

PROPOSED INDUSTRIAL BUILDINGS FOR:



PRODUCTION WAY MULTI-TENANT

ADDRESS: 5721 PRODUCTION WAY, LANGLEY, B.C.



BUILDING A - PERSPECTIVE OF NORTHWEST CORNER



BUILDING A - PERSPECTIVE OF NORTHEAST CORNER



BUILDING A - PERSPECTIVE OF SOUTHEAST CORNER FROM PRODUCTION WAY



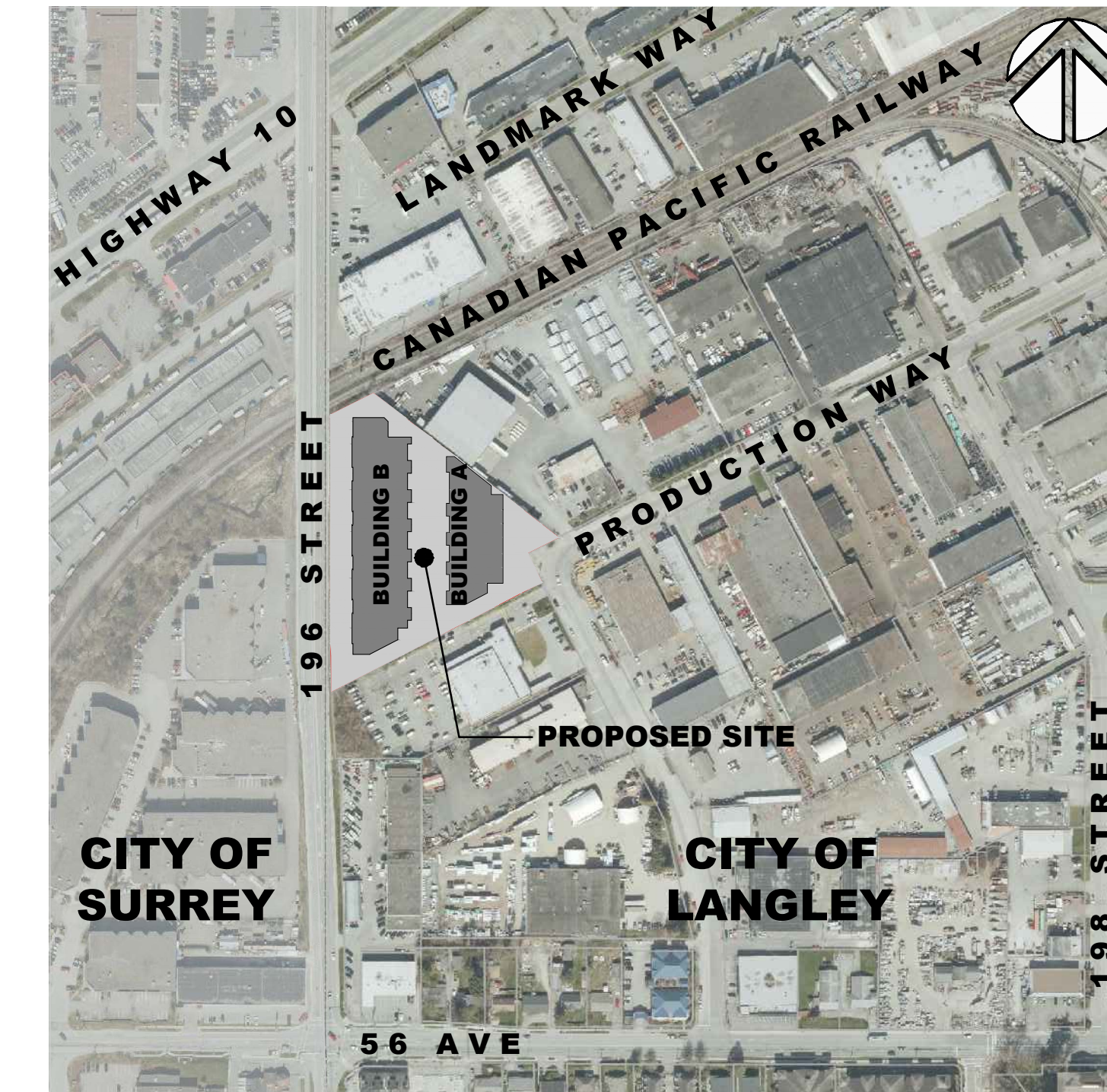
BUILDING B - PERSPECTIVE OF NORTHWEST CORNER



BUILDING B - PERSPECTIVE VIEW LOOKING SOUTH



BUILDING B - PERSPECTIVE OF SOUTHWEST CORNER FROM 196 ST. OVERPASS

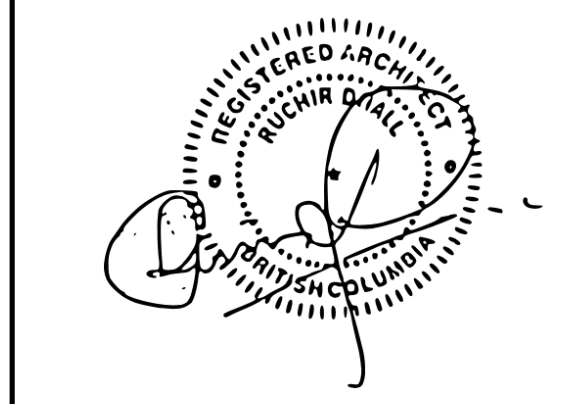


CONTEXT PLAN
SCALE: N.T.S.

ARCHITECTURE PANEL INC.
ARCHITECTURE LANDSCAPE ARCHITECTURE URBAN DESIGN
UNIT 206 - 5493 FOOTER STREET, WHITE ROCK, BC V4B 0C4
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IN ASSOCIATION WITH
D.FORCE DESIGN INC.
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ARCHITECTURAL DRAWING LIST

COVER SHEET	A-0.0
STREETSCAPE & CONTEXT PLAN	A-0.1
SITE PLAN	A-1.0
SHADOW STUDY	A-1.1
SITE DETAILS	A-1.2
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BUILDING A MAIN FLOOR PLAN	A-2.0
BUILDING A UPPER FLOOR PLAN	A-2.1
BUILDING A ROOF PLAN	A-3.0
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BUILDING B FLOOR PLANS	A-2.0
BUILDING B ROOF PLAN	A-3.0
BUILDING B ELEVATIONS	A-4.0

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6	JUN 27 23	ISSUED FOR ACP REVIEW
5	APR 20 23	RE-ISSUED FOR DP
4	APR 17 23	CLIENT REVIEW
3	MAR 20 23	ISSUED FOR DP
2	MAR 07 23	ISSUED FOR CLIENT REVIEW
1	FEB 16 23	CLIENT REVIEW
NO.	DATE	DESCRIPTION

PROJECT DEVELOPER:
HUNGERFORD PROPERTIES
1088 - 550 BURKARD STREET
VANCOUVER, BC V6C 2B5
Phone: 604-736-8500

PROJECT:
PRODUCTION WAY MULTI-TENANT

ADDRESS: 5721 PRODUCTION WAY, LANGLEY, BC

DRAWING
COVER SHEET

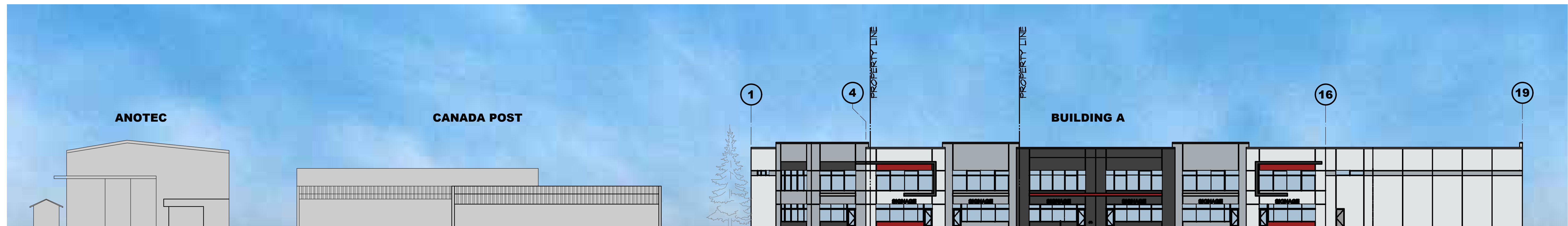
SEAL	JOB NO. 22-035	DRAWN JB
	DESIGNED	
	CHECKED	R.D.
	PLOT DATE	JUN 27 23

PROJECT - DRAWING NUMBER
A-0.0

REV.
6



1 **STREETSCAPE PARALLEL TO 196 ST.**
SCALE: 1" = 30'-0"



2 **STREETSCAPE PARALLEL TO PRODUCTION WAY**
SCALE: 1" = 30'-0"



5 **PRODUCTION WAY LOOKING NORTH**
SCALE: N.T.S.



4 **PRODUCTION WAY LOOKING WEST**
SCALE: N.T.S.



3 **PRODUCTION WAY LOOKING SOUTH-EAST**
SCALE: N.T.S.



8 **196 ST. LOOKING SOUTH**
SCALE: N.T.S.

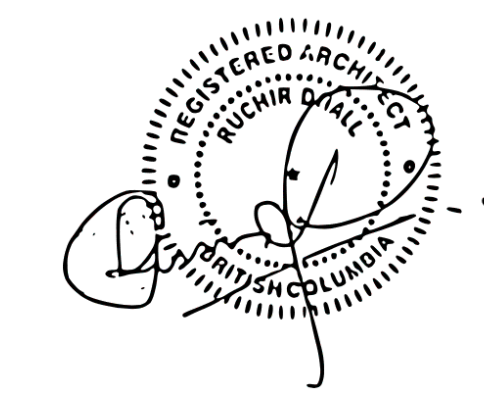


7 **196 ST. LOOKING NORTH**
SCALE: N.T.S.



6 **CONTEXT PLAN**
SCALE: N.T.S.

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Phone: 604-736-8500

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PRODUCTION WAY MULTI-TENANT
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DRAWING:
STREETSCAPE & CONTEXT PLAN

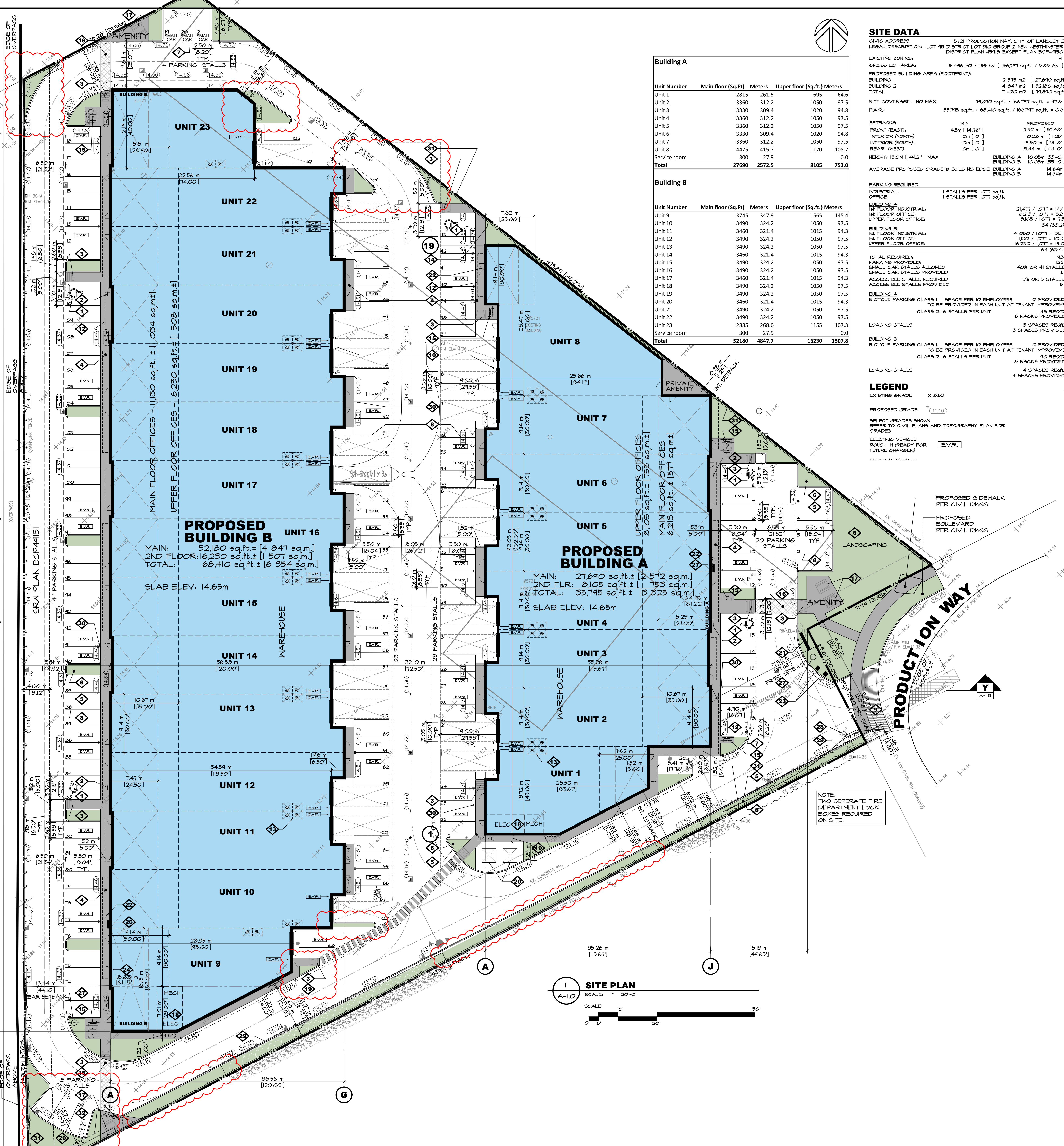
SEAL	JOB NO. 22-035	DRAWN VCF
	DESIGNED	
	CHECKED	R.D.
	PLOT DATE JUN 27 23	

PROJECT - DRAWING NUMBER **A-0.1** REV. **4**

KEYED SITE PLAN NOTES

- 1 INTERNATIONAL SYMBOL OF ACCESS PAINTED ON ASPHALT, SEE DETAIL 1/A-1.2
- 2 BUILDING-MOUNTED ACCESSIBLE PARKING SIGN, SEE DETAIL 4/A-1.2
- 3 5'X8' SIDEWALK LETDOWN, PROVIDE MINIMUM 5'X8' CLEAR AT TOP OF LETDOWN, SEE DETAIL 2/A-1.2
- 4 CONCRETE SIDEWALK, 6" ABOVE ADJACENT ASPHALT - LIGHT BROOM FINISH
- 5 6"X 6" EXTRUDED CONCRETE CURB TYPICAL AT EDGE OF LANDSCAPING, SEE DETAIL 10/A-1.2
- 6 LANDSCAPING PER LANDSCAPE ARCHITECTS DRAWINGS
- 7 PAINT ON ASPHALT
- 8 4" PAINT STRIPE, TYPICAL
- 9 ASPHALT CROSSING TO MUNICIPAL SPECS
- 10 6" X 1/4" THICK CONCRETE FILLED STEEL BOLLARD PAINTED BRIGHT YELLOW OR EQUIVALENT AT EACH SIDE OF GRADE LEVEL DOOR, TYPICAL AT ALL GRADE DOORS, SEE DETAIL 9/A-1.2
- 11 RETAINING WALL UNPAINTED 24" X 24" PIPE GUARDRAIL GUARDRAIL REQUIRED UNTIL THE GRADE DIFFERENCE IS LESS THAN 2'-0" (600mm), SEE CIVIL DRAWINGS FOR RETAINING WALL HEIGHTS
- 12 LINE OF CANOPY ABOVE, SEE PLANS AND DETAILS FOR MORE INFORMATION
- 13 GARBAGE LOCATION INSIDE BUILDING, TYPICAL, SEE DETAIL 5/A-1.2
- 14 POLE MOUNTED ACCESSIBLE PARKING SIGN, SEE DETAIL 3/A-1.2
- 15 BICYCLE PARKING, SEE DETAIL 8/A-1.2
- 16 SANICUT CONCRETE
- 17 SITE FURNITURE PER LANDSCAPE ARCHITECT
- 18 ELECTRICAL & MECHANICAL ROOMS / EQUIPMENT
- 19 GAS METERS, PER MECHANICAL DRAWINGS, SEE DETAIL 6/A-1.2
- 20 ELECTRICAL KIOSK, SEE DETAIL 7/A-1.2, SEE ELECTRICAL DRAWINGS
- 21 FREE STANDING SIGNAGE, SEE DETAIL 11/A-1.2
- 22 TYPICAL ACCESSIBLE ENTRANCE
- 23 TWO SEPARATE FREESTANDING 4" STORZ FIRE DEPARTMENT CONNECTIONS SEE MECHANICAL DRAWINGS
- 24 TRAVEL DISTANCE HYDRANT TO FDG (147' (45m) MAX CONFIRM ON SITE)
- 25 HATCHED AREA INDICATES FIRE TRUCK ACCESS ROUTE DESIGN REQUIREMENTS PER BELOW:
 - HAVE A CLEAR WIDTH NOT LESS THAN 6m
 - HAVE A CLEAR HEIGHT NOT LESS THAN 12m
 - HAVE AN OVERHEAD CLEARANCE NOT LESS THAN 3m
 - HAVE A GRADIENT NOT MORE THAN 1 IN 12.5
 - ASPHALT MUST BE DESIGNED TO CARRY FIRETRUCK LOADING OF 70,000 LBS DRIVE
 - HAVE BURNAROUND FACILITIES FOR ANY DEAD-END PORTION OF THE ACCESS ROUTE MORE THAN 40M LONG
 - BE CONNECTED WITH A PUBLIC THROUGHFARE
- 26 ANNUNCIATOR PANEL, SEE ELECTRICAL DRAWINGS
- 27 PROPOSED FIRE HYDRANT, SEE CIVIL DRAWINGS
- 28 EXISTING FIRE HYDRANT TO BE REMOVED, SEE CIVIL DRAWINGS
- 29 TREE PROTECTION FENCING, PER ARBORIST REPORT
- 30 E.V. CHARGING ROUGH-IN (2-CAR), SEE ELECTRICAL DRAWINGS FOR DETAILS
- 31 OMEGA METAL FENCE - ARCHITECTURAL SYSTEM, PER LANDSCAPE PLANS
- 32 LANDSCAPE AREA WITH 1.5 SPACE ALLOCATED FOR FUTURE PEDESTRIAN CONNECTION THROUGH SITE

196 STREET (OVERPASS)



Building A

Unit Number	Main floor (Sq.Ft.)	Meters	Upper floor (Sq.Ft.)	Meters
Unit 1	2815	261.5	695	64.6
Unit 2	3360	312.2	1050	97.5
Unit 3	3330	309.4	1020	94.8
Unit 4	3360	312.2	1050	97.5
Unit 5	3360	312.2	1050	97.5
Unit 6	3330	309.4	1020	94.8
Unit 7	3360	312.2	1050	97.5
Unit 8	4475	415.7	1170	108.7
Service room	300	27.9		0.0
Total	27690	2572.5	8105	753.0

Building B

Unit Number	Main floor (Sq.Ft.)	Meters	Upper floor (Sq.Ft.)	Meters
Unit 9	3745	347.9	1565	145.4
Unit 10	3490	324.2	1050	97.5
Unit 11	3460	321.4	1015	94.3
Unit 12	3490	324.2	1050	97.5
Unit 13	3490	324.2	1050	97.5
Unit 14	3460	321.4	1015	94.3
Unit 15	3490	324.2	1050	97.5
Unit 16	3490	324.2	1050	97.5
Unit 17	3460	321.4	1015	94.3
Unit 18	3490	324.2	1050	97.5
Unit 19	3490	324.2	1050	97.5
Unit 20	3460	321.4	1015	94.3
Unit 21	3490	324.2	1050	97.5
Unit 22	3490	324.2	1050	97.5
Unit 23	2885	268.0	1155	107.3
Service room	300	27.9		0.0
Total	52180	4847.7	16230	1507.8

SITE DATA

CIVIC ADDRESS: 5721 PRODUCTION WAY, CITY OF LANGLEY BC
 LEGAL DESCRIPTION: LOT 43 DISTRICT LOT 310 GROUP 2 NEW WESTMINSTER DISTRICT PLAN 4818 EXCEPT PLAN BCP44180

EXISTING ZONING: R-1
 GROSS LOT AREA: 15 496 m² / 155 ha. [166,797 sq.ft. / 3,85 Ac.]
 PROPOSED BUILDING AREA (FOOTPRINT): 4 841 m² [52,180 sq.ft.]
 BUILDING 1: 2 579 m² [27,690 sq.ft.]
 BUILDING 2: 4 841 m² [52,180 sq.ft.]
 TOTAL: 7 420 m² [79,870 sq.ft.]

SITE COVERAGE: NO MAX. 79 870 sq.ft. / 166,797 sq.ft. = 47.6 %
 F.A.R.: 35,795 sq.ft. + 68,410 sq.ft. / 166,797 sq.ft. = 0.624

SETBACKS: MIN. PROPOSED
 FRONT (EAST): 4.5m [14.76'] 17.52 m [57.46']
 INTERIOR (SOUTH): 0m [0'] 4.50 m [14.76']
 INTERIOR (NORTH): 0m [0'] 4.50 m [14.76']
 REAR (WEST): 0m [0'] 15.44 m [50.62']

HEIGHT: 15.0M [49.21'] MAX. BUILDING A 10.05M [32.97']
 BUILDING B 10.05M [32.97']
 AVERAGE PROPOSED GRADE @ BUILDING EDGE BUILDING A 14.64m
 BUILDING B 14.64m

PARKING REQUIRED:

INDUSTRIAL: 1 STALLS PER 1071 sq.ft.
 OFFICE: 1 STALLS PER 1071 sq.ft.

BUILDING A
 1st FLOOR INDUSTRIAL: 21,471 / 1071 = 19.9
 2nd FLOOR OFFICE: 6,219 / 1071 = 5.8
 TOTAL: 27,690 / 1071 = 25.8

BUILDING B
 1st FLOOR INDUSTRIAL: 41,050 / 1071 = 38.3
 1st FLOOR OFFICE: 11,550 / 1071 = 10.8
 UPPER FLOOR OFFICE: 16,230 / 1071 = 15.2
 TOTAL: 68,830 / 1071 = 64.3

TOTAL REQUIRED:
 PARKING PROVIDED: 46
 SMALL CAR STALLS ALLOWED: 122
 SMALL CAR STALLS PROVIDED: 40% OR 41 STALLS
 ACCESSIBLE STALLS REQUIRED: 5% OR 3 STALLS
 ACCESSIBLE STALLS PROVIDED: 5

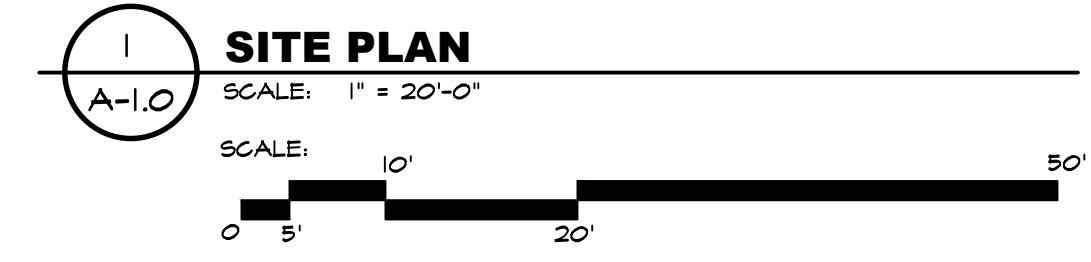
BUILDING A
 BICYCLE PARKING CLASS 1: 1 SPACE PER 10 EMPLOYEES 0 PROVIDED
 TO BE PROVIDED IN EACH UNIT AT TENANT IMPROVEMENT
 CLASS 2: 6 STALLS PER UNIT 6 RACKS PROVIDED

BUILDING B
 BICYCLE PARKING CLASS 1: 1 SPACE PER 10 EMPLOYEES 0 PROVIDED
 TO BE PROVIDED IN EACH UNIT AT TENANT IMPROVEMENT
 CLASS 2: 6 STALLS PER UNIT 6 RACKS PROVIDED

LOADING STALLS
 BUILDING A: 4 SPACES REQ'D
 3 SPACES PROVIDED
 BUILDING B: 4 SPACES REQ'D
 4 SPACES PROVIDED

LEGEND

EXISTING GRADE X 0.55
 PROPOSED GRADE (111.10)
 SELECT GRADES SHOWN REFER TO CIVIL PLANS AND TOPOGRAPHY PLAN FOR GRADES
 ELECTRIC VEHICLE CHARGING ROUGH-IN (2-CAR) (E.V.R.)



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NO.	DATE	DESCRIPTION
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18	AUG. 28.23	ADP COMMENTS RESPONSE
17	AUG. 02.23	LANDSCAPE COORDINATION
16	JUL. 26.23	REVISIONS PER ADP COMMENTS
15	JUN. 27.23	ISSUED FOR ADP REVIEW
14	JUN. 22.23	REVISIONS PER CITY COMMENTS
13	JUN. 16.23	REVISIONS PER CITY COMMENTS
12	APR. 20.23	RE-ISSUED FOR DP
11	APR. 17.23	CLIENT REVIEW
10	MAR. 31.23	GENERAL REVISIONS
9	MAR. 20.23	ISSUED FOR DP
8	MAR. 16.23	ISSUED FOR CLIENT REVIEW
7	MAR. 07.23	ISSUED FOR CLIENT REVIEW
6	MAR. 03.23	ISSUED FOR CONSULTANT COORD.
5	MAR. 01.23	CLIENT REVIEW
4	JAN. 31.23	CLIENT REVIEW
3	JAN. 13.23	CLIENT REVIEW
2	JAN. 13.23	CLIENT REVIEW
1	JAN. 06.23	CLIENT REVIEW

PROJECT DEVELOPER:
HUNGERFORD
 1088 - 550 BURARD STREET
 VANCOUVER, BC V6C 2B5
 Phone: 604-736-8500

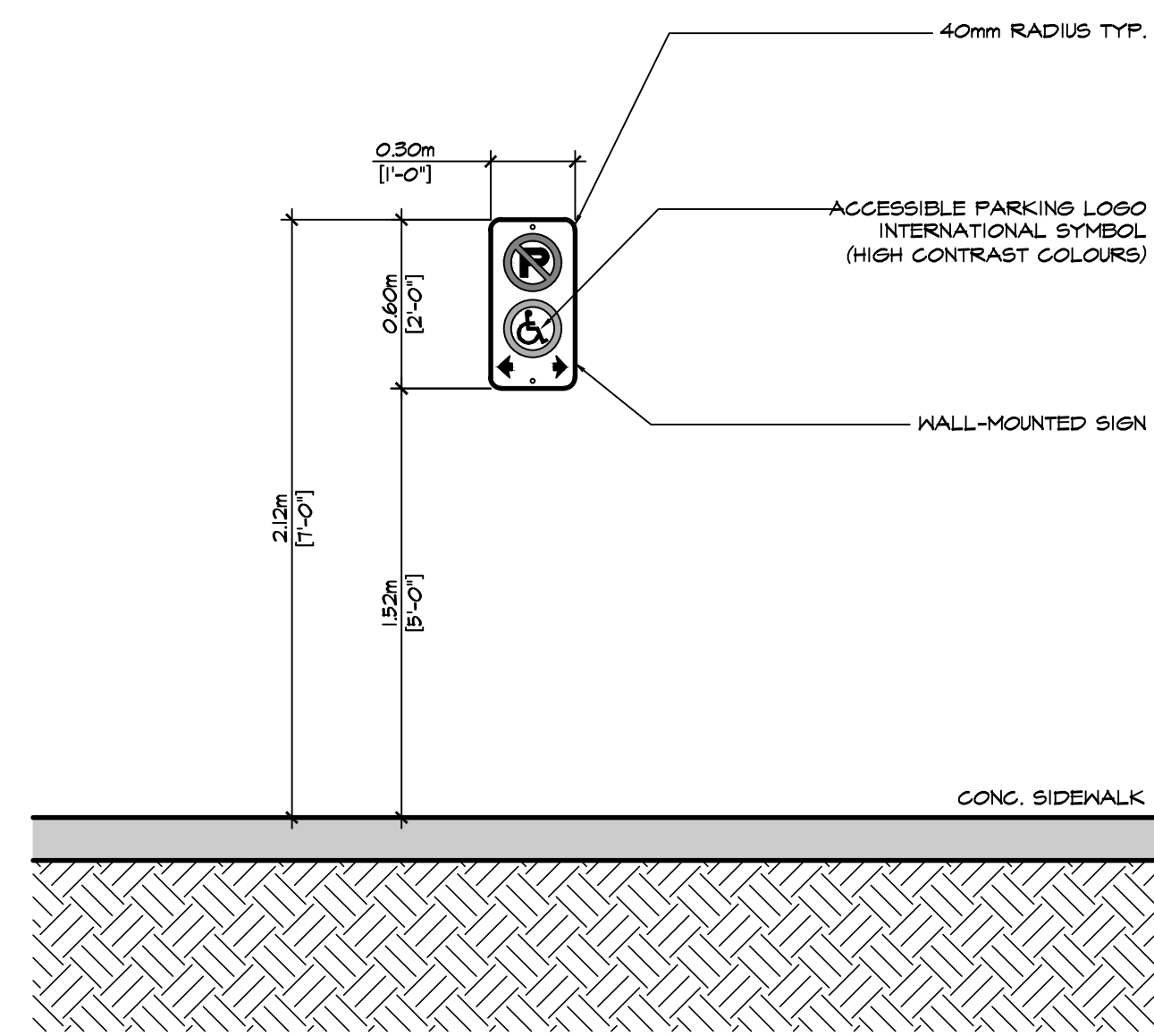
PROJECT:
PRODUCTION WAY MULTI-TENANT

ADDRESS: 5721 PRODUCTION WAY, LANGLEY, BC

DRAWING:
SITE PLAN

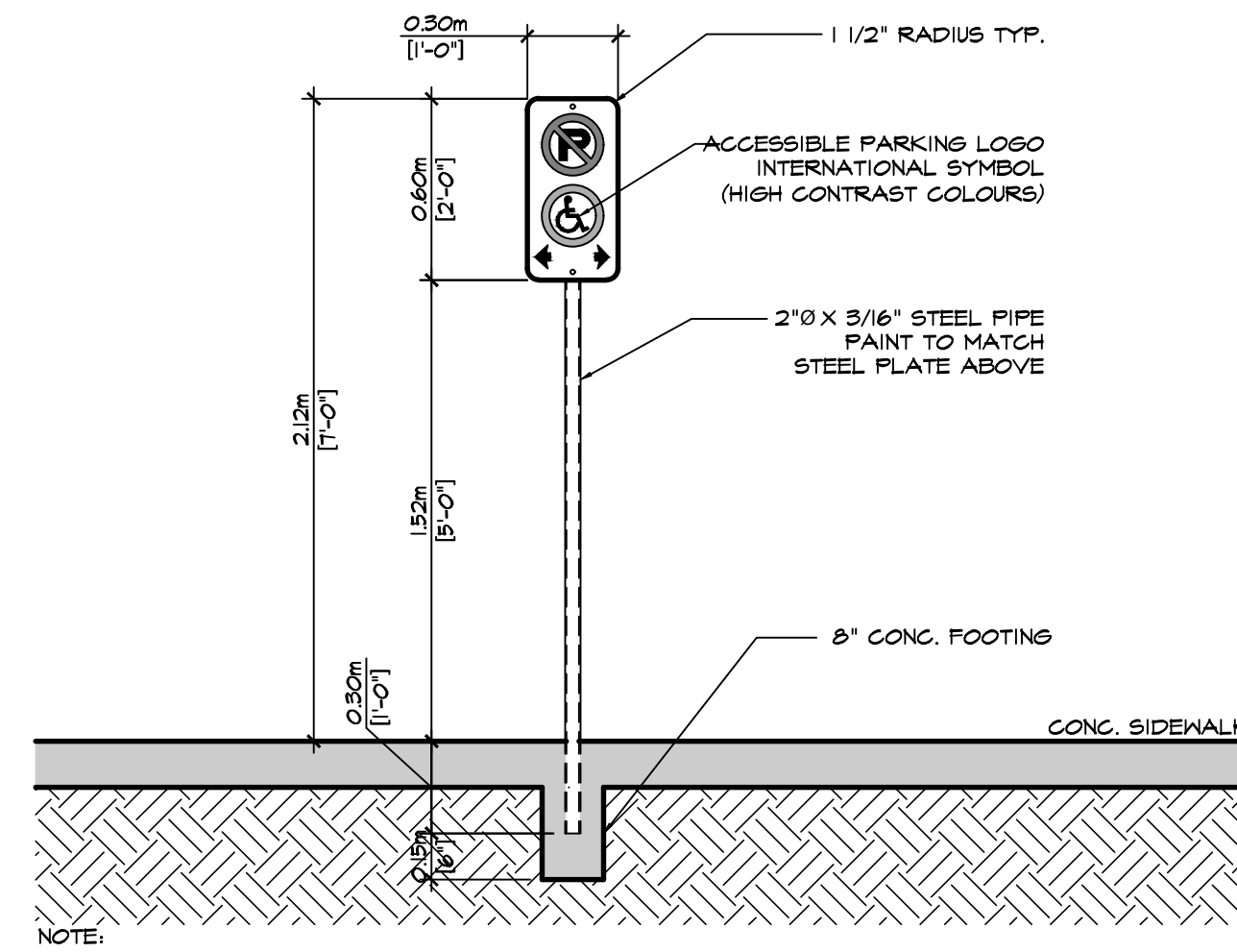
SEAL: JOB NO. 22-035 DRAWN DF/DC
 DESIGNED
 CHECKED R.D.
 PLOT DATE AUG. 28.23

PROJECT - DRAWING NUMBER: **A-1.0** REV: **18**



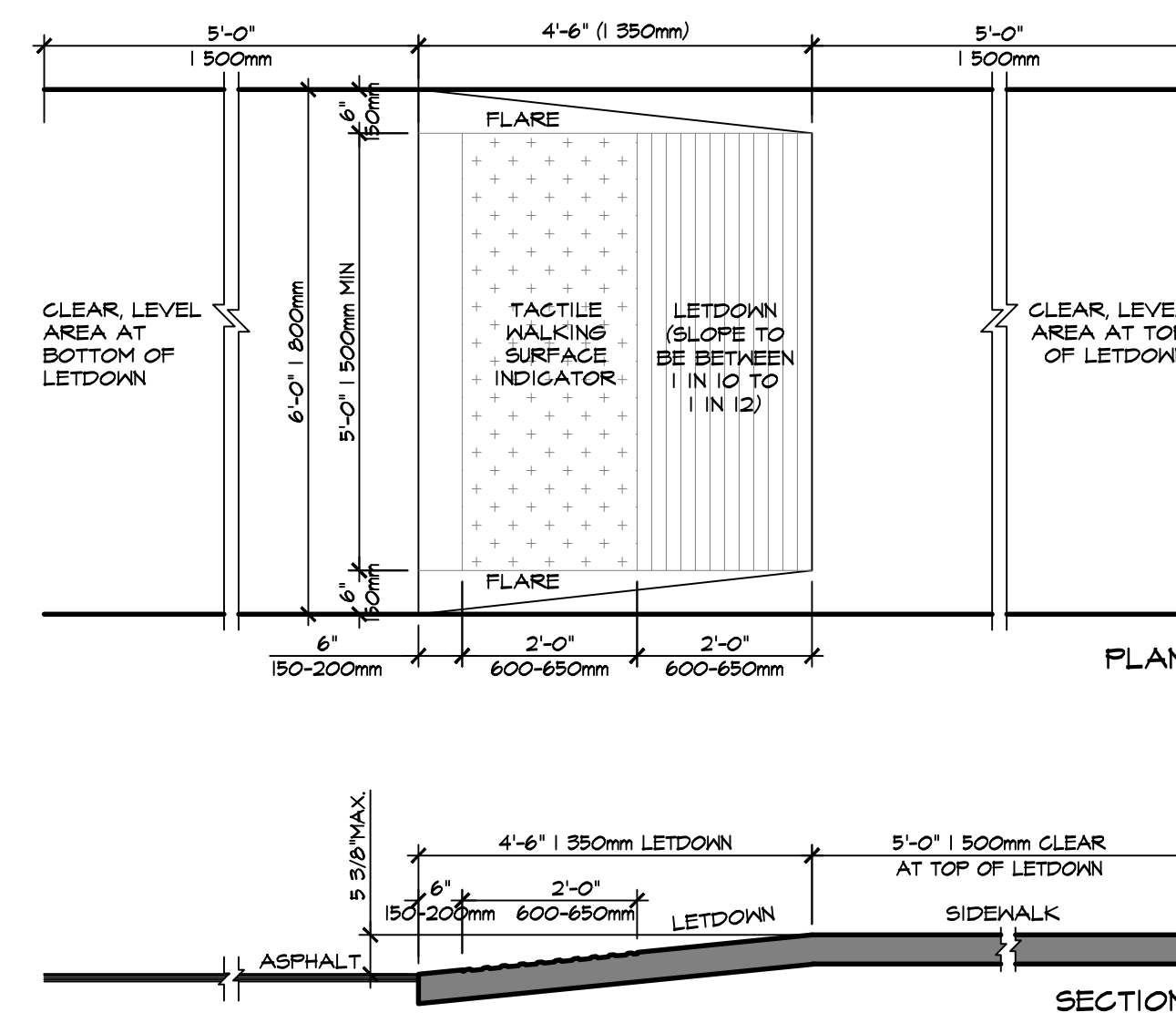
NOTE:
 1. MOUNT TO FACE OF WALL AT FRONT OF H.C. PARKING SPACE; CENTER UNLESS THERE IS GLAZING
 2. COLOUR: WHITE BACKGROUND THROUGHOUT; RED TOP CIRCLE & CENTER SLASH; BLACK 'P'; GREEN BOTTOM CIRCLE; BLACK CENTER SYMBOL; BLACK ARROWS & BLACK BORDER

4 ACCESSIBLE BUILDING-MOUNTED PARKING SIGN DETAIL
 SCALE: 1/2" = 1'-0"



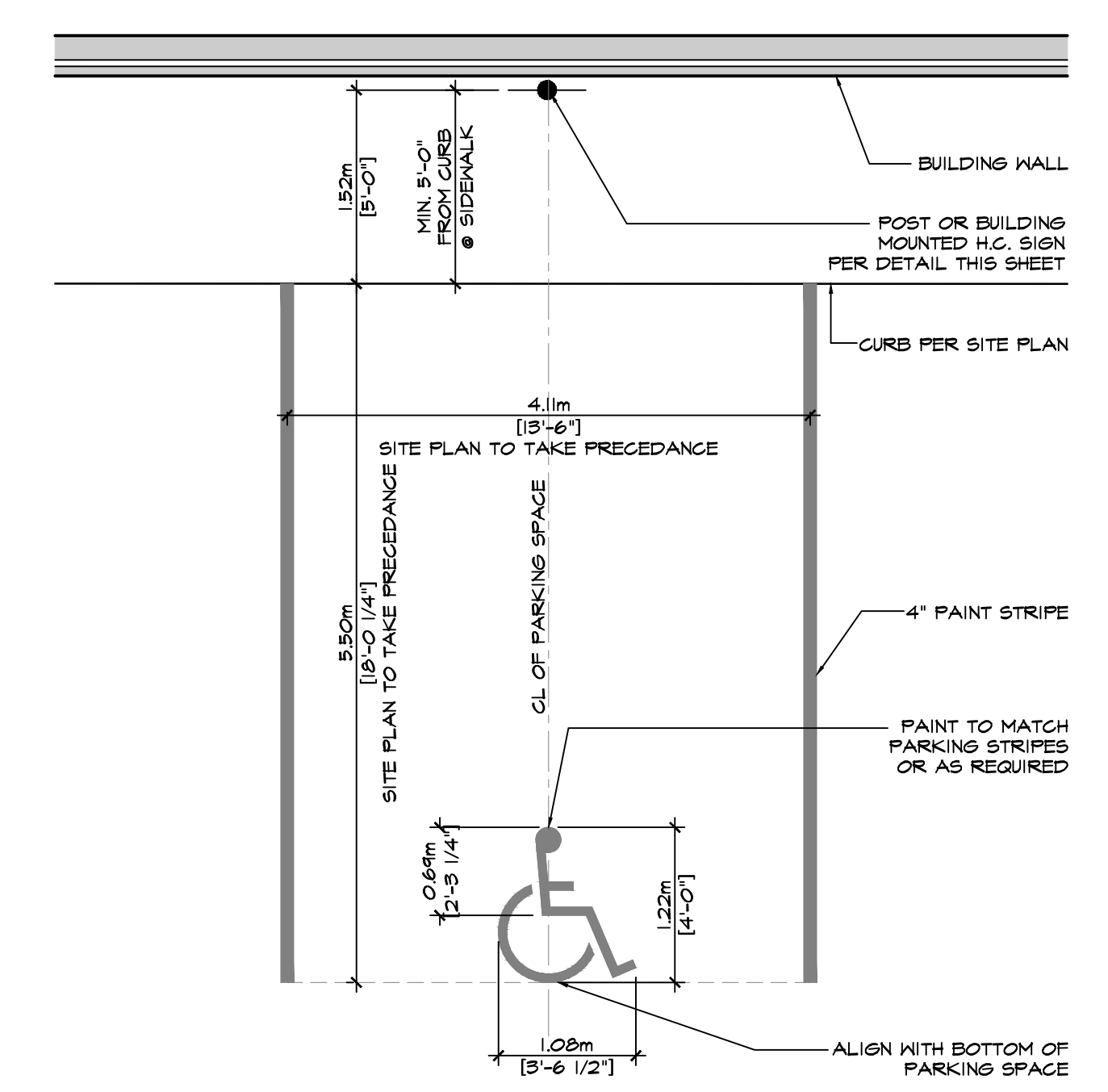
NOTE:
 1. CENTRE SIGN AT FRONT OF H.C. PARKING SPACE.
 2. SIGN FACE LOCATED MIN. 5'-0" CLEAR FROM THE FRONT OF H.C. PARKING SPACE FOR ACCESSIBILITY
 3. COLOUR: WHITE BACKGROUND THROUGHOUT; RED TOP CIRCLE & CENTER SLASH; BLACK 'P'; GREEN BOTTOM CIRCLE; BLACK CENTER SYMBOL; BLACK ARROWS & BLACK BORDER

3 ACCESSIBLE POLE-MOUNTED PARKING SIGN DETAIL
 SCALE: 1/2" = 1'-0"

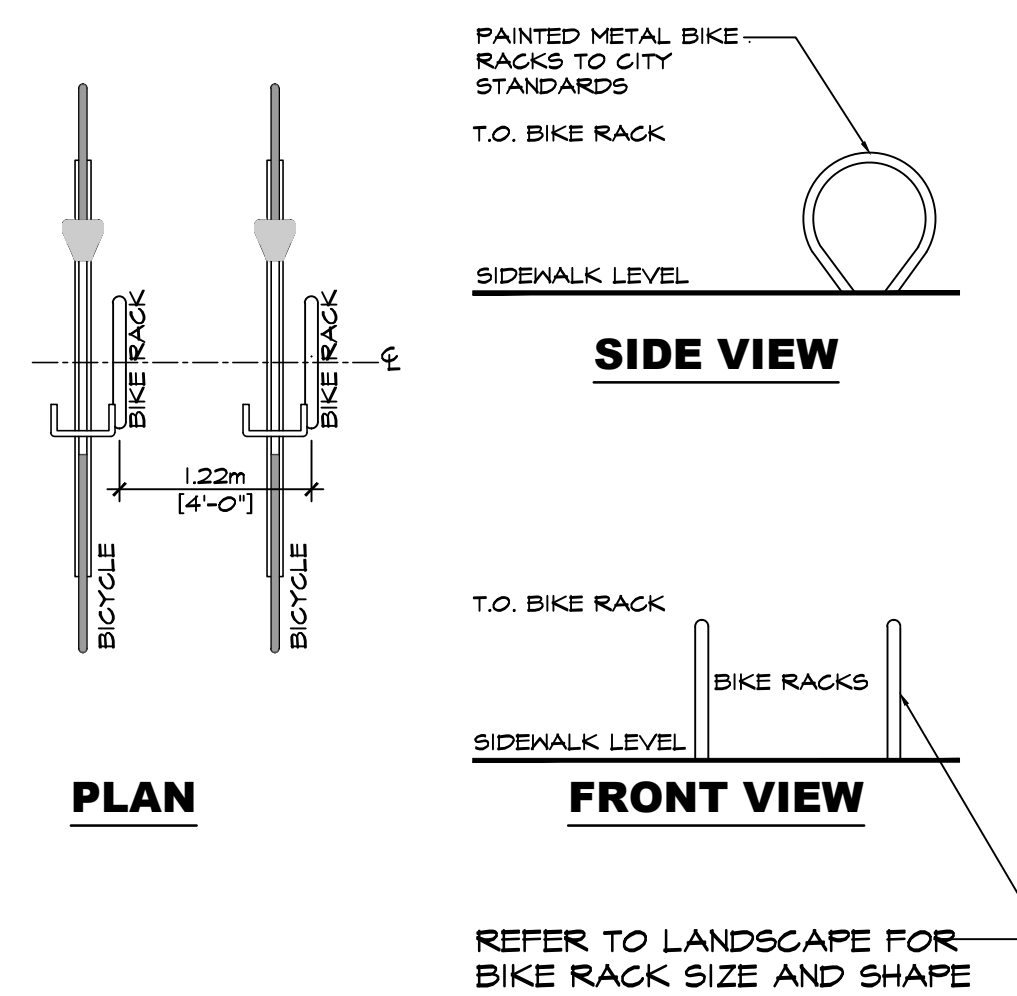


FLARED SIDES HAVE TO HAVE A SLOPE OF NOT MORE THAN 1 IN 12 WHERE PEDESTRIANS ARE LIKELY TO WALK ACROSS THEM
 *CURB RAMPS SHALL HAVE A SURFACE INCLUDING FLARED SIDES THAT SHALL BE SLIP-RESISTANT AND HAVE A SMOOTH TRANSITION FROM THE CURB RAMP TO THE ADJACENT SURFACES

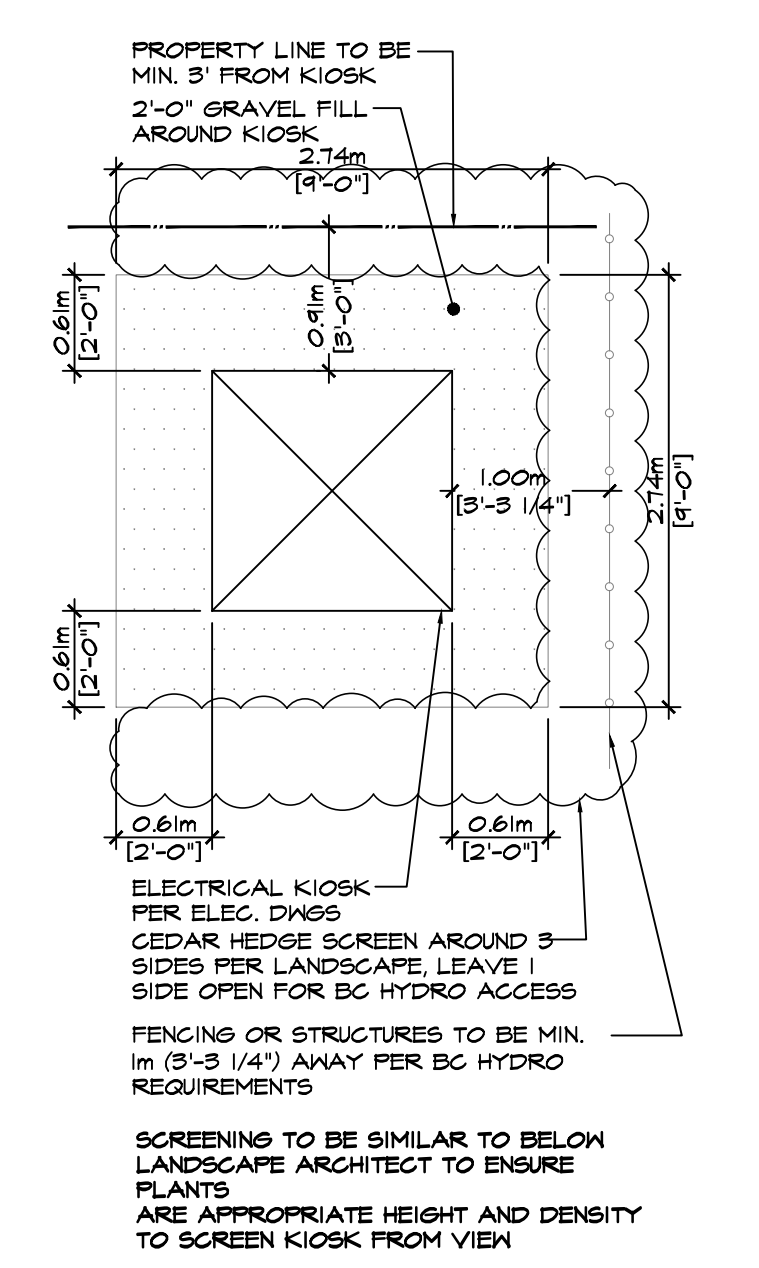
2 LETDOWN DETAIL
 SCALE: 1/2" = 1'-0"



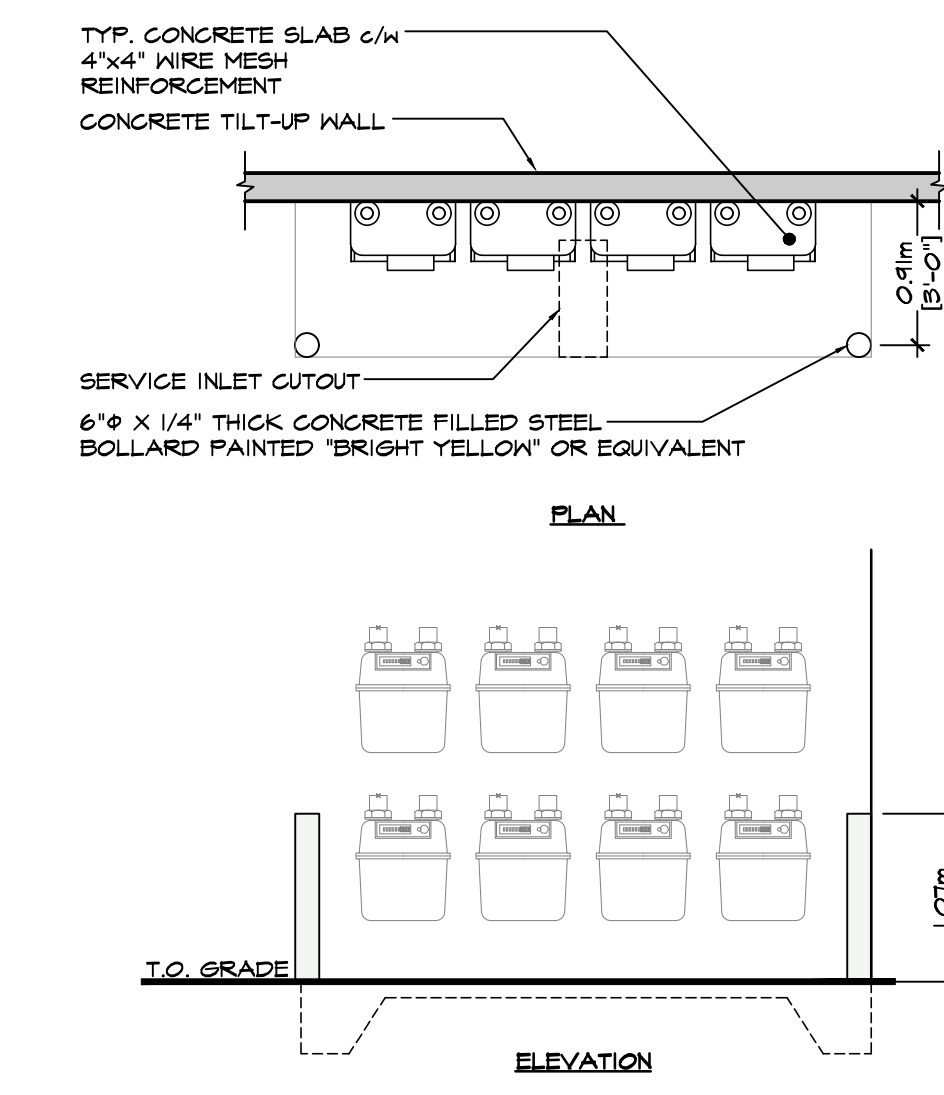
1 ACCESSIBLE PARKING STALL DETAIL
 SCALE: 1/4" = 1'-0"



8 BIKE RACK DETAIL
 SCALE: 1/4" = 1'-0"

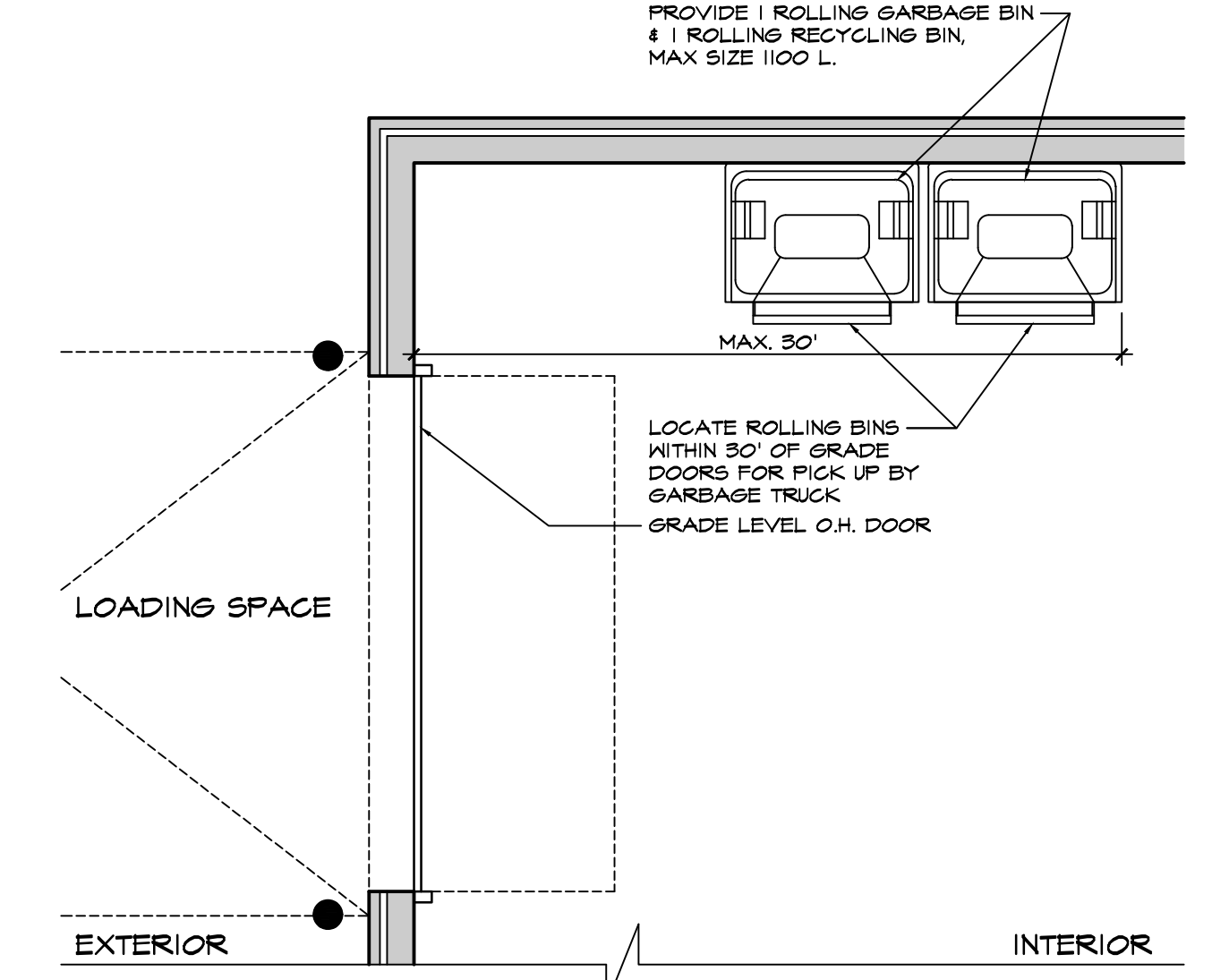


7 ELECTRICAL KIOSK DETAIL
 SCALE: 1/4" = 1'-0"

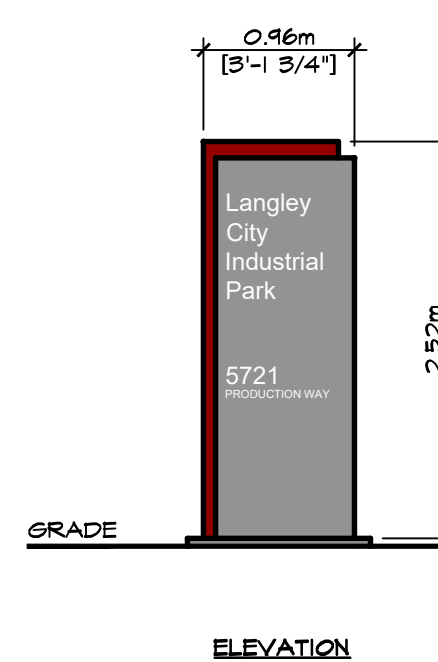


GENERAL ENCLOSURE NOTES:
 TYPICAL SLAB & FENCE
 1) FOOTINGS TO BE DESIGNED BY OTHERS TO SUIT LOCAL SOIL CONDITIONS.
 2) ENSURE MINIMUM INSIDE DIMENSIONS ARE MAINTAINED PER BC HYDRO STANDARDS

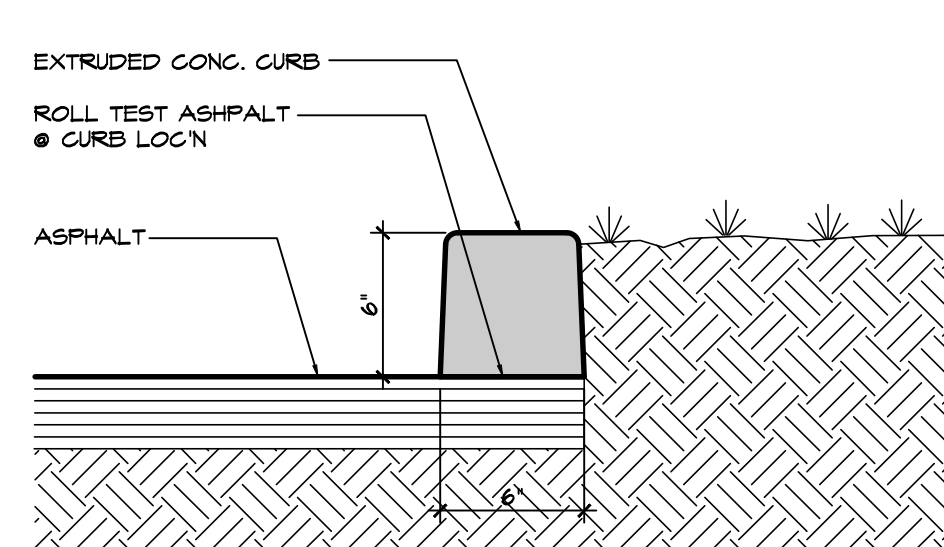
6 GAS METER DETAIL
 SCALE: 1/4" = 1'-0"



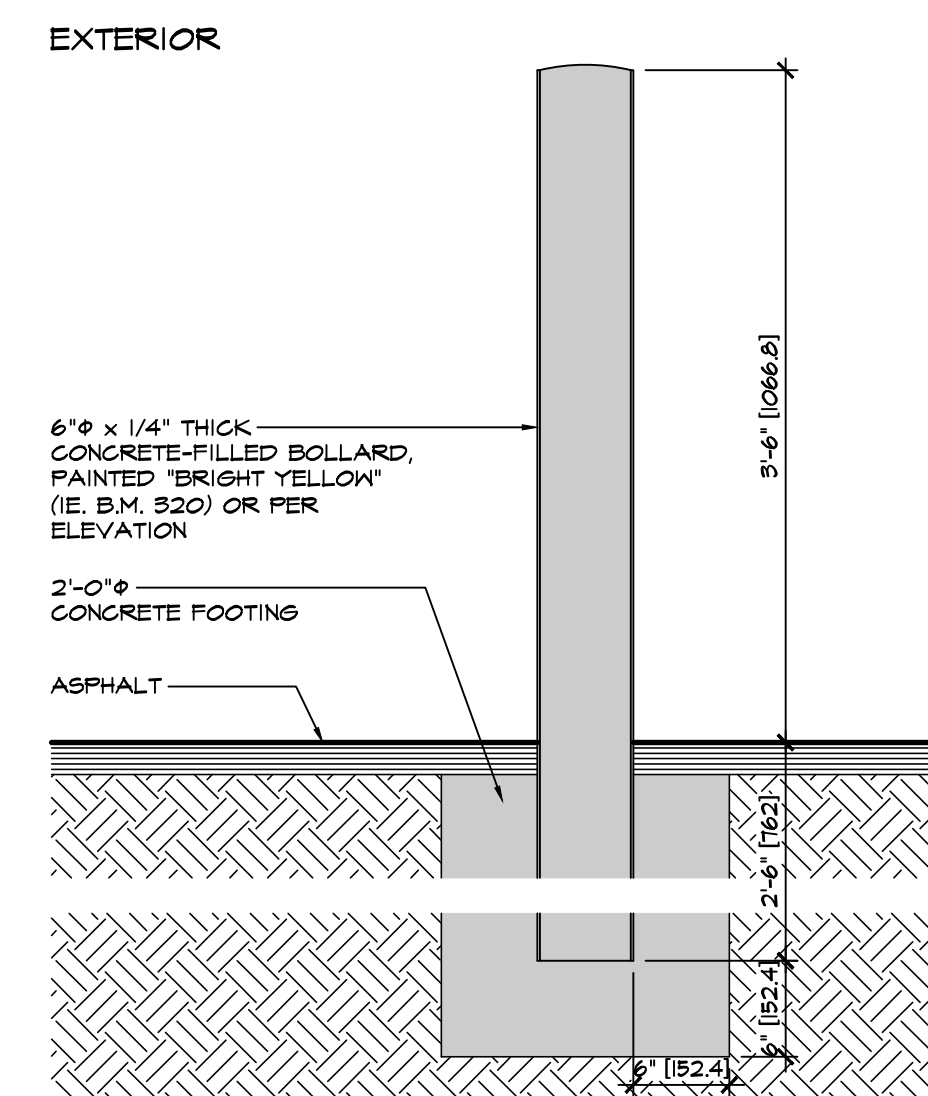
5 INTERIOR GARBAGE DETAIL
 SCALE: 1/4" = 1'-0"



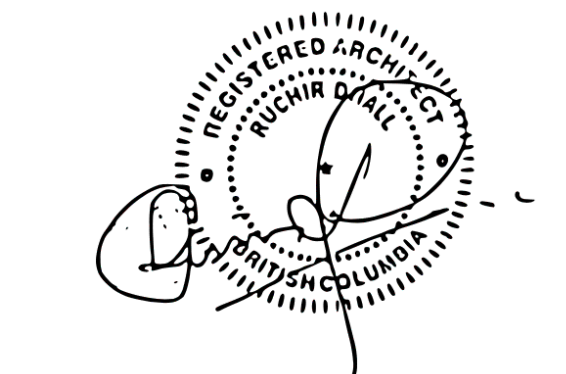
10 FREE-STANDING SIGN
 SCALE: 1/2" = 1'-0"



10 CURB DETAIL
 SCALE: 1/2" = 1'-0"



9 BOLLARD DETAIL
 SCALE: 1" = 1'-0"



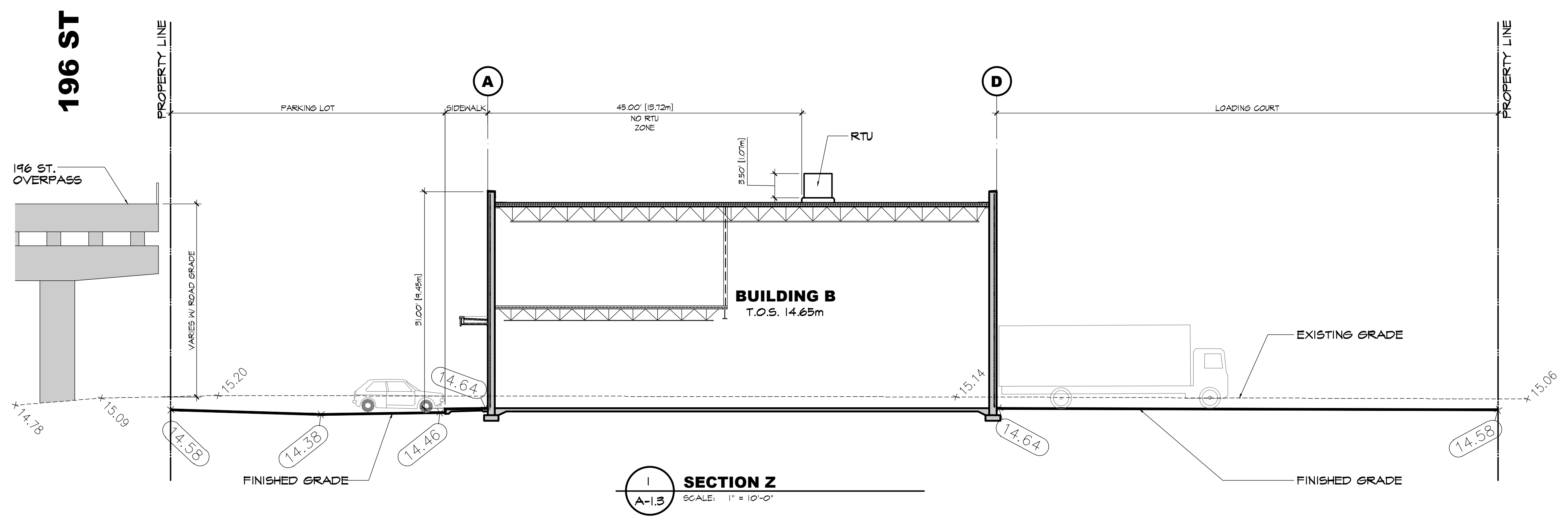
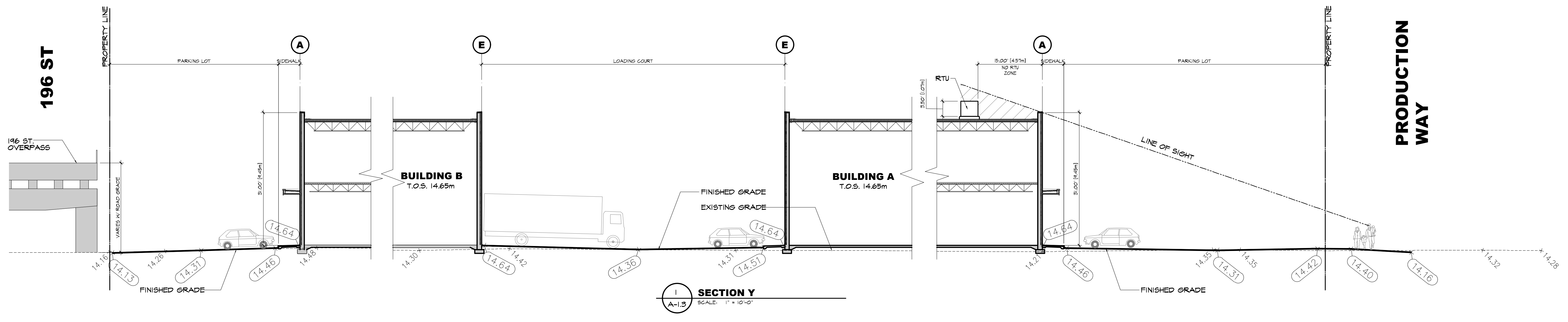
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NO.	DATE	DESCRIPTION

PROJECT DEVELOPER:
HUNGERFORD
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 VANCOUVER, BC V6C 2B5
 Phone: 604-736-8500

PROJECT:
LANGLEY CITY
 INDUSTRIAL PARK
 LANGLEY INDUSTRIAL PARK
 ADDRESS: 3721 PRODUCTION WAY, LANGLEY, BC

DRAWING
SITE DETAILS

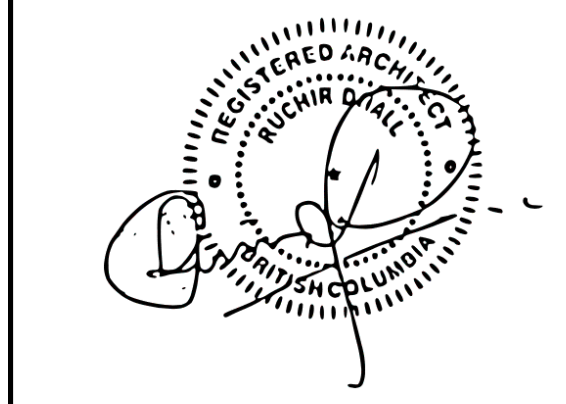
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	PLOT DATE OCT. 19.23	
PROJECT - DRAWING NUMBER		REV.
A-1.2		6



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2025A ALLIANCE STREET, ABBOTSFORD, B.C., V3B 3U7
TEL: (604) 607-8655 EMAIL: DARYL@DFORCE.COM

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5	JUN 27 23	ISSUED FOR ADP REVIEW
4	APR 20 23	RE-ISSUED FOR DP
3	APR 17 23	CLIENT REVIEW
2	MAR 20 23	ISSUED FOR DP
1	MAR 07 23	ISSUED FOR CLIENT REVIEW
NO.	DATE	DESCRIPTION

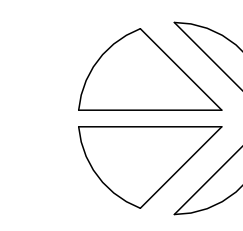
PROJECT DEVELOPER:
HUNGERFORD PROPERTIES
1088 - 550 BURRARD STREET
VANCOUVER, BC V6C 2B5
Phone: 604-736-8500

PROJECT:
PRODUCTION WAY MULTI-TENANT
ADDRESS: 5721 PRODUCTION WAY, LANGLEY, BC

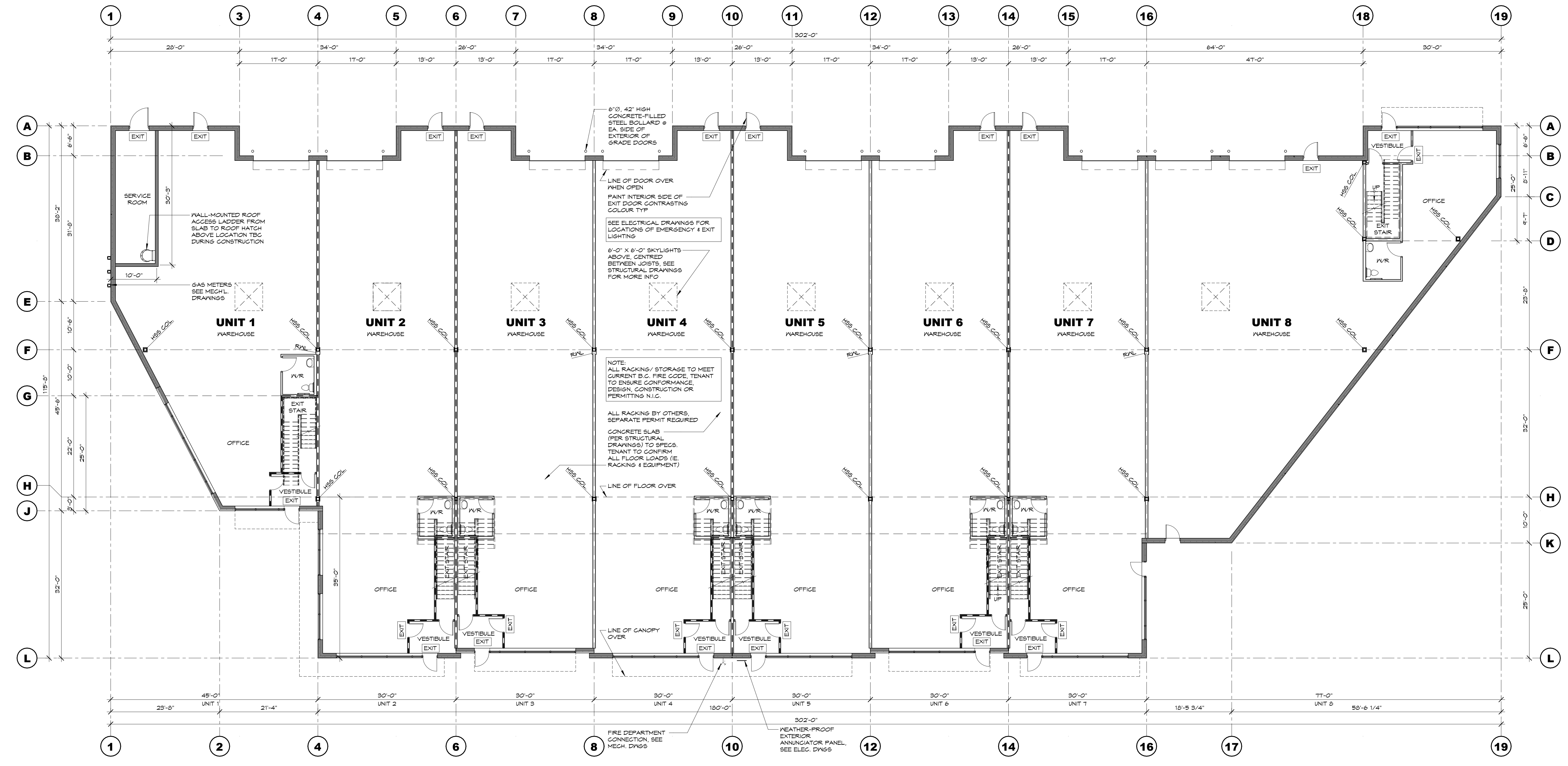
SITE SECTIONS

SEAL	JOB NO. 22-035	DRAWN VCF
	DESIGNED	
	CHECKED	R.D.
	PLOT DATE	JUN 27 23

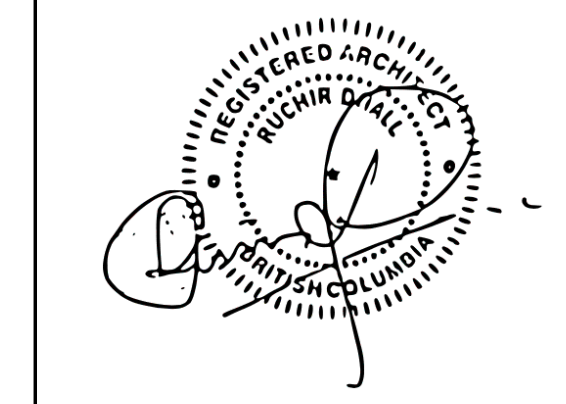
PROJECT - DRAWING NUMBER
A-1.3
REV. **5**



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1 MAIN FLOOR PLAN
 A-2.0 SCALE: 3/32" = 1'-0"



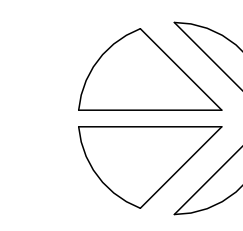
8	JUN 27 23	ISSUED FOR ADP REVIEW
5	JUN 22 23	RE-DP PER CITY COMMENTS
4	APR 20 23	RE-ISSUED FOR DP
3	APR 17 23	ISSUED FOR CLIENT REVIEW
2	MAR 20 23	ISSUED FOR DP
1	MAR 07 23	ISSUED FOR CLIENT REVIEW
NO.	DATE (MM/DD)	DESCRIPTION

PROJECT DEVELOPER:
HUNGERFORD
 1088 - 550 BURRARD STREET
 VANCOUVER, BC V6C 2B5
 Phone: 604-736-8500

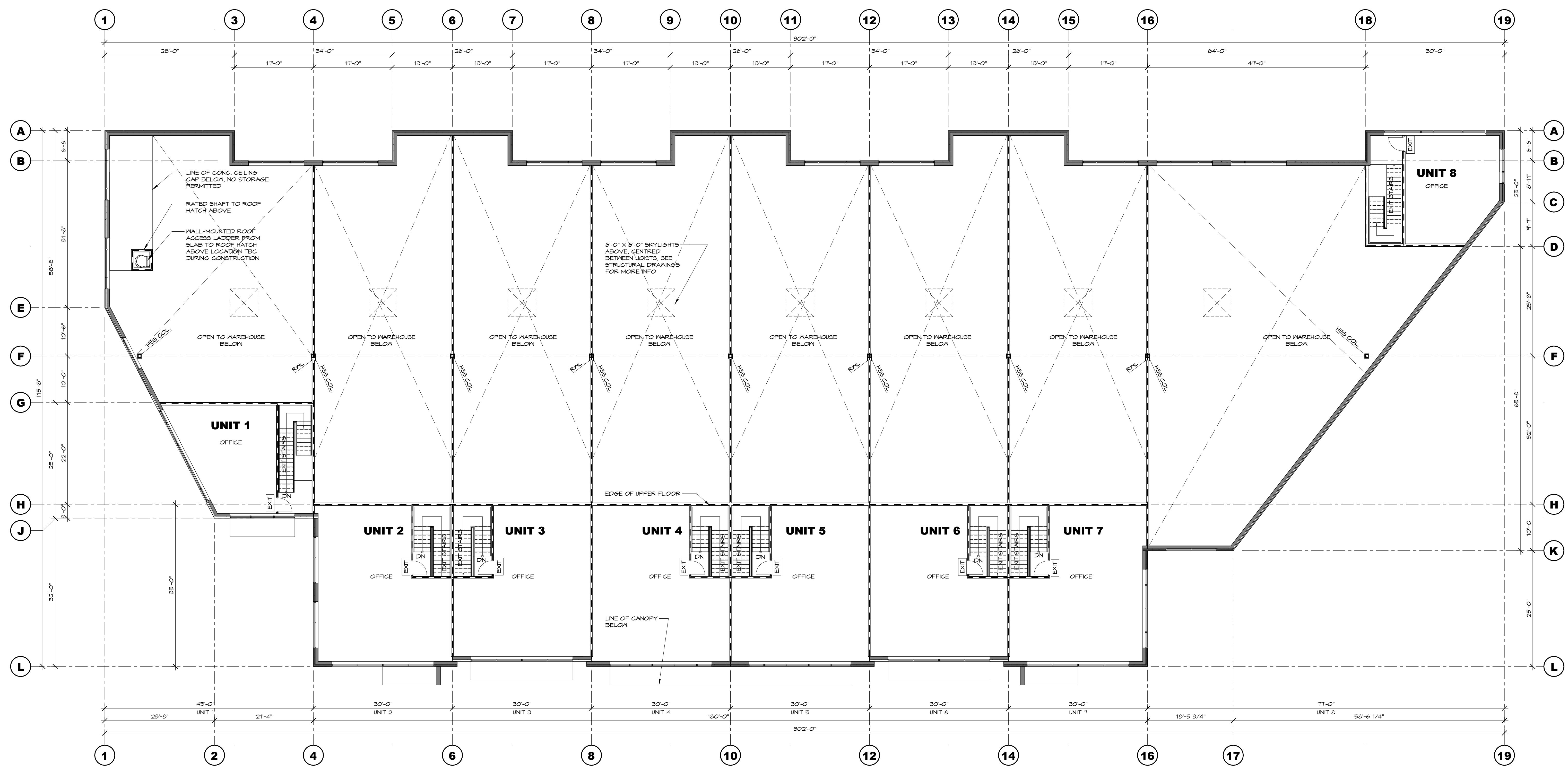
PROJECT:
PRODUCTION WAY MULTI-TENANT

DRAWING
BUILDING A MAIN FLOOR PLAN

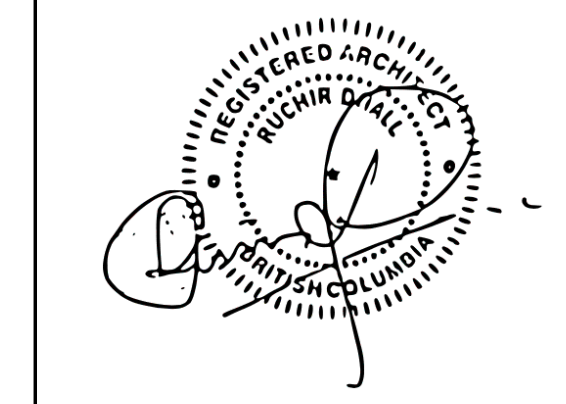
SEAL	JOB NO. 22-035	DRAWN JB/VCF
DESIGNED		
CHECKED RD		
PLOT DATE JUN 27 23		



THESE DRAWINGS AND THE DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF ARCHITECTURE PANEL INC. AND SHALL NOT BE USED WITHOUT THE ARCHITECT'S WRITTEN CONSENT. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, ELEVATIONS, AND OTHER DATA ON DRAWINGS. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO THE ARCHITECT. ANY CHANGES MADE WITHOUT THE ARCHITECT'S WRITTEN CONSENT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.



1 BUILDING A UPPER FLOOR PLAN
 A-2.1 SCALE: 3/32" = 1'-0"



NO.	DATE	BY/MD	DESCRIPTION
1	MAR 07 23		ISSUED FOR CLIENT REVIEW
2	MAR 20 23		ISSUED FOR DP
3	APR 17 23		ISSUED FOR CLIENT REVIEW
4	APR 20 23		RE-ISSUED FOR DP
5	JUN 27 23		ISSUED FOR ADP REVIEW

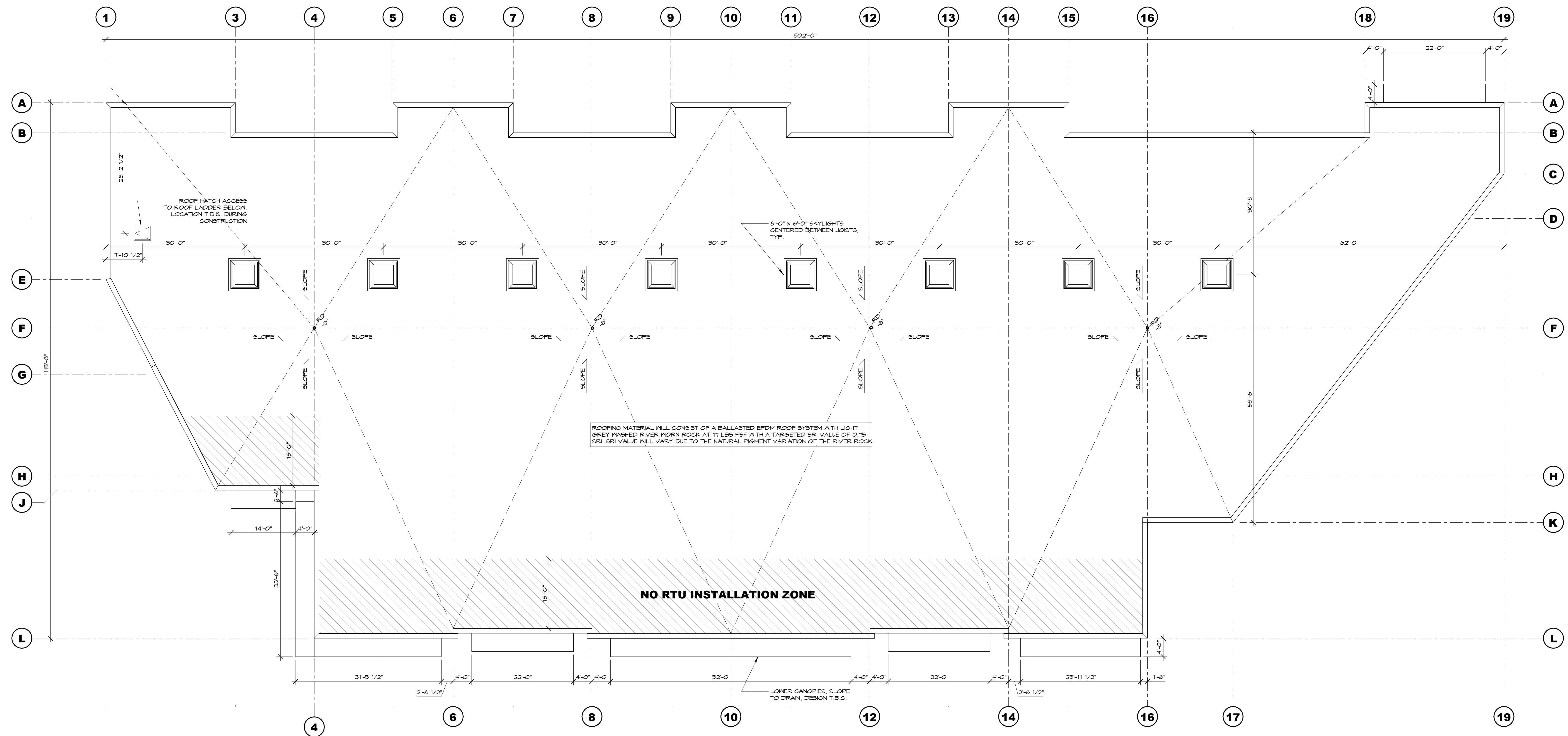
NO.	DATE	BY/MD	DESCRIPTION
1	MAR 07 23		ISSUED FOR CLIENT REVIEW

PROJECT DEVELOPER:
HUNGERFORD
 1088 - 550 BURNARD STREET
 VANCOUVER, BC V6C 2B5
 Phone: 604-736-8500

PROJECT:
PRODUCTION WAY MULTI-TENANT
 8721 PRODUCTION WAY, LANGLEY BC

DRAWING
BUILDING A UPPER FLOOR PLAN

SEAL	JOB NO. 22-035	DRAWN JBVCF
DESIGNED		
CHECKED RD		
PLOT DATE	JUN 27 23	

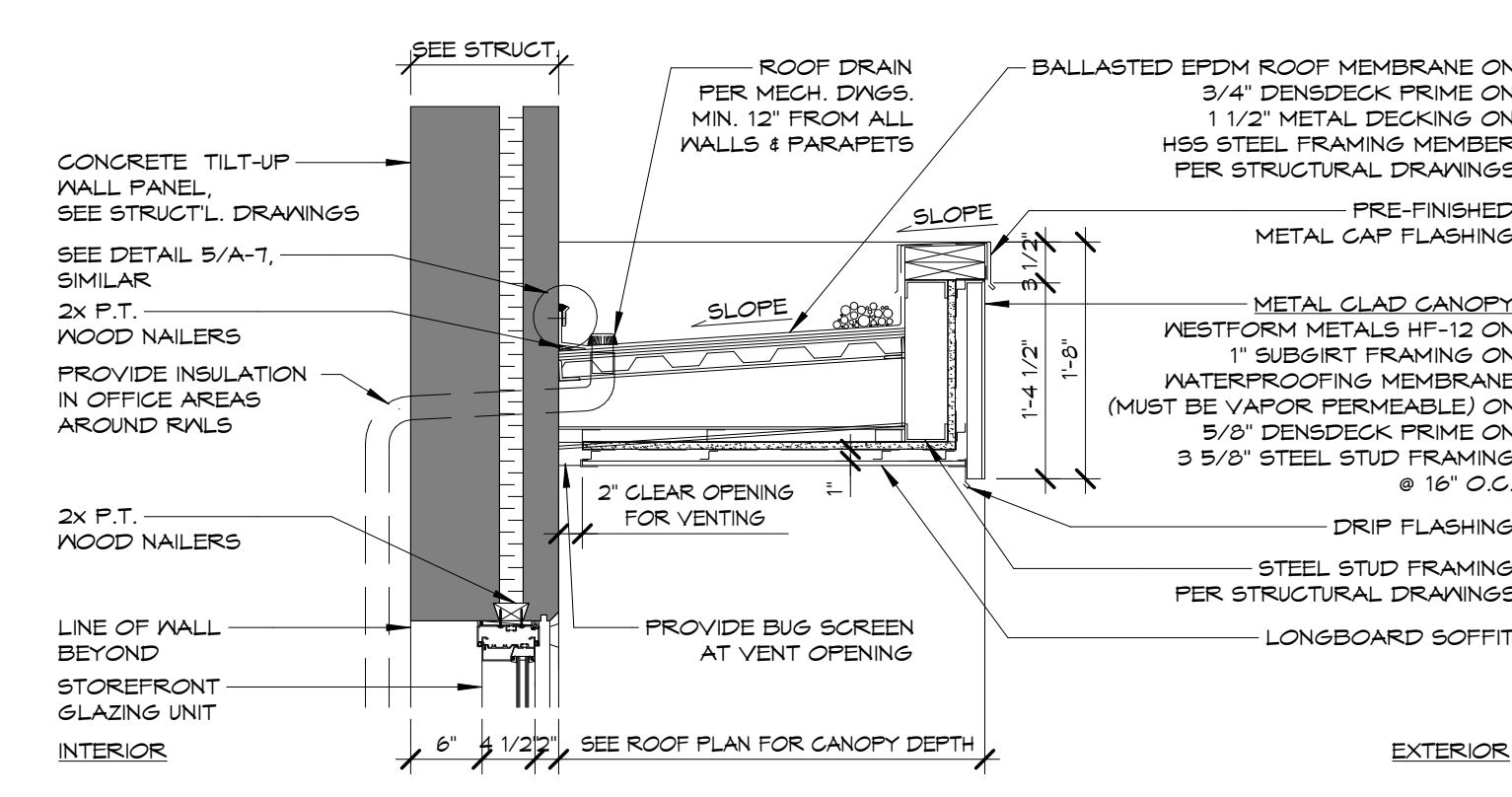


1 ROOF PLAN
A-3.0 SCALE: 3/32" = 1'-0"

- ROOF NOTES**
- SEE STRUCTURAL DWGS FOR FINAL STEEL ELEVATIONS
 - ALL ASPECTS OF ROOF DESIGN INCLUDING DETAILS TO BE REVIEWED BY QUALIFIED ROOFING INSPECTOR TO ENSURE COMPLIANCE W/ MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.
 - PROVIDE 20 YEAR MEMBRANE GUARANTEE & 5 YEAR SYSTEMS GUARANTEE
 - CONCRETE PAVERS RECOMMENDED FOR ALL ROOFTOP EQUIPMENT PER ENVELOPE DWG.

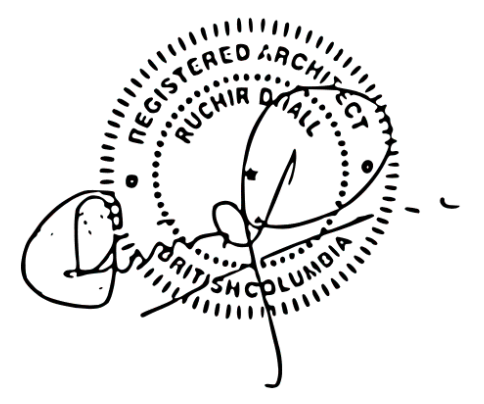
IMPORTANT NOTE:

- ROOF INSULATION & SKYLIGHTS TO FULLY COMPLY WITH ALL APPLICABLE REQUIREMENTS OF ASHRAE 90.1 2016 PRESCRIPTIVE METHOD, COMPLIANT FOR CONDITION SPACE.
- ROOF & SKYLIGHT TO BE COMPLIANT TO ALL APPLICABLE REQUIREMENTS FOR NON-COMBUSTIBLE CONSTRUCTION PER B.C.B.C. 2019



2 ACM CANOPY DETAIL
A-3.0 SCALE: 3/4" = 1'-0"

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NO.	DATE	Y/M/D	DESCRIPTION
1	MAR 07 23		ISSUED FOR CLIENT REVIEW
2	MAR 20 23		ISSUED FOR DP
3	APR 17 23		ISSUED FOR CLIENT REVIEW
4	APR 20 23		RE-ISSUED FOR DP
5	JUN 22 23		RE-OP PER CITY COMMENTS
6	JUN 27 23		ISSUED FOR ADP REVIEW

PROJECT DEVELOPER:

HUNGERFORD

1088 - 550 BURRARD STREET
VANCOUVER, BC V6C 2B5
Phone: 604-736-8500

PROJECT:

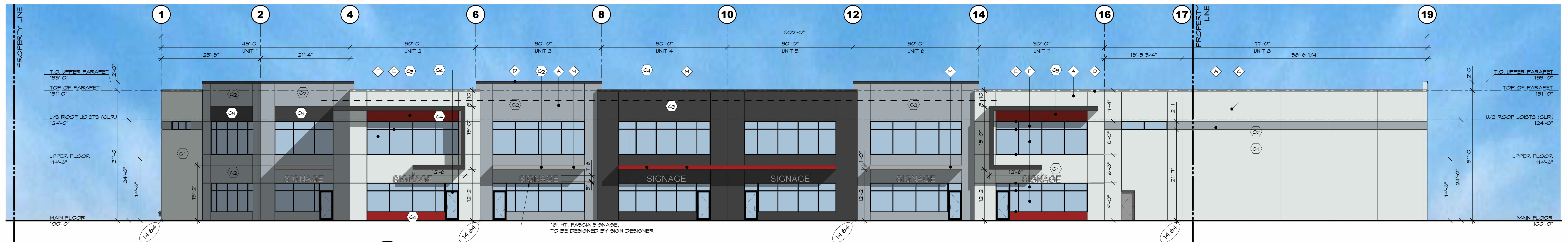
PRODUCTION WAY MULTI-TENANT

8721 PRODUCTION WAY, LANGLEY BC

DRAWING

BUILDING A ROOF PLAN

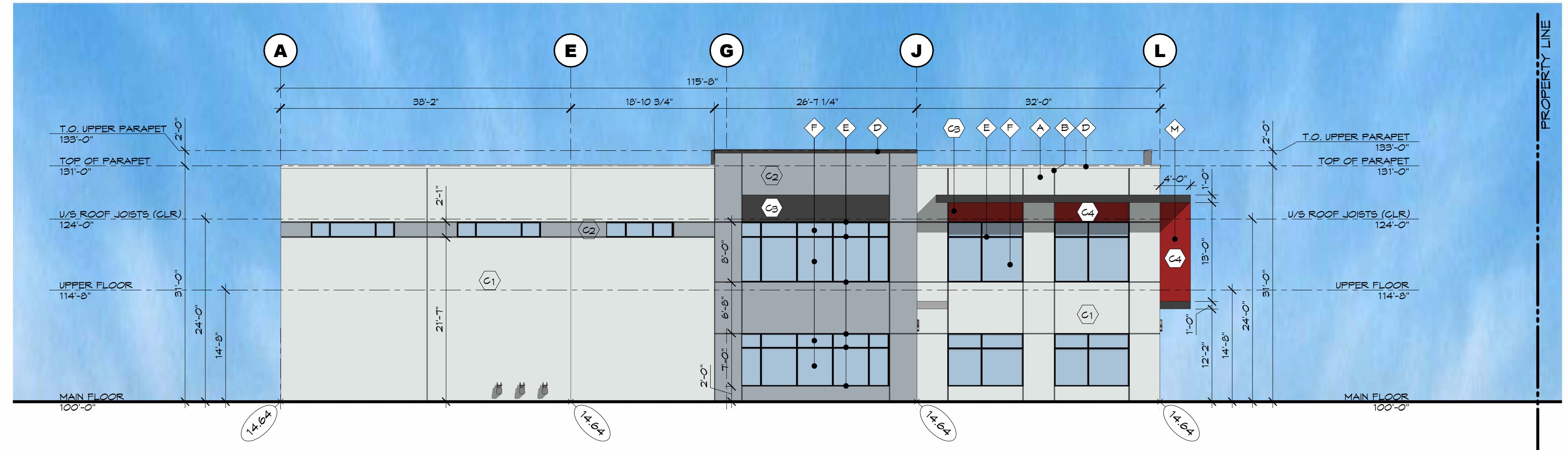
SEAL	JOB NO 22-035	DRAWN JBVCF
	DESIGNED	
	CHECKED RD	
	PLOT DATE JUN 27 23	



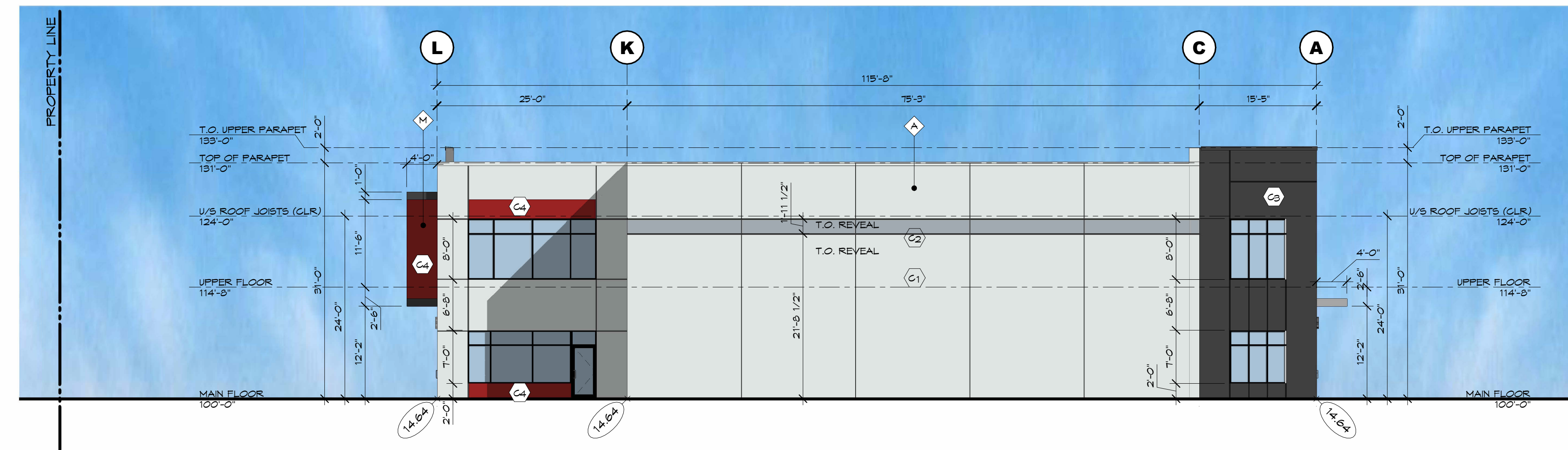
1 EAST ELEVATION (FACING PRODUCTION WAY)
 SCALE: 3/32" = 1'-0"



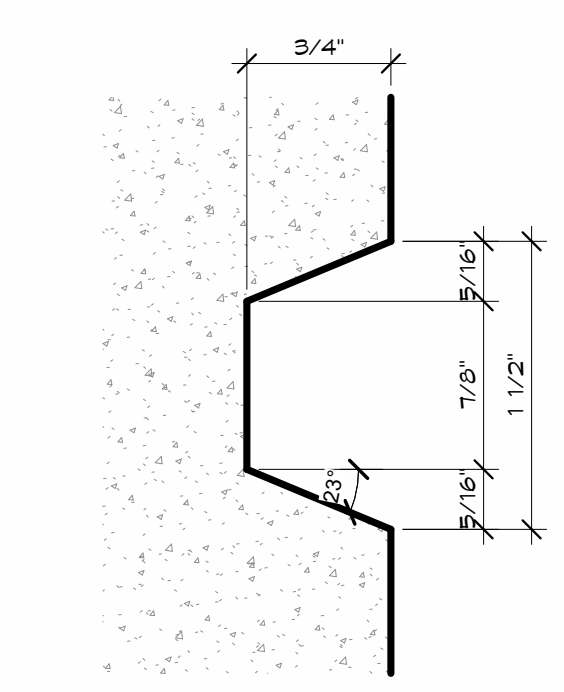
2 WEST ELEVATION
 SCALE: 3/32" = 1'-0"



3 SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



4 NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



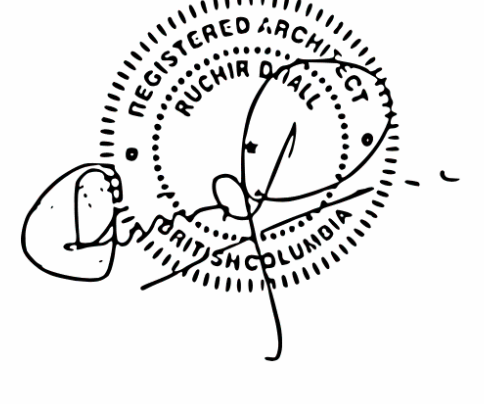
5 TYP. REVEAL DETAIL
 SCALE: 12" = 1'-0"

MATERIAL LEGEND

- CONCRETE TILT-UP WALL TYP. - PAINTED
 - REVEAL IN CONCRETE - PAINTED
 - PANEL JOINT
 - PRE-FINISHED METAL CAP FLASHING
 - STOREFRONT FRAMES - CLEAR ANODIZED ALUMINUM
 - STOREFRONT GLASS - CLEAR
 - STEEL HANDDOORS - PAINTED
 - STEEL SECTIONAL OVERHEAD DOORS
 - STEEL GUARDRAILS - PAINTED
 - CONCRETE RETAINING WALLS - PAINTED, TYP.
 - LIGHT FIXTURE - SEE ELECTRICAL DWS
 - ACM CANOPY
 - SPANDREL GLAZING (OBSCURE, TO MATCH VISION GLASS)
 - SCUPPER
 - METAL CLAD CANOPY
 - STEEL BOLLARD - PAINTED
 - CONCRETE CURB UNDER, PAINTED
 - CURTAIN WALL FRAMES - CLEAR ANODIZED ALUMINUM
 - CURTAIN WALL GLASS - CLEAR
 - C-CHANNEL STEEL FRAMED CANOPY - PAINTED
- NOTED: NOT ALL MATERIALS INDICATED ARE APPLICABLE.

PROJECT COLOURS

- ALL PAINT COLOURS TO BE SHERWIN WILLIAMS U.N.O.
- (C1) MAIN FIELD COLOUR 1: HIGH REFLECTIVE WHITE (SW 7191)
 - (C2) FIELD ACCENT COLOUR 1: GRAY SHINGLE (SW 7670)
 - (C3) FIELD ACCENT COLOUR 2: PERLE NOIR (SW 9194)
 - (C4) FIELD ACCENT COLOUR 3: POMPEII RED (SW 2111)
- STEEL HANDDOOR COLOUR: GRAY SHINGLE (SW 7670)
 EXTERIOR GUARDRAILS: BLACK
 ALUMINUM STOREFRONT MULLIONS: BLACK ALUMINUM
 TYPICAL GLAZING: CLEAR (LOW E AND / OR ASHRAE 90.1 2018 COMPLIANT)
 TYPICAL METAL CAP FLASHING: POLAR WHITE @ C1
 BLACK @ C2 & C3



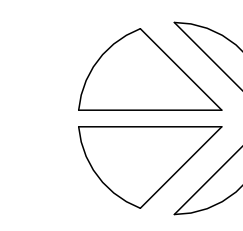
NO.	DATE	Y/M/D	DESCRIPTION
5	JUN 27 23		ISSUED FOR ADP REVIEW
4	APR 20 23		RE-ISSUED FOR DP
3	APR 17 23		ISSUED FOR CLIENT REVIEW
2	MAR 20 23		ISSUED FOR DP
1	MAR 07 23		ISSUED FOR CLIENT REVIEW

PROJECT DEVELOPER:
HUNGERFORD
 1088 - 550 BURNARD STREET
 VANCOUVER, BC V6C 2B5
 Phone: 604-736-8500

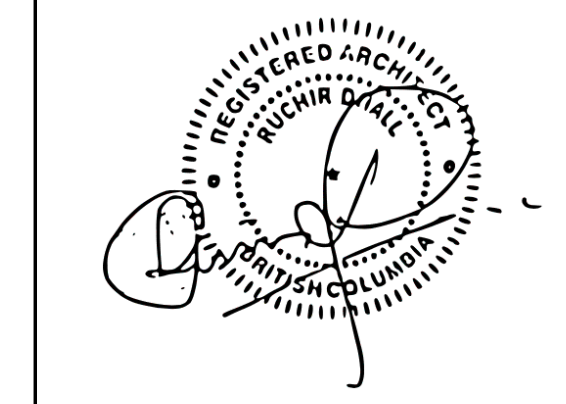
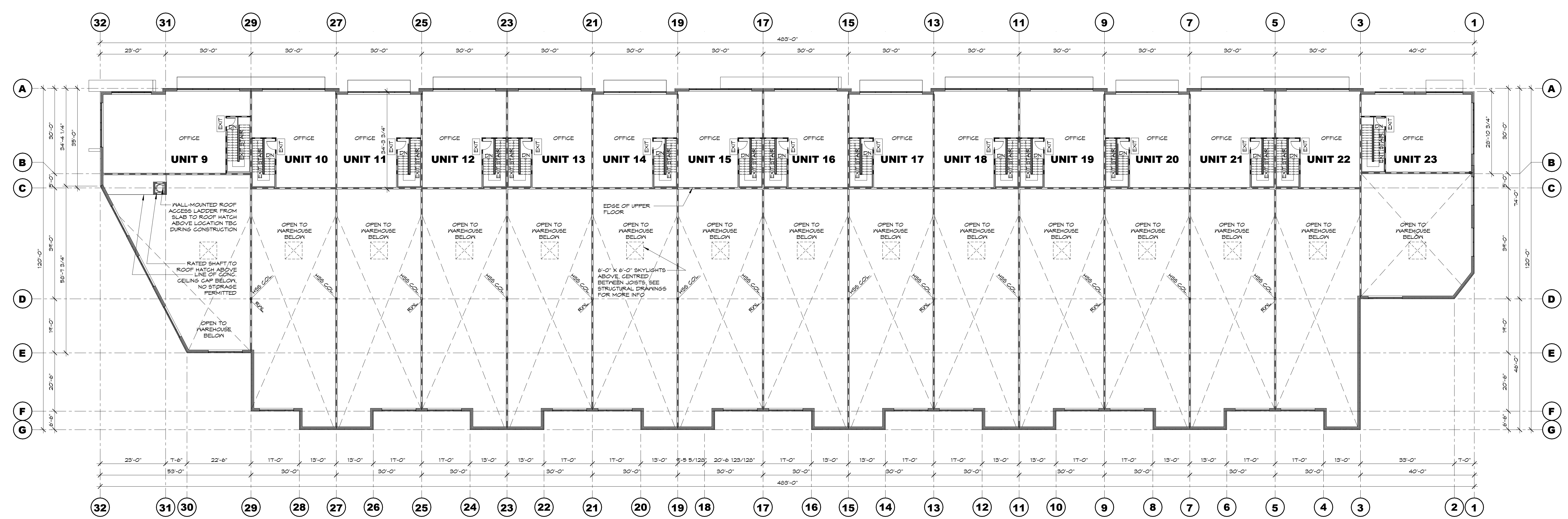
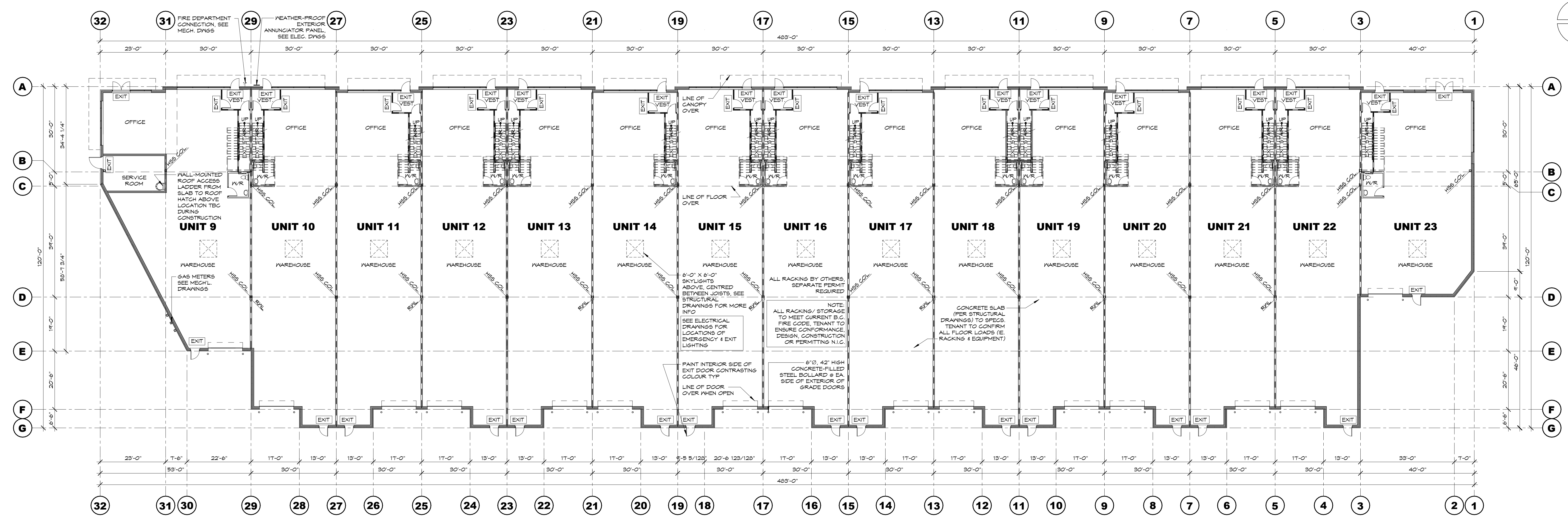
PROJECT:
PRODUCTION WAY MULTI-TENANT

8721 PRODUCTION WAY, LANGLEY BC
BUILDING A ELEVATIONS

SEAL	JOB NO	DRAWN
	22-035	JB
		DESIGNED
		CHECKED
		RD
		PLOT DATE
		JUN 27 23
PROJECT - DRAWING NUMBER		REV.
A-4.0		5



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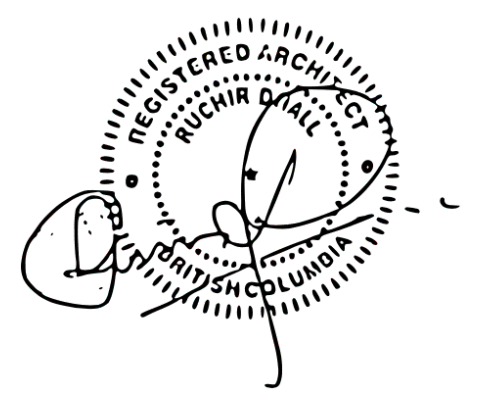
NO.	DATE	ISSUED FOR	DESCRIPTION
6	JUN 27 23	ISSUED FOR ADP REVIEW	
5	JUN 22 23	RE-DP PER CITY COMMENTS	
4	APR 20 23	RE-ISSUED FOR DP	
3	APR 17 23	ISSUED FOR CLIENT REVIEW	
2	MAR 20 23	ISSUED FOR DP	
1	MAR 07 23	ISSUED FOR CLIENT REVIEW	

PROJECT DEVELOPER:
HUNGERFORD
 1088 - 550 BURNARD STREET
 VANCOUVER, BC V6C 2B5
 Phone: 604-736-8500

PROJECT:
PRODUCTION WAY MULTI-TENANT

8721 PRODUCTION WAY, LANGLEY BC
 DRAWING:
BUILDING B FLOOR PLANS

SEAL	JOB NO	DRAWN
	22-035	VCFJUB
	DESIGNED	
	CHECKED	
	RD	
	PLT DATE	JUN 27 23



NO.	DATE (Y/M/D)	DESCRIPTION
1	MAR 07 23	ISSUED FOR CLIENT REVIEW
2	MAR 20 23	ISSUED FOR DP
3	APR 17 23	ISSUED FOR CLIENT REVIEW
4	APR 20 23	RE-ISSUED FOR DP
5	JUN 22 23	RE-DP PER CITY COMMENTS
6	JUN 27 23	ISSUED FOR ADP REVIEW

PROJECT DEVELOPER:
HUNGERFORD
 1088 - 550 BURNARD STREET
 VANCOUVER, BC V6C 2B5
 Phone: 604-736-8500

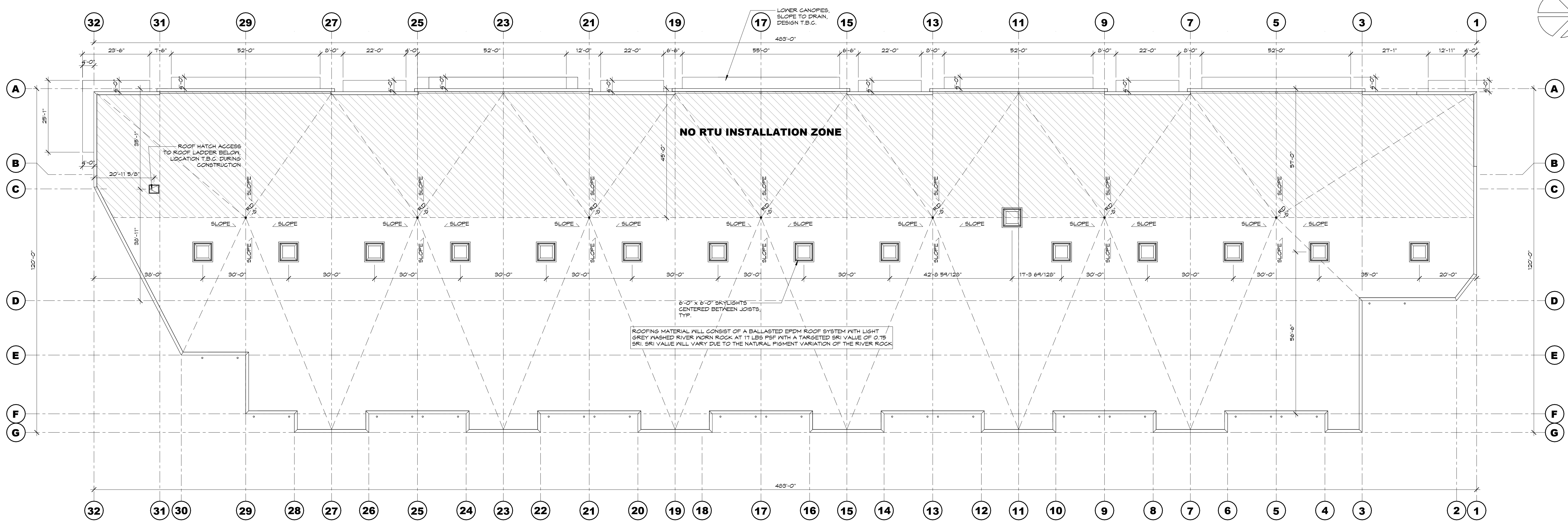
PROJECT:
PRODUCTION WAY MULTI-TENANT

8721 PRODUCTION WAY, LANGLEY BC

DRAWING
BUILDING B ROOF PLAN

SEAL	JOB NO. 22-035	DRAWN VCF
	DESIGNED	
	CHECKED RD	
	PLOT DATE JUN 27 23	

PROJECT - DRAWING NUMBER **A-3.0** REV. **6**

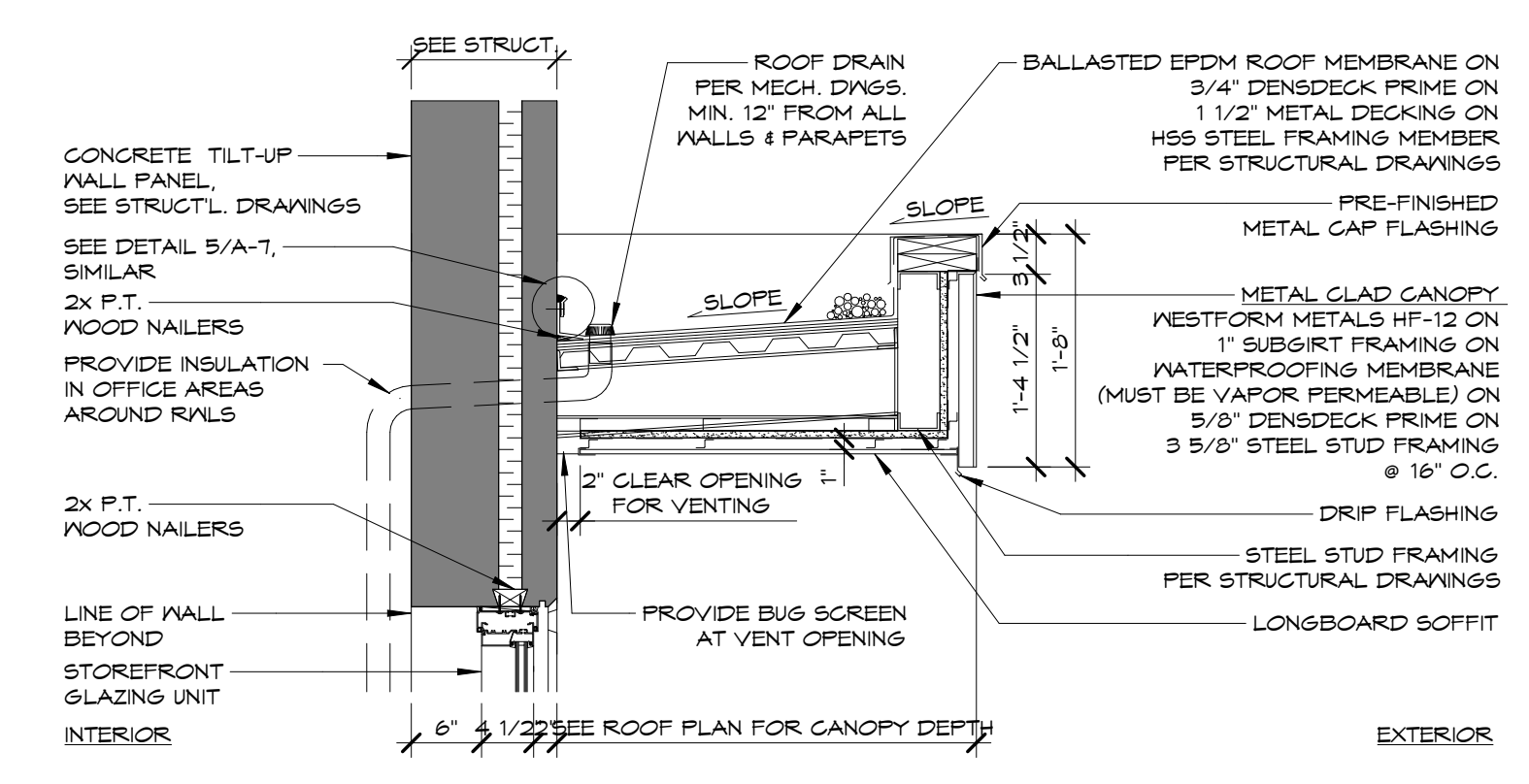


1 ROOF PLAN
 SCALE: 1/16" = 1'-0"

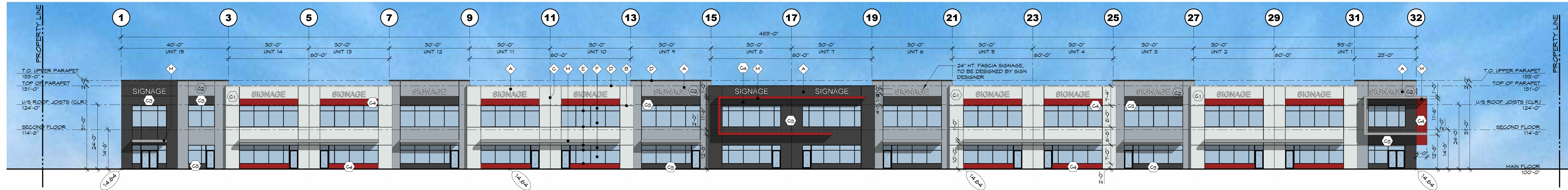
- ROOF NOTES**
- SEE STRUCTURAL DWGS. FOR FINAL STEEL ELEVATIONS
 - ALL ASPECTS OF ROOF DESIGN INCLUDING DETAILS TO BE REVIEWED BY QUALIFIED ROOFING INSPECTOR TO ENSURE COMPLIANCE W/ MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.
 - PROVIDE 20 YEAR MEMBRANE GUARANTEE & 5 YEAR SYSTEMS GUARANTEE
 - CONCRETE PAVERS RECOMMENDED FOR ALL ROOFTOP EQUIPMENT PER ENVELOPE ENG.

IMPORTANT NOTE

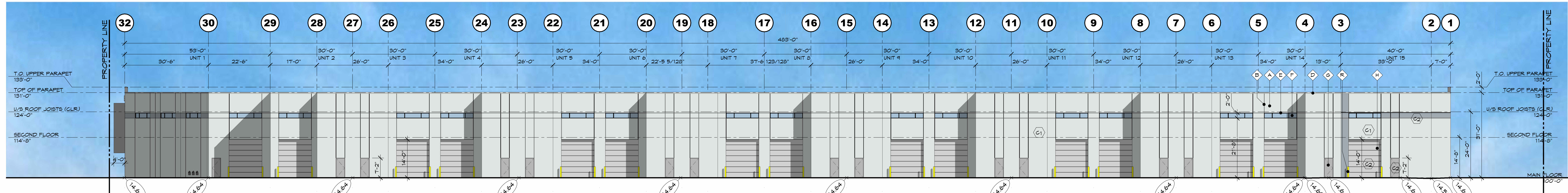
- ROOF INSULATION & SKYLIGHTS TO FULLY COMPLY WITH ALL APPLICABLE REQUIREMENTS OF ASHRAE 90.1 2018 PRESCRIPTIVE METHOD, COMPLIANT FOR CONDITION SPACE.
- ROOF & SKYLIGHT TO BE COMPLIANT TO ALL APPLICABLE REQUIREMENTS FOR NON-COMBUSTIBLE CONSTRUCTION PER B.C.B.C. 2018



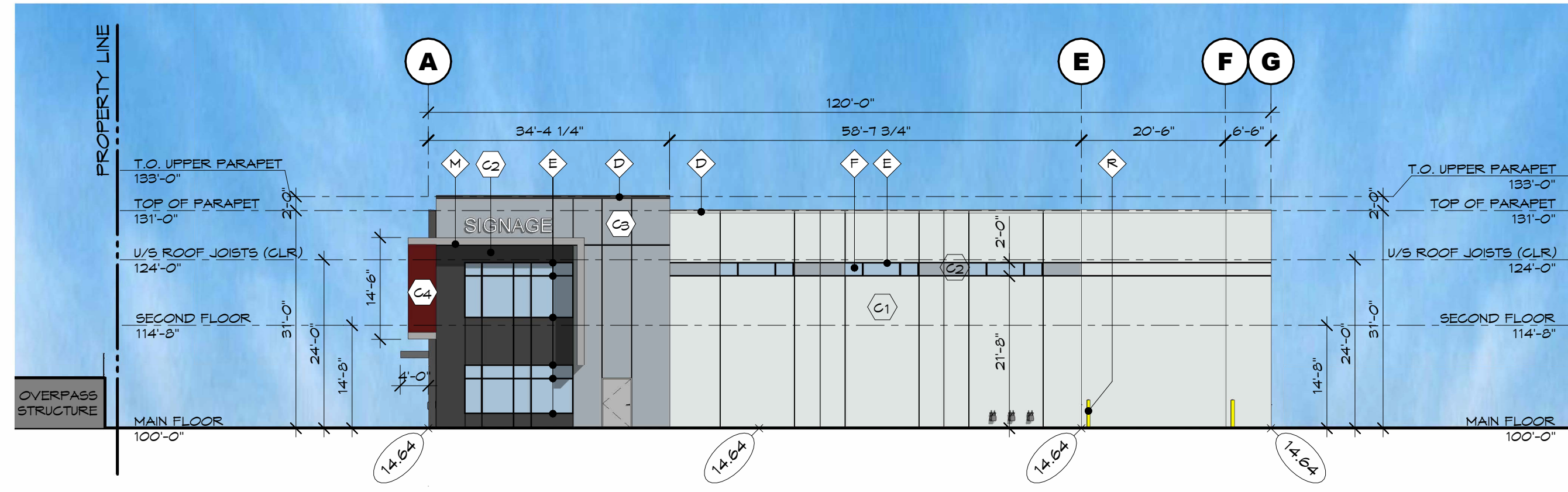
2 ACM CANOPY DETAIL
 SCALE: 3/4" = 1'-0"



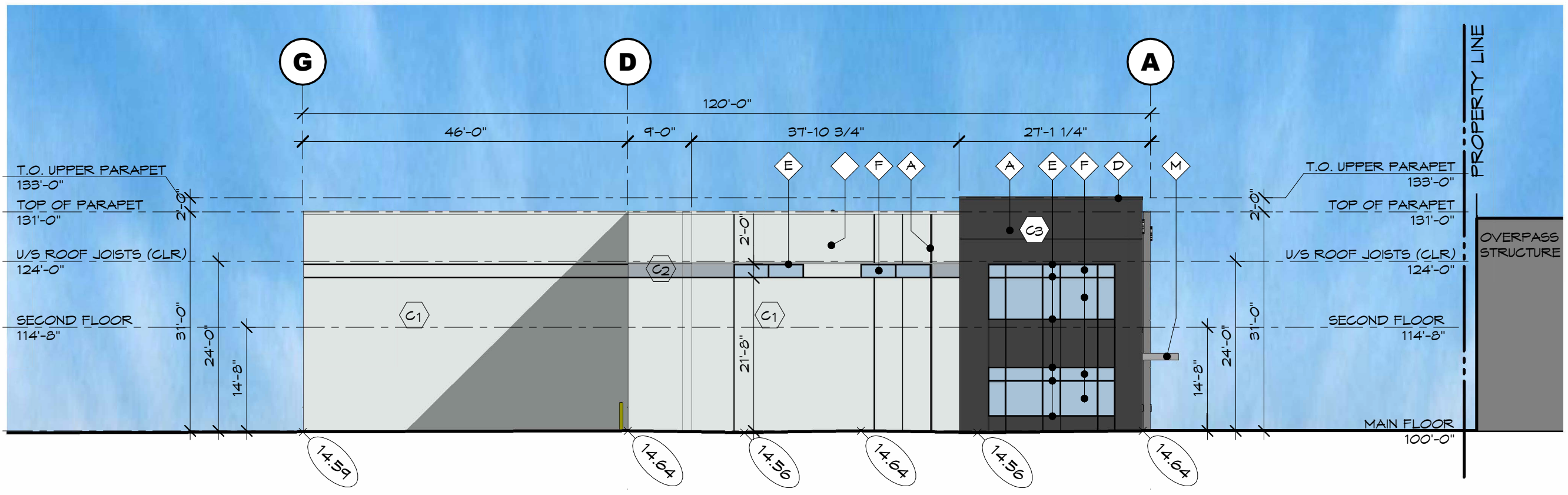
1 WEST ELEVATION (FACING 196 ST)
SCALE: 1/16" = 1'-0"



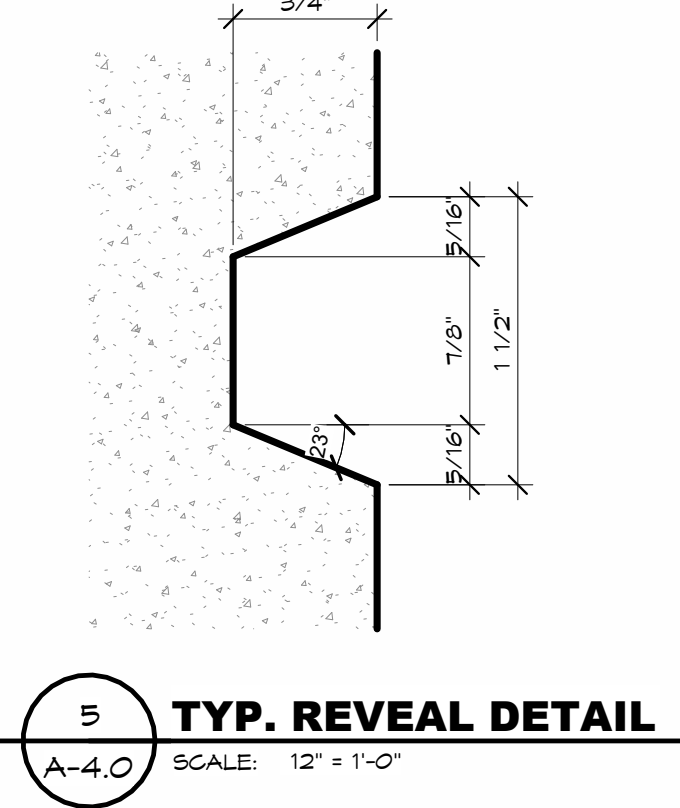
2 EAST ELEVATION
SCALE: 1/16" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



5 TYP. REVEAL DETAIL
SCALE: 12" = 1'-0"

MATERIAL LEGEND

- (A) CONCRETE TILT-UP WALL TYP. - PAINTED
 - (B) REVEAL IN CONCRETE - PAINTED
 - (C) PANEL JOINT
 - (D) PRE-FINISHED METAL CAP FLASHING
 - (E) STOREFRONT FRAMES - CLEAR ANODIZED ALUMINUM
 - (F) STOREFRONT GLASS - CLEAR
 - (G) STEEL MANDOORS - PAINTED
 - (H) STEEL SECTIONAL OVERHEAD DOORS
 - (I) STEEL GUARDRAILS - PAINTED
 - (J) CONCRETE RETAINING WALLS - PAINTED, TYP.
 - (K) LIGHT FIXTURE - SEE ELECTRICAL DWS'S
 - (L) ACM CANOPY
 - (M) SPANDREL GLAZING (OBSCURE, TO MATCH VISION GLASS)
 - (N) SCUPPER
 - (O) METAL GLAD CANOPY
 - (P) STEEL BOLLARD - PAINTED
 - (Q) CONCRETE CURB UNDER, PAINTED
 - (R) CURTAIN WALL FRAMES - CLEAR ANODIZED ALUMINUM
 - (S) CURTAIN WALL GLASS - CLEAR
 - (T) C-CHANNEL STEEL FRAMED CANOPY - PAINTED
- NOTED: NOT ALL MATERIALS INDICATED ARE APPLICABLE.

PROJECT COLOURS

- ALL PAINT COLOURS TO BE SHERWIN WILLIAMS U.S.O.
- (G1) MAIN FIELD COLOUR 1: HIGH REFLECTIVE WHITE (SW 7191)
 - (G2) FIELD ACCENT COLOUR 1: GRAY SHINGLE (SW 7670)
 - (G3) FIELD ACCENT COLOUR 2: PERLE NOIR (SW 4154)
 - (G4) FIELD ACCENT COLOUR 3: POMPEII RED (SW 2411)
- STEEL MANDOOR COLOUR: GRAY SHINGLE (SW 7670)
 - EXTERIOR GUARDRAILS: BLACK
 - ALUMINUM STOREFRONT MULLIONS: BLACK ALUMINUM
 - TYPICAL GLAZING: CLEAR (LOW E AND / OR ASHRAE 90.1 2016 COMPLIANT)
 - TYPICAL METAL CAP FLASHING: POLAR WHITE # C1
BLACK # G2 & G3

PAINTING NOTES

ALL MATERIALS AND WORK SHALL CONFORM TO THE STANDARDS OF THE CANADIAN PAINTING CONTRACTORS ASSOCIATION.

FOR THE PAINTING OF CONCRETE SURFACES THE MAXIMUM MOISTURE CONTENT OF THE CONCRETE SURFACE SHALL BE 4% FOR ANY EPOXY PAINT.

IT IS THE RESPONSIBILITY OF THE PAINTING CONTRACTOR TO ENSURE COMPATIBILITY BETWEEN CONCRETE BOND BREAKER AND PAINT OR PRIMERS. IT IS ALSO THE PAINTING CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICATIONS & PREPARING PROCEDURES AS ADVISED BY THE BOND BREAKER MANUFACTURER.

THE PAINTING CONTRACTOR IS TO EXAMINE ALL SURFACES TO BE PAINTED BEFORE COMMENCING WORK AND REPORT ALL DEFECTS TO THE GENERAL CONTRACTOR. DO NOT PAINT SURFACES UNTIL ACCEPTED BY THE GENERAL CONTRACTOR. REMOVE ALL LOOSE MATERIAL, FOREIGN MATTER, REMOVE OIL OR GREASE WITH TSP, WASH, RINSE AND LET DRY.

PROTECT ALL OTHER SURFACES DURING PAINTING.

ALL EXTERIOR PAINT COLOURS PER LEGEND ON ELEVATIONS, AND TO BE APPROVED BY THE GENERAL CONTRACTOR OR OWNER. PAINTING SUBCONTRACTOR TO PAINT A 20X20" TEST PATCH ON WALL FOR APPROVAL BEFORE PAINTING REMAINDER OF BUILDING.

ALL INTERIOR COLOURS BY INTERIOR DESIGNER OR OWNER (EXCEPT AS NOTED FOR SAFETY). PAINTING CONTRACTOR TO CONFIRM COLOURS BEFORE COMMENCING WORK.

PAINT SURFACES AS FOLLOWS:

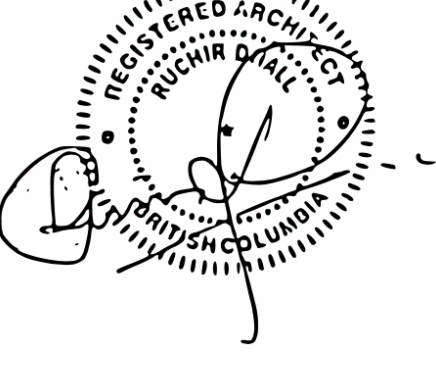
- CONCRETE TILT-UP WALLS - PAINT EXTERIOR FACE ONLY WITH 3 COATS OF ACRYLIC LATEX APPLIED PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
- DRYWALL SURFACES - TO BE PAINTED WITH 2 COATS LATEX PAINT.
- METAL DOORS AND FRAMES, AND OTHER METAL SURFACES - 1 COAT ALKYLID PRIMER, 2 COATS OF ALKYLID ENAMEL.
- WOODWORK - 1 COAT SEALER, 2 COATS SEMI GLOSS FINISH.

ALL PAINT TO BE BENJAMIN MOORE OR APPROVED EQUAL.

ALL EXTERIOR SURFACES AND ALL EXPOSED INTERIOR SURFACES IN FINISHED AREA TO BE PAINTED. CONFIRM WITH GENERAL CONTRACTOR AS REQUIRED.

OWNER TO CONFIRM IF INTERIOR SIDE OF WAREHOUSE WALLS AND OR JOISTS AND DECK TO BE PAINTED.

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NO.	DATE	Y/M/D	DESCRIPTION
5	JUN 27 23		ISSUED FOR ADP REVIEW
4	APR 20 23		RE-ISSUED FOR DP
3	APR 17 23		ISSUED FOR CLIENT REVIEW
2	MAR 20 23		ISSUED FOR DP
1	MAR 07 23		ISSUED FOR CLIENT REVIEW

PROJECT DEVELOPER:
HUNGERFORD
1088 - 550 BURNARD STREET
VANCOUVER, BC V6C 2B5
Phone: 604-736-8500

PROJECT:
PRODUCTION WAY MULTI-TENANT

8721 PRODUCTION WAY, LANGLEY BC
BUILDING B ELEVATIONS

SEAL	JOB NO	DRAWN
	22-035	JB
		DESIGNED
		CHECKED
		RD
		PLOT DATE
		JUN 27 23