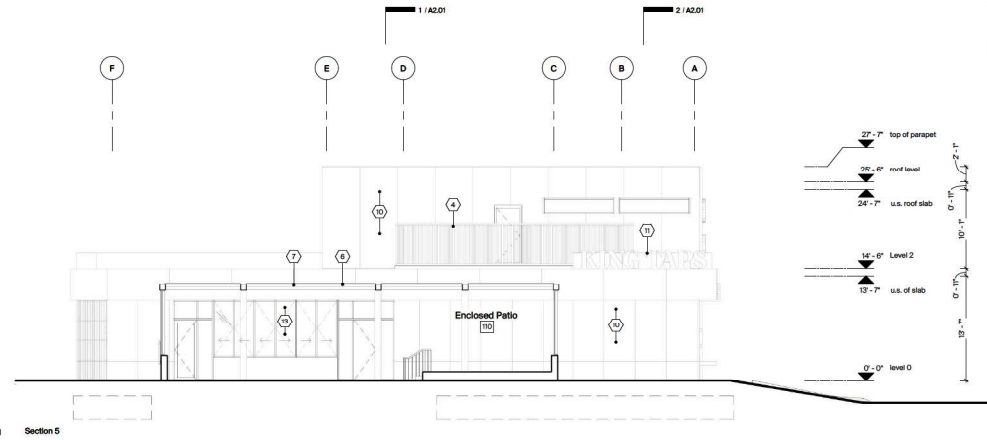
Keynotes

- 1 Spandrel Panel
- 2 ceiling
- 3 Railing
- 4 Screen
- 5 operable glass windscreen
- 6 operable roof
- 7 runners
- 8 Parapet
- 9 Sealed Glazing Units
- 10 fiber cement panel
- 11 signage
- 12 Takeout Plate
- 13 folding glazing system

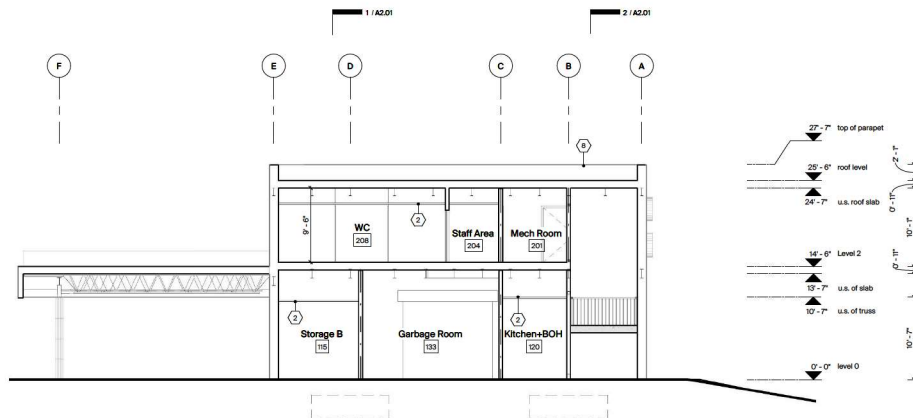
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No.	Date	Revision Notes
1	2023-12-06	DP Revision 1



1 Section 5



2 Section 6

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Sections

A2.03

Keynotes

- | | | |
|------------------------------|--------------------------------|------------------|
| 1) Fiber Cement Panel | 8) Operable Roof | 15) Signage |
| 2) Bench | 9) Soft Cement Panel | 16) Parapet Cap |
| 3) Bike Rack | 10) Cement Tile | 17) Canopy Blade |
| 4) Sealed Glazing Units | 11) Screen | 18) Rolling Door |
| 5) Operable Glass Windscreen | 12) Fire Department Connection | |
| 6) Planter | 13) Fire Department Lockbox | |
| 7) Wood Sunshades | 14) Spandrel Panel | |

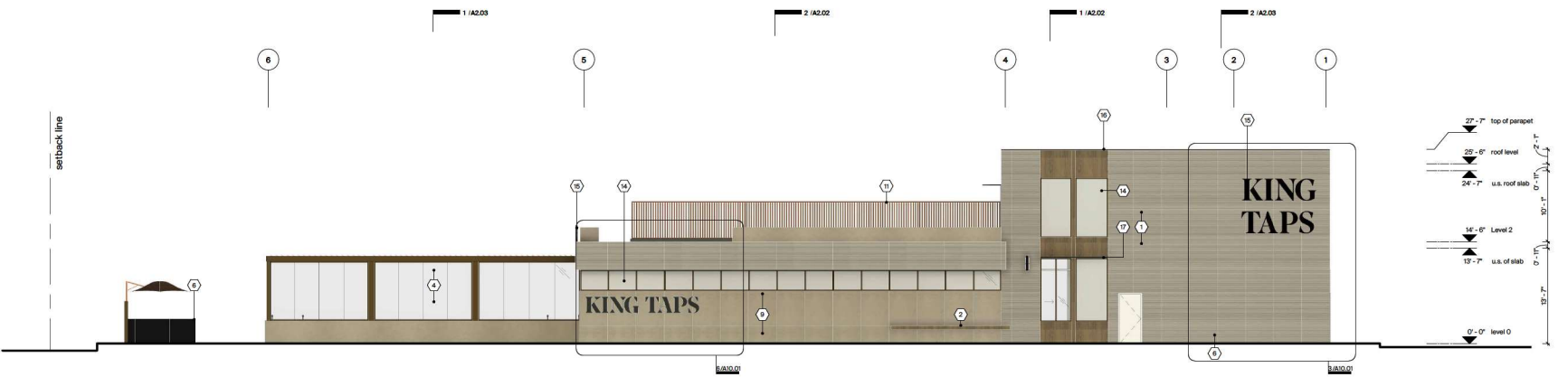
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Date: Issued Notes
 2023-02-08 Issued for Development Permit
 2023-01-12 Issued for Landward Review
 2023-01-08 Issued for Building Permit
 2023-11-18 Issued for Development Permit Revision/Revise
 2023-11-12 Response to RFP Meeting
 2023-12-06 Response to RFP Comments

No. Date Revision Notes
 A3.01 2023-12-06 DP Revision 1



1 West



2 East

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Elevations

A3.01

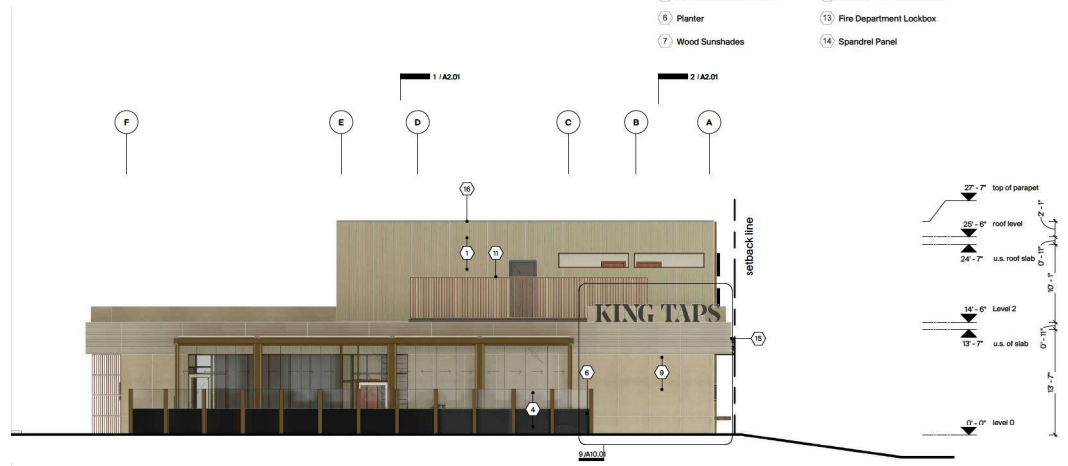
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5	2023-11-12	Response to RFP Meeting
6	2023-12-06	Response to RFP Comments

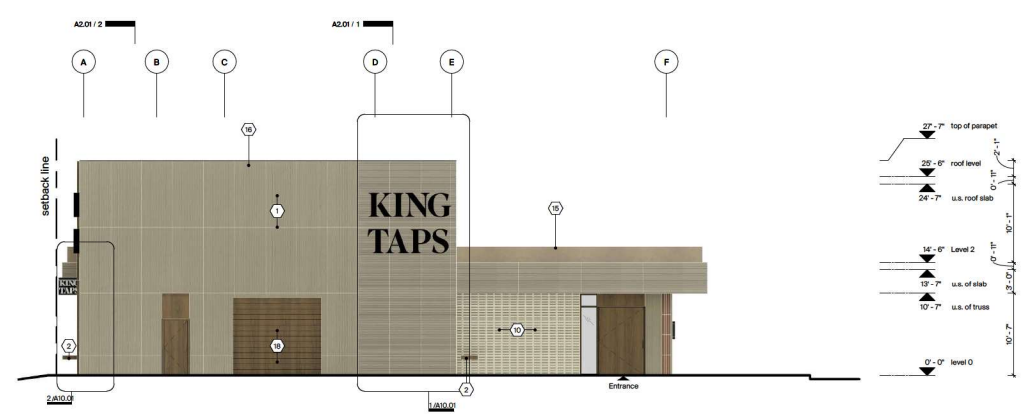
No.	Date	Revision Notes
1	2023-12-06	DP Revision 1

Keynotes

- | | | |
|------------------------------|--------------------------------|------------------|
| 1) Fiber Cement Panel | 8) Operable Roof | 15) Signage |
| 2) Bench | 9) Soft Cement Panel | 16) Parapet Cap |
| 3) Bike Rack | 10) Cement Tile | 17) Canopy Blade |
| 4) Sealed Glazing Units | 11) Screen | 18) Rolling Door |
| 5) Operable Glass Windscreen | 12) Fire Department Connection | |
| 6) Planter | 13) Fire Department Lockbox | |
| 7) Wood Sunshades | 14) Spandrel Panel | |



1 South



2 North

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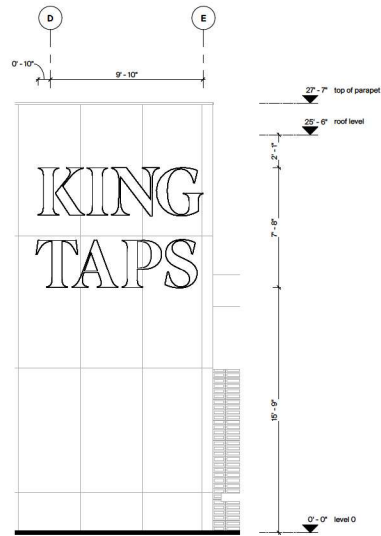
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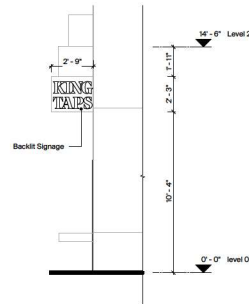
scale 1/8" = 1'-0" drawn by DM
status DP reviewed by RSA

Elevations

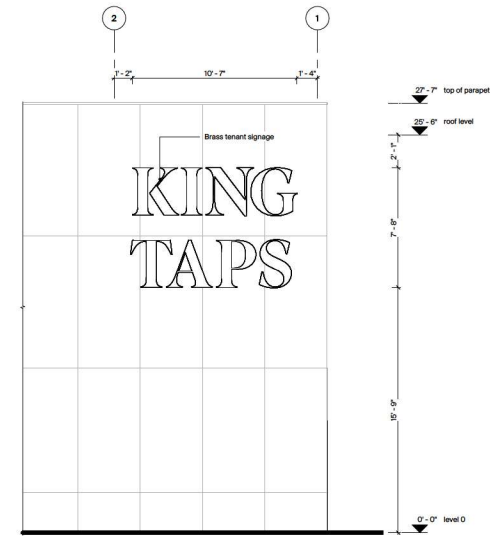
A3.02



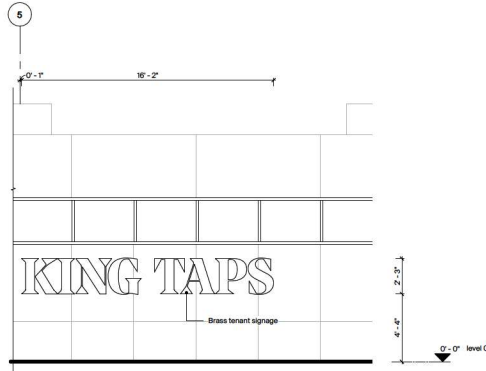
1 Signage Access (North)



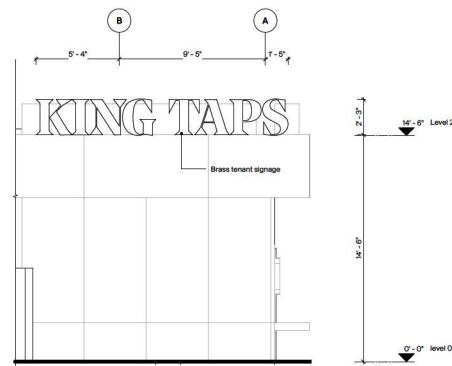
2 Takeout Signage (North)



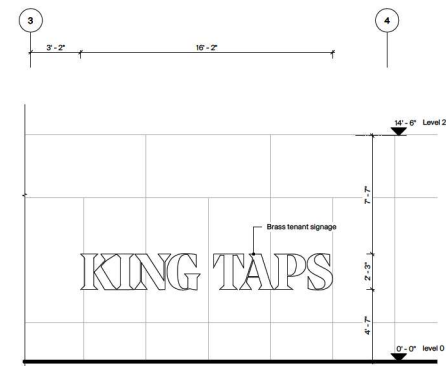
3 Signage East



6 Signage East 2



9 Signage Patio (South)



8 Signage Access (West)

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Date	Issue/Notes
2022-02-08	Issued for Development Permit
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2022-01-08	Issued for Building Permit
2022-11-18	Issued for Development Permit Resubmission
2022-11-12	Response to NIP Meeting
2022-12-06	Response to DP Comments

No.	Date	Revision Notes
001	2022-12-06	DP Revision 1

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Signage
 Proposal

A10.01



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scale	drawn by
RTS	DM
status	reviewed by
DP	RSA

Night View

A20.01