

SHEET LIST	
#	SHEET NAME
A0.01	COVER SHEET
A1.01	SITE PLAN & GENERAL NOTES
A1.02	CONTEXT PLAN
A2.01	FOUNDATION PLAN
A2.02	BASEMENT FLOOR PLAN
A2.03	MAIN FLOOR PLAN
A2.04	UPPER FLOOR PLAN
A2.05	ROOF PLAN
A3.01	FRONT & RIGHT ELEVATIONS
A3.02	REAR & LEFT ELEVATIONS
A3.03	MATERIAL BREAKDOWN
A4.01	CROSS SECTION A



UNIT #202-34654 DELAIR RD.
 ABBOTSFORD, B.C. V2S 2G9
 TEL: (604) 217-9097
 WWW.METHODDESIGNGROUP.COM

No.	Description	Date

NOTES:

ALL DIMENSIONS TO BE CHECKED BY CONTRACTOR BEFORE START OF CONSTRUCTION & ANY DISCREPANCIES REPORTED.
 THESE DRAWINGS CONFORM TO THE LATEST EDITION OF THE 2018 BRITISH COLUMBIA BUILDING CODE

PROJECT NUMBER:
 MDG22-112
 DRAWN BY: RJ CHECKED BY: MB
 DATE: 23-08-30 SCALE:

SHEET TITLE:
COVER SHEET

ADDRESS:
 5135 208A STREET
 LANGLEY

DRAWING:
A0.01

CIVIC ADDRESS:

5135 208A STREET LANGLEY

LEGAL ADDRESS:

LOT: 233 NWP PL: 56744 P.I.D. 002-572-915

SITE RECONCILIATION:

LOT SIZE :	668.00 sq. m. or 7,190.53 sq. ft.	
ZONING :	RS1	
LOT COVERAGE :	MAX. 33% or 2,372.87 sq. ft. or 220.45 sq. m. PROP. : 32.45% or 2,333.08 sq. ft. or 216.75 sq. m.	
GROSS FLOOR AREA :	PROP. : 70.62% or 5,078.03 sq. ft. or 471.76 sq. m.	
BUILDING HEIGHT :	MAX. : 11m PROP. : 9.73m	
NUMBER OF STOREYS :	3 STOREYS	
EXISTING AVG. GRADE :	8.32m + 7.92m + 8.06m + 8.11m = 32.41m; 32.41m/4 = 8.10m	
# OF DWELLING UNITS :	3 DWELLING UNIT, GROUP C	
BUILDING SETBACKS :	FRONT :	MIN. - 7.50m PROP. - 9.45m
	INTERIOR (RIGHT) :	MIN. - 1.50m PROP. - 1.50m
	REAR :	MIN. - 6.00m PROP. - 6.50m
	INTERIOR (LEFT) :	MIN. - 1.50m PROP. - 3.73m

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE CONDUCTED BY THE BUILDER/CONTRACTORS WITH THE LATEST ADOPTED ADDITION OF THE B.C. BUILDING CODE AT THE DATE OF ISSUANCE, AND ALSO CONFORM BY THE LOCAL GOVERNING CODES AND BYLAWS OF THE CITY OF LANGLEY.
- THE GENERAL CONTRACTOR AND ANY RETAINED BUILDING TRADES CONTRACTORS ARE RESPONSIBLE TO REVIEW THESE PLANS BEFORE ANY BUILDING MATERIALS ARE ORDERED AND ANY SITE WORK OR CONSTRUCTION COMMENCES. ALL DISCREPANCIES OR ERRORS ARE TO BE REPORTED TO METHOD DESIGN GROUP LTD. IMMEDIATELY.
- THESE DRAWINGS ARE NOT INTENDED TO BE SCALED. SCALED NOTED ON PLANS IS FOR VISUAL ORIENTATION ONLY. IF A DISCREPANCY IS FOUND, THE BUILDER/CONTRACTOR IS TO CONTACT METHOD DESIGN GROUP LTD. FOR INTERPRETATION OF THE INTENT OR CLARIFICATION BEFORE WORK COMMENCES.
- THE BUILDER/CONTRACTOR IS TO SUPPLY METHOD DESIGN GROUP WITH ANY AND ALL ENGINEERED DRAWINGS OR SHOP DRAWINGS FOR REVIEW. REVIEW OF SHOP DRAWINGS BY METHOD DESIGN GROUP LTD. IS FOR CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT.
- THE SITING OF ANY BUILDING TO BE CONFIRMED BY A LEGAL LAND SURVEY, AND NEEDS TO CONFORM TO THE LOCAL GOVERNING BYLAWS REGARDING BUILDING SETBACKS BEFORE CONSTRUCTION BEGINS.
- THE BUILDER/CONTRACTOR SHALL MAINTAIN AS BUILT DRAWINGS FOR ANY CHANGES DURING CONSTRUCTION.
- ALL CONCRETE IS TO BE PLACED ON A FIRM, SOLID, GRADE, WITH NO LOOSE OR FROSTED MATERIAL.
- ALL BUILDING MATERIAL SHALL BE NEW UNLESS NOTED OTHERWISE. LUMBER IS TO BE SPF #NO. 1 OR BETTER
- BUILDING MATERIAL SUBSTITUTIONS SHALL HAVE EQUAL OR GREATER REQUIREMENTS THAN THE MATERIAL BEING REPLACED.
- A MINIMUM OF TWO HOSE BIBS SHALL BE INSTALLED, LOCATION TO BE SUPPLIED BY THE CONTRACTOR.
- ALL EXTERIOR AND ENTRANCE DOORS SHALL HAVE A DEADBOLT ASSEMBLY, AND SHALL BE SOLID BLOCKED AS TO RESIST SPREADING DURING FORCIBLE ENTRY.
- ALL EXTERIOR DOOR HINGES SHALL BE INSTALLED AS SUCH THAT THE DOORS CANT BE REMOVED FROM THE EXTERIOR.
- ALL STAIRS, LANDING, BALCONIES AND OPENING AROUND STAIRWELLS SHALL HAVE GUARDS AND HANDRAILS DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CURRENT BUILDING CODE REQUIREMENTS.
- WITHIN DWELLING UNITS, ELECTRICALLY CONNECTED SMOKE ALARMS SHALL BE INSTALLED ON EACH STOREY, INCLUDING THE BASEMENT. SMOKE ALARMS SHALL ALSO BE INSTALLED IN EACH BEDROOMSLEEPING AREA IN THE DWELLING UNIT.
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ANY DWELLING UNIT CONTAINING A FUEL BURNING APPLIANCE OR ATTACHED STORAGE GARAGE. WHERE A ROOM CONTAINS A FUEL BURNING APPLIANCE, A CARBON MONOXIDE ALARM SHALL BE INSTALLED IN THE ROOM.
- THE WALL SEPARATING A GARAGE AND DWELLING UNIT SHALL BE MADE FUME PROOF, AND THE DOORS BETWEEN THE GARAGE AND THE DWELLING UNIT SHALL BE WEATHER STRIPPED AND FITTED WITH A SELF CLOSING DEVICE. THIS ALSO APPLIES TO FURNACE ROOM LOCATED IN GARAGES.
- ROOF SOFFITS LOCATED WITHIN 1.2m OF A PROPERTY LINE SHALL NOT CONTAIN ANY OPENING.
- VAPOUR/AIR BARRIERS MUST BE 6 MIL. U.V. RESISTANT TYPE POLY AND MUST BE CONTINUOUS WHERE INTERIOR WALLS MEET EXTERIOR WALLS OR ATTIC CEILINGS, AND WHERE STAIRS, TUBS, OR SHOWERS ARE ATTACHED TO INSULATED WALLS.
- MINIMUM INSULATION VALUES SHALL CONFORM TO THE CURRENT B.C. BUILDING CODE.
- HOLES THROUGH THE VAPOUR BARRIERS SHALL BE SEALED.
- ALL TRUSSES ARE TO BE ENGINEERED. SPANS AND DETAILS TO BE VERIFIED BY THE TRUSS SUPPLIER ON SITE PRIOR TO ANY FABRICATION.
- ALL DOORS AND WINDOWS SHALL COMPLY WITH NAFS HARMONIZED STANDARD REGULATION FOR MANUFACTURED DOORS, WINDOWS, AND SKYLIGHTS, AAMAWDMA/CSA 101/1.5.2/A440, 'NAFS - NORTH AMERICAN FENESTRATION STANDARD SPECIFICATION FOR WINDOWS, DOORS, AND SKYLIGHTS' AND A440S 1-09 CANADIAN SUPPLEMENT TO AAMAWDMA/CSA 101/1.5.2/A440.

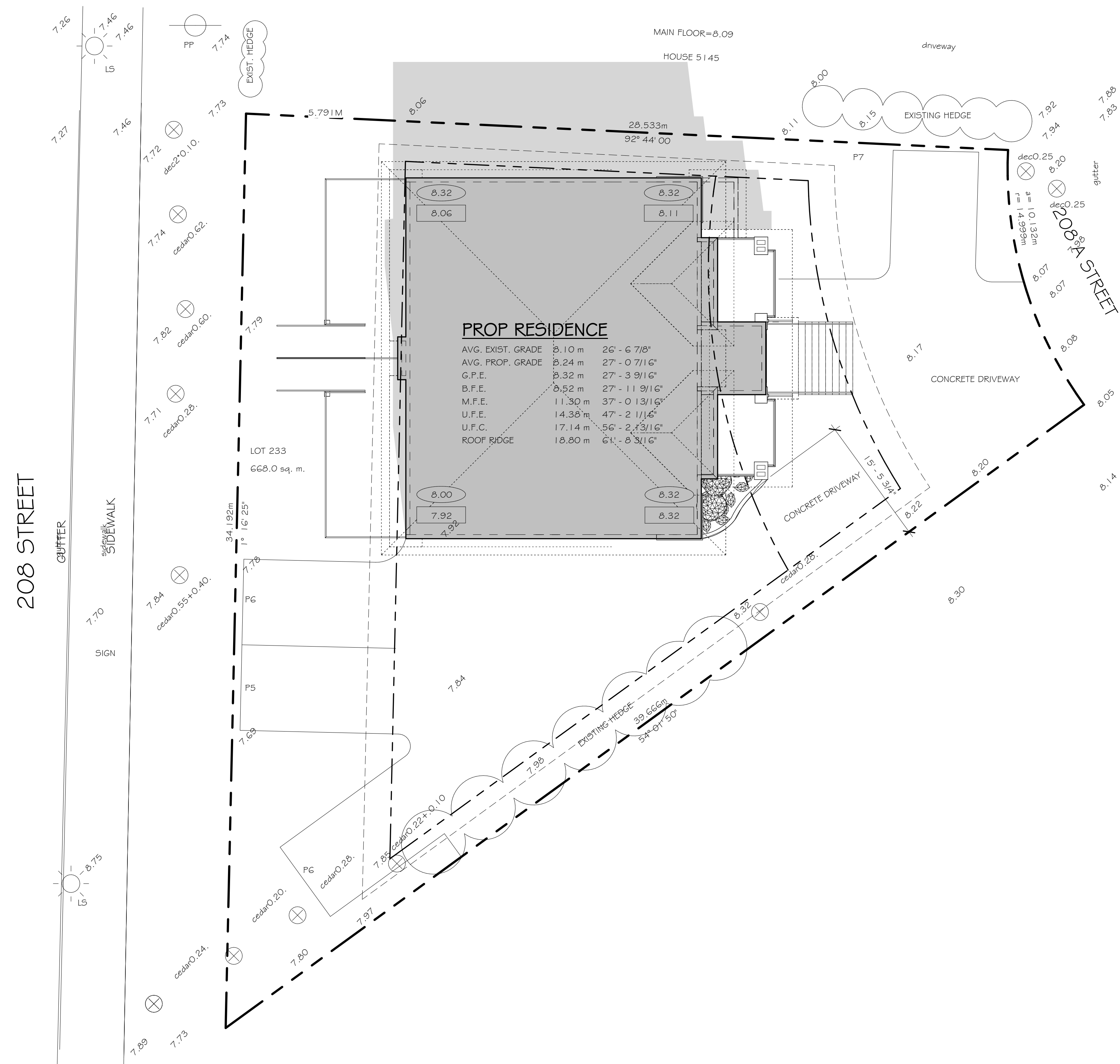
SHEET LIST

#	SHEET NAME
A0.01	COVER SHEET
A1.01	SITE PLAN & GENERAL NOTES
A1.02	CONTEXT PLAN
A2.01	FOUNDATION PLAN
A2.02	BASEMENT FLOOR PLAN
A2.03	MAIN FLOOR PLAN
A2.04	UPPER FLOOR PLAN
A2.05	ROOF PLAN
A3.01	FRONT & RIGHT ELEVATIONS
A3.02	REAR & LEFT ELEVATIONS
A3.03	MATERIAL BREAKDOWN
A4.01	CROSS SECTION A

PARKING REQUIREMENTS :

REQUIRED:
1 BEDROOM UNIT = 1.5 SPACES
>2 BEDROOM UNIT = 2 SPACES
VISITOR = 0.2/UNIT

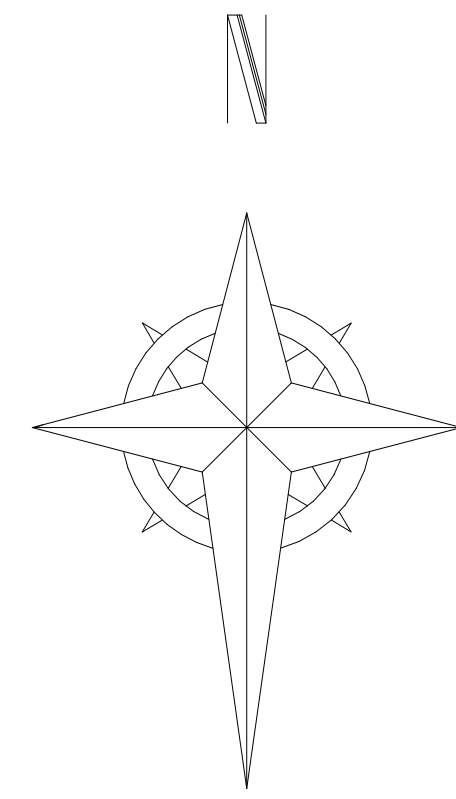
PROVIDED:
GARAGE = 3 SPACES
EXTERIOR PARKING = 4
TOTAL = 7 SPACES



SITE PLAN

1/8" = 1'-0"

- = PROP
- = EXIST



UNIT #202-34654 DELAIR RD.
ABBOTSFORD, B.C. V2S 2C9
TEL: (804) 217-9897
WWW.METHODSIGNGROUP.COM

No.	Description	Date

NOTES:

- GLAZING IN EXTERIOR DOORS & GLAZING WITHIN 3'-0" OF EXTERIOR DOORS TO BE SAFETY GLASS
- GLAZING ENCLOSED SHOWERS & BATH TUBS TO BE SAFETY GLASS
- GLAZED GUARDRAILS TO BE CONSTRUCTED OF SAFETY GLASS
- ALL GUARDRAILS TO BE DESIGNED & CONSTRUCTED AS PER BC BUILDING CODE 9.8.8.
- ALL HANDRAILS TO BE DESIGNED & CONSTRUCTED AS PER B.C. BUILDING CODE SECTION 9.8.7. CODE SECTION 9.7
- REFER TO STRUCTURAL ENGINEERS PLAN FOR ALL STRUCTURE SPECIFICATIONS
- ATTIC HATCHES TO INCLUDE WEATHER STRIPPING & INSULATION
- WINDOWS TO CONFORM TO B.C. BUILDING
- ALL BEDROOMS/SLEEPING AREAS TO PROVIDE AN UNOBSTRUCTED MEANS OF EGRESS TO THE EXTERIOR OF THE RESIDENCE, TO CONFORM TO THE B.C. BUILDING CODE.
- ALL DIFFERING BUILDING MATERIALS & ALL UNPROTECTED OPENING TO HAVE FLASHING OVER
- ALL BEDROOMS/SLEEP AREA TO HAVE AN INTERCONNECTED SMOKE ALARM
- ALL RESIDENCE TO HAVE AN INTERCONNECTED SMOKE ALARM & CARBON MONOXIDE ALARM INSTALLED
- ALL BEAMS AND LINTELS ARE 2-2X10 UNLESS NOTED OTHERWISE ON THE PLANS OR BY A STRUCTURAL ENGINEERS PLANS

ALL DIMENSIONS TO BE CHECKED BY CONTRACTOR BEFORE START OF CONSTRUCTION & ANY DISCREPANCIES REPORTED.

THESE DRAWINGS CONFORM TO THE LATEST EDITION OF THE 2018 BRITISH COLUMBIA BUILDING CODE

PROJECT NUMBER:
MDG22-112

DRAWN BY: RJ CHECKED BY: MB

DATE: 23-08-30 SCALE: 1/8" = 1'-0"

SHEET TITLE:
SITE PLAN & GENERAL NOTES

ADDRESS:
5135 208A STREET LANGLEY

DRAWING:
A1.01



CONTEXT PLAN

1/4" = 1'-0"



UNIT #202-34654 DELAIR RD.
ABBOTSFORD, B.C. V2S 2G9
TEL: (604) 217-9997
WWW.METHODDESIGNGROUP.COM

No.	Description	Date

NOTES:

ALL DIMENSIONS TO BE CHECKED BY CONTRACTOR BEFORE START OF CONSTRUCTION & ANY DISCREPANCIES REPORTED.

THESE DRAWINGS CONFORM TO THE LATEST EDITION OF THE 2018 BRITISH COLUMBIA BUILDING CODE

PROJECT NUMBER:
MDG22-112

DRAWN BY: RJ	CHECKED BY: MB
-----------------	-------------------

DATE: 23-08-30	SCALE: 1/4" = 1'-0"
-------------------	------------------------

SHEET TITLE:

CONTEXT PLAN

ADDRESS:

5135 208A STREET
LANGLEY

DRAWING:

A1.02

No.	Description	Date

- NOTES:**
- GLAZING IN EXTERIOR DOORS & GLAZING WITHIN 3'-0" OF EXTERIOR DOORS TO BE SAFETY GLASS
 - GLAZING ENCLOSED SHOWERS & BATH TUBS TO BE SAFETY GLASS
 - GLAZED GUARDRAILS TO BE CONSTRUCTED OF SAFETY GLASS
 - ALL GUARDRAILS TO BE DESIGNED & CONSTRUCTED AS PER BC BUILDING CODE 9.8.8.
 - ALL HANDRAILS TO BE DESIGNED & CONSTRUCTED AS PER B.C. BUILDING CODE SECTION 9.8.7. CODE SECTION 9.7
 - REFER TO STRUCTURAL ENGINEERS PLAN FOR ALL STRUCTURE SPECIFICATIONS
 - ATTIC HATCHES TO INCLUDE WEATHER STRIPPING & INSULATION
 - WINDOWS TO CONFORM TO B.C. BUILDING
 - ALL BEDROOMS/SLEEPING AREAS TO PROVIDE AN UNOBSTRUCTED MEANS OF EGRESS TO THE EXTERIOR OF THE RESIDENCE, TO CONFORM TO THE B.C. BUILDING CODE.
 - ALL DIFFERING BUILDING MATERIALS & ALL UNPROTECTED OPENING TO HAVE FLASHING OVER
 - ALL BEDROOMS/SLEEP AREA TO HAVE AN INTERCONNECTED SMOKE ALARM
 - ALL RESIDENCE TO HAVE AN INTERCONNECTED SMOKE ALARM & CARBON MONOXIDE ALARM INSTALLED
 - ALL BEAMS AND LINTELS ARE 2-2X10 UNLESS NOTED OTHERWISE ON THE PLANS OR BY A STRUCTURAL ENGINEERS PLANS

ALL DIMENSIONS TO BE CHECKED BY CONTRACTOR BEFORE START OF CONSTRUCTION & ANY DISCREPANCIES REPORTED.
 THESE DRAWINGS CONFORM TO THE LATEST EDITION OF THE 2018 BRITISH COLUMBIA BUILDING CODE

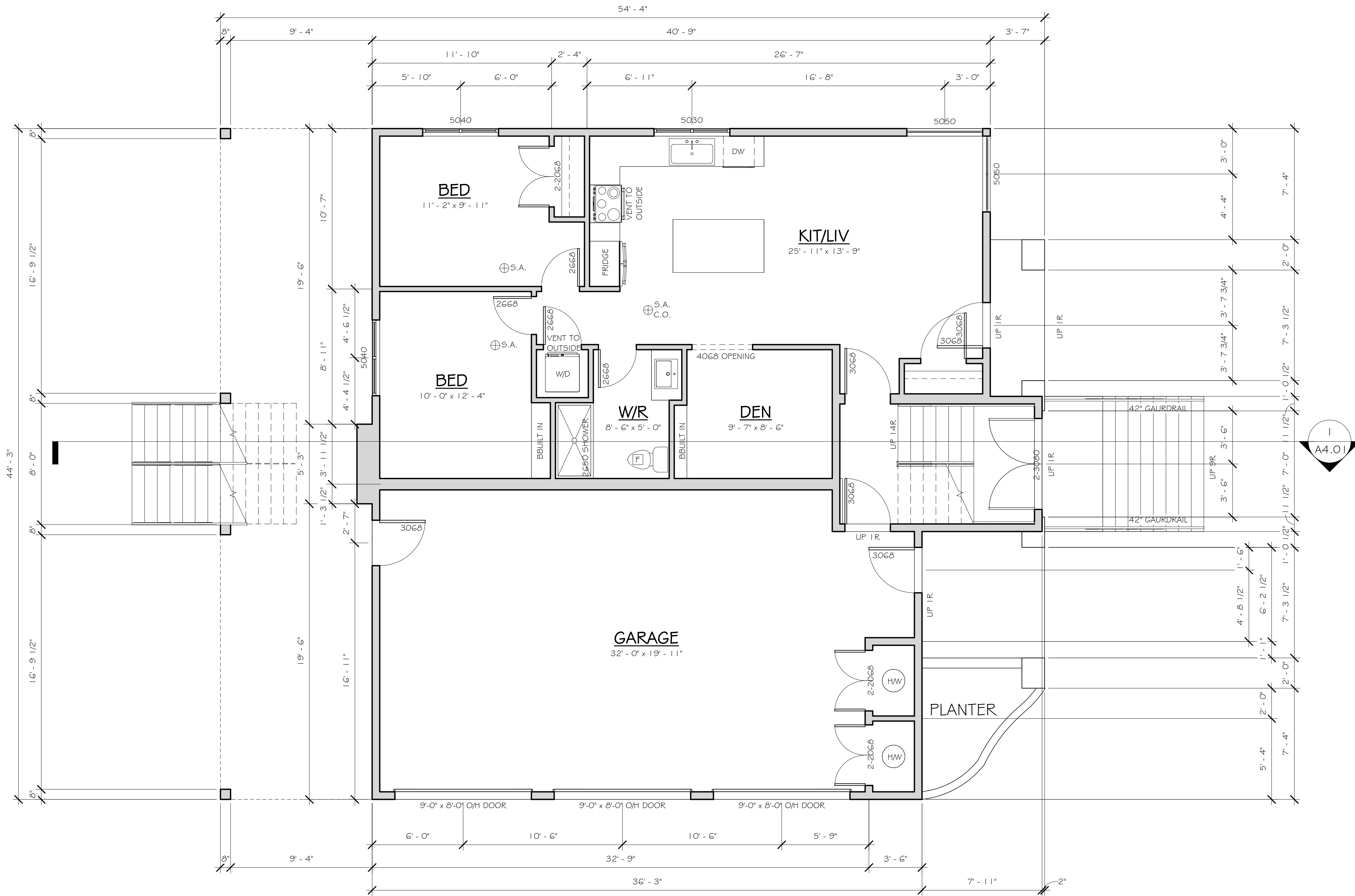
PROJECT NUMBER:
MDG22-112

DRAWN BY: RJ	CHECKED BY: MB
DATE: 23-08-30	SCALE: 1/4" = 1'-0"

SHEET TITLE:
BASEMENT FLOOR PLAN

ADDRESS:
5135 208A STREET LANGLEY

DRAWING:
A2.02



BASEMENT FLOOR

COMMON AREA	127.07 ft ²
GARAGE	735.21 ft ²
UNIT 1 LIVING	891.85 ft ²
TOTAL AREA:	1,754.15 ft ²

No.	Description	Date

- NOTES:**
- GLAZING IN EXTERIOR DOORS & GLAZING WITHIN 3'-0" OF EXTERIOR DOORS TO BE SAFETY GLASS
 - GLAZING ENCLOSED SHOWERS & BATH TUBS TO BE SAFETY GLASS
 - GLAZED GUARDRAILS TO BE CONSTRUCTED OF SAFETY GLASS
 - ALL GUARDRAILS TO BE DESIGNED & CONSTRUCTED AS PER BC BUILDING CODE 9.8.8.
 - ALL HANDRAILS TO BE DESIGNED & CONSTRUCTED AS PER B.C. BUILDING CODE SECTION 9.8.7. CODE SECTION 9.7
 - REFER TO STRUCTURAL ENGINEERS PLAN FOR ALL STRUCTURE SPECIFICATIONS
 - ATTIC HATCHES TO INCLUDE WEATHER STRIPPING & INSULATION
 - WINDOWS TO CONFORM TO B.C. BUILDING
 - ALL BEDROOMS/SLEEPING AREAS TO PROVIDE AN UNOBSTRUCTED MEANS OF EGRESS TO THE EXTERIOR OF THE RESIDENCE, TO CONFORM TO THE B.C. BUILDING CODE.
 - ALL DIFFERING BUILDING MATERIALS & ALL UNPROTECTED OPENING TO HAVE FLASHING OVER
 - ALL BEDROOMS/SLEEP AREA TO HAVE AN INTERCONNECTED SMOKE ALARM
 - ALL RESIDENCE TO HAVE AN INTERCONNECTED SMOKE ALARM & CARBON MONOXIDE ALARM INSTALLED
 - ALL BEAMS AND LINTELS ARE 2-2X10 UNLESS NOTED OTHERWISE ON THE PLANS OR BY A STRUCTURAL ENGINEERS PLANS

ALL DIMENSIONS TO BE CHECKED BY CONTRACTOR BEFORE START OF CONSTRUCTION & ANY DISCREPANCIES REPORTED.
 THESE DRAWINGS CONFORM TO THE LATEST EDITION OF THE 2018 BRITISH COLUMBIA BUILDING CODE

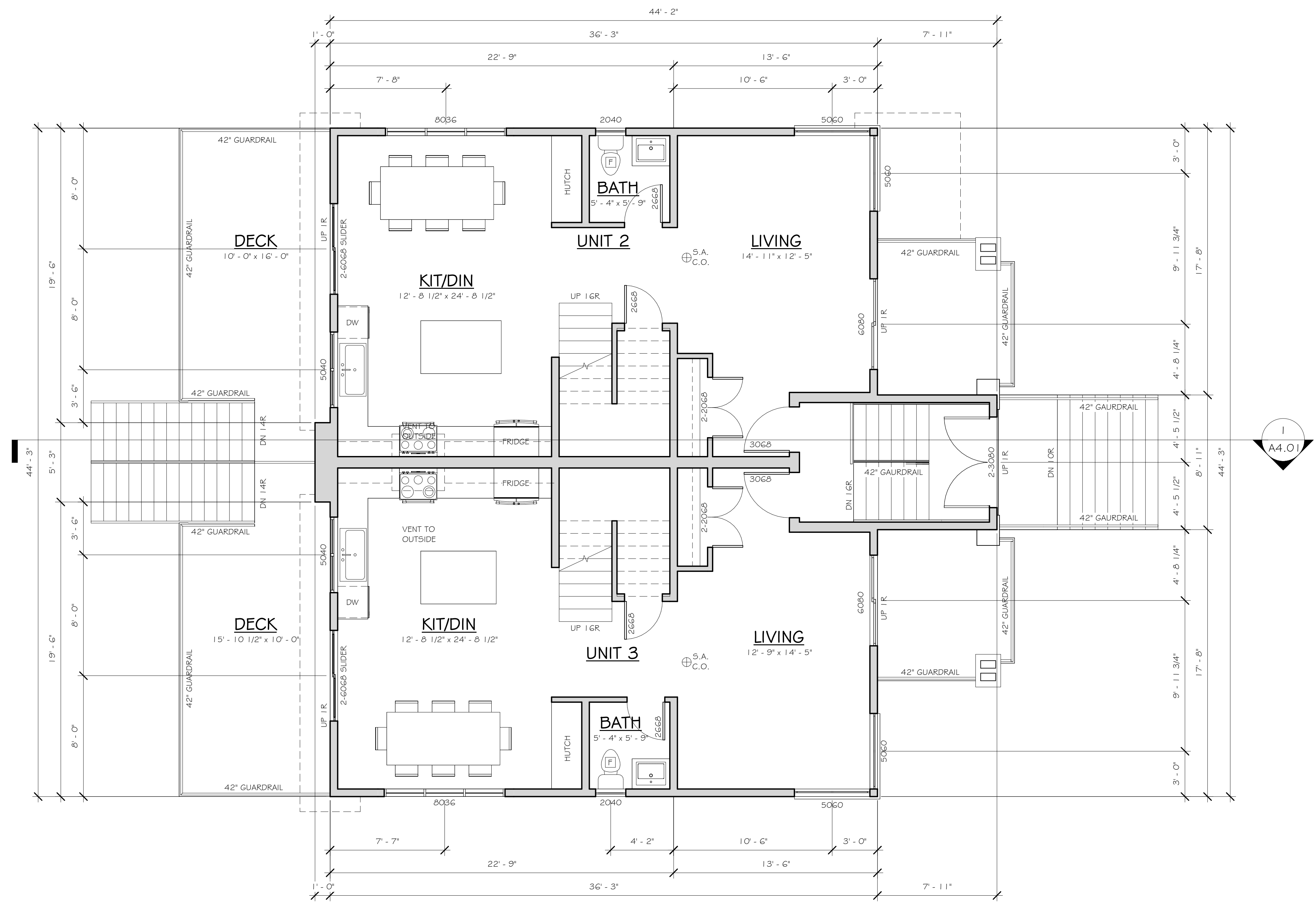
PROJECT NUMBER:
MDG22-112

DRAWN BY: RJ	CHECKED BY: MB
DATE: 23-08-30	SCALE: 1/4" = 1'-0"

SHEET TITLE:
MAIN FLOOR PLAN

ADDRESS:
**5135 208A STREET
 LANGLEY**

DRAWING:
A2.03



MAIN FLOOR

COMMON AREA	126.86 ft ²
UNIT 3 LIVING	773.27 ft ²
UNIT 2 LIVING	774.52 ft ²
TOTAL AREA:	1,674.65 ft ²

No.	Description	Date

- NOTES:**
- GLAZING IN EXTERIOR DOORS & GLAZING WITHIN 3'-0" OF EXTERIOR DOORS TO BE SAFETY GLASS
 - GLAZING ENCLOSED SHOWERS & BATH TUBS TO BE SAFETY GLASS
 - GLAZED GUARDRAILS TO BE CONSTRUCTED OF SAFETY GLASS
 - ALL GUARDRAILS TO BE DESIGNED & CONSTRUCTED AS PER BC BUILDING CODE 9.8.8.
 - ALL HANDRAILS TO BE DESIGNED & CONSTRUCTED AS PER B.C. BUILDING CODE SECTION 9.8.7. CODE SECTION 9.7
 - REFER TO STRUCTURAL ENGINEERS PLAN FOR ALL STRUCTURE SPECIFICATIONS
 - ATTIC HATCHES TO INCLUDE WEATHER STRIPPING & INSULATION
 - WINDOWS TO CONFORM TO B.C. BUILDING
 - ALL BEDROOMS/SLEEPING AREAS TO PROVIDE AN UNOBSTRUCTED MEANS OF EGRESS TO THE EXTERIOR OF THE RESIDENCE, TO CONFORM TO THE B.C. BUILDING CODE.
 - ALL DIFFERING BUILDING MATERIALS & ALL UNPROTECTED OPENING TO HAVE FLASHING OVER
 - ALL BEDROOMS/SLEEP AREA TO HAVE AN INTERCONNECTED SMOKE ALARM
 - ALL RESIDENCE TO HAVE AN INTERCONNECTED SMOKE ALARM & CARBON MONOXIDE ALARM INSTALLED
 - ALL BEAMS AND LINTELS ARE 2-2X10 UNLESS NOTED OTHERWISE ON THE PLANS OR BY A STRUCTURAL ENGINEERS PLANS

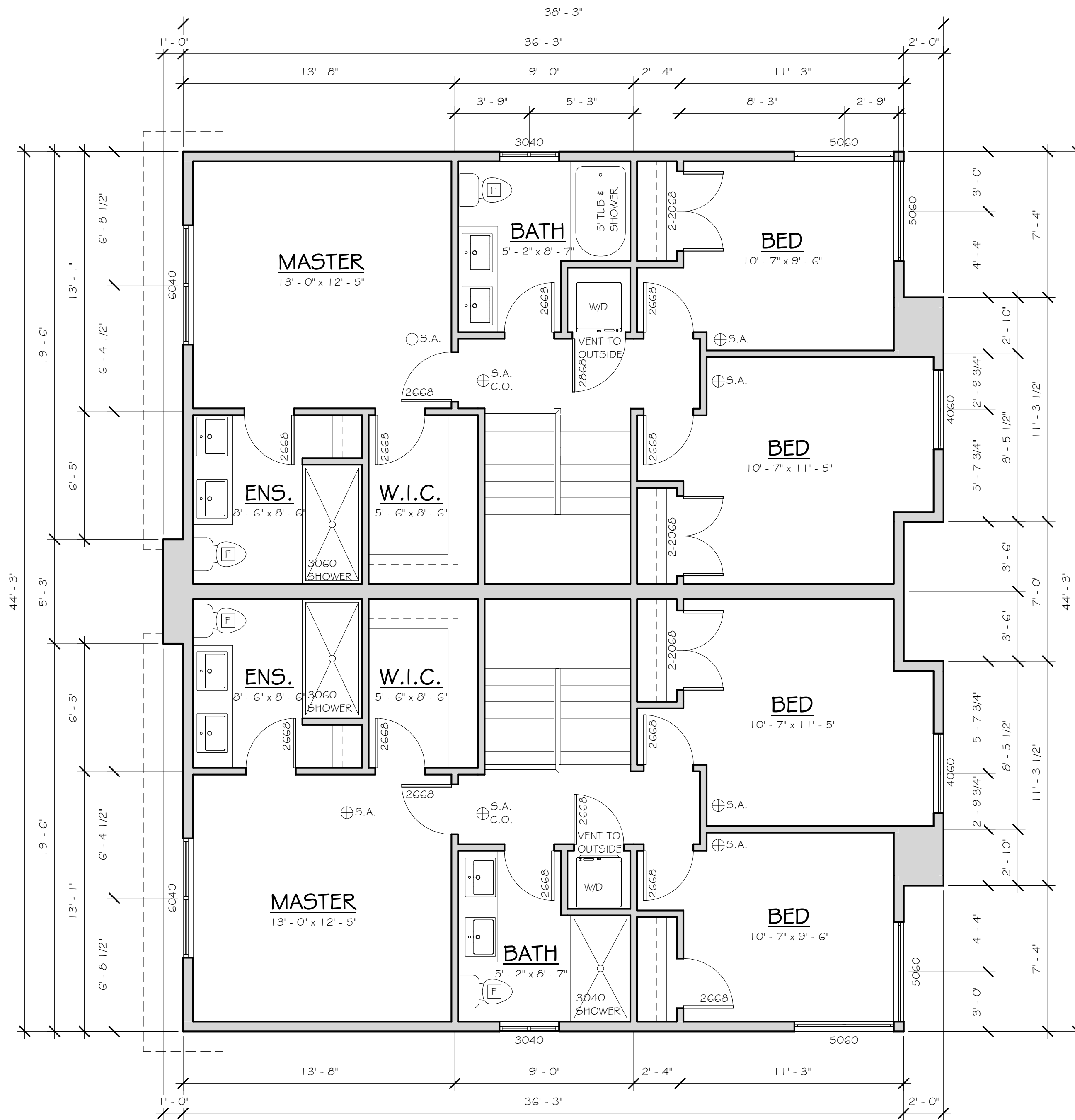
ALL DIMENSIONS TO BE CHECKED BY CONTRACTOR BEFORE START OF CONSTRUCTION & ANY DISCREPANCIES REPORTED.
 THESE DRAWINGS CONFORM TO THE LATEST EDITION OF THE 2018 BRITISH COLUMBIA BUILDING CODE

PROJECT NUMBER: MDG22-112	
DRAWN BY: RJ	CHECKED BY: MB
DATE: 23-08-30	SCALE: 1/4" = 1'-0"

SHEET TITLE:
UPPER FLOOR PLAN

ADDRESS:
**5135 208A STREET
 LANGLEY**

DRAWING:
A2.04



UPPER FLOOR
 STAIRS 124.67 ft²
 <vanes> 1,524.56 ft²
 TOTAL AREA: 1,649.23 ft²

No.	Description	Date

- NOTES:**
- GLAZING IN EXTERIOR DOORS & GLAZING WITHIN 3'-0" OF EXTERIOR DOORS TO BE SAFETY GLASS
 - GLAZING ENCLOSED SHOWERS & BATH TUBS TO BE SAFETY GLASS
 - GLAZED GUARDRAILS TO BE CONSTRUCTED OF SAFETY GLASS
 - ALL GUARDRAILS TO BE DESIGNED & CONSTRUCTED AS PER BC BUILDING CODE 9.8.8.
 - ALL HANDRAILS TO BE DESIGNED & CONSTRUCTED AS PER B.C. BUILDING CODE SECTION 9.8.7. CODE SECTION 9.7
 - REFER TO STRUCTURAL ENGINEERS PLAN FOR ALL STRUCTURE SPECIFICATIONS
 - ATTIC HATCHES TO INCLUDE WEATHER STRIPPING & INSULATION
 - WINDOWS TO CONFORM TO B.C. BUILDING
 - ALL BEDROOMS/SLEEPING AREAS TO PROVIDE AN UNOBSTRUCTED MEANS OF EGRESS TO THE EXTERIOR OF THE RESIDENCE, TO CONFORM TO THE B.C. BUILDING CODE.
 - ALL DIFFERING BUILDING MATERIALS & ALL UNPROTECTED OPENING TO HAVE FLASHING OVER
 - ALL BEDROOMS/SLEEP AREA TO HAVE AN INTERCONNECTED SMOKE ALARM
 - ALL RESIDENCE TO HAVE AN INTERCONNECTED SMOKE ALARM & CARBON MONOXIDE ALARM INSTALLED
 - ALL BEAMS AND LINTELS ARE 2-2X10 UNLESS NOTED OTHERWISE ON THE PLANS OR BY A STRUCTURAL ENGINEERS PLANS

ALL DIMENSIONS TO BE CHECKED BY CONTRACTOR BEFORE START OF CONSTRUCTION & ANY DISCREPANCIES REPORTED.
THESE DRAWINGS CONFORM TO THE LATEST EDITION OF THE 2018 BRITISH COLUMBIA BUILDING CODE

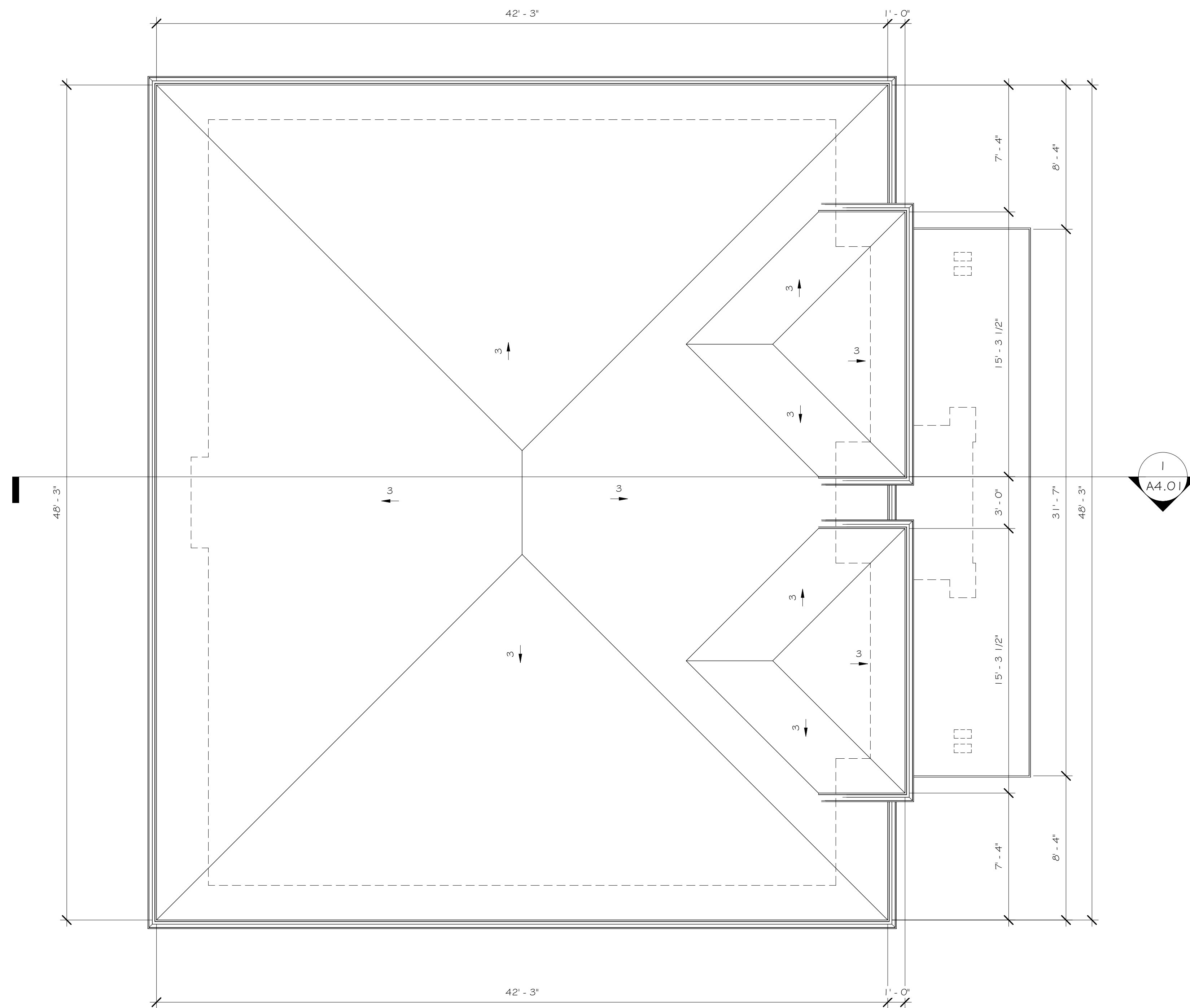
PROJECT NUMBER:
MDG22-112

DRAWN BY: RJ	CHECKED BY: MB
DATE: 23-08-30	SCALE: 1/4" = 1'-0"

SHEET TITLE:
ROOF PLAN

ADDRESS:
**5135 208A STREET
LANGLEY**

DRAWING:
A2.05



ROOF PLAN

1/4" = 1'-0"

No.	Description	Date

NOTES:



MATERIAL LEGEND

- 1 STONE STYLE 1
- 2 STONE STYLE 2
- 3 LONGBOARD
- 4 VINYL WINDOW
- 5 2 X 10 STONE BAND
- 6 1 X 8 FASCIA BOARD W/ GUTTER
- 7 1 X 6 ON 1 X 24 FASCIA BOARD W/ PAINTED FINISH
- 8 OVERHEAD DOOR
- 9 WOOD W/ STONE BASE COLUMN
- 10 ASPHALT ROOF SHINGLES
- 11 GLASS GUARDRAILS
- 12 C-CHANNEL STEEL MEMBER

ALL DIMENSIONS TO BE CHECKED BY CONTRACTOR BEFORE START OF CONSTRUCTION & ANY DISCREPANCIES REPORTED.

THESE DRAWINGS CONFORM TO THE LATEST EDITION OF THE 2018 BRITISH COLUMBIA BUILDING CODE

PROJECT NUMBER: MDG22-112

DRAWN BY: RJ CHECKED BY: MB

DATE: 23-08-30 SCALE: As indicated

SHEET TITLE:

FRONT & RIGHT ELEVATIONS

ADDRESS:

5135 208A STREET LANGLEY

DRAWING:

A3.01

No.	Description	Date

NOTES:

ALL DIMENSIONS TO BE CHECKED BY CONTRACTOR BEFORE START OF CONSTRUCTION & ANY DISCREPANCIES REPORTED.

THESE DRAWINGS CONFORM TO THE LATEST EDITION OF THE 2018 BRITISH COLUMBIA BUILDING CODE

PROJECT NUMBER:
MDG22-112

DRAWN BY: RJ	CHECKED BY: MB
DATE: 23-08-30	SCALE: As indicated

SHEET TITLE:

REAR & LEFT ELEVATIONS

ADDRESS:

**5135 208A STREET
 LANGLEY**

DRAWING:

A3.02



MATERIAL LEGEND

- 1 STONE STYLE 1
- 2 STONE STYLE 2
- 3 LONGBOARD
- 4 VINYL WINDOW
- 5 2 X 10 STONE BAND
- 6 1 X 8 FASCIA BOARD W/ GUTTER
- 7 1 X 6 ON 1 X 24 FASCIA BOARD W/ PAINTED FINISH
- 8 OVERHEAD DOOR
- 9 WOOD W/ STONE BASE COLUMN
- 10 ASPHALT ROOF SHINGLES
- 11 GLASS GUARDRAILS
- 12 C-CHANNEL STEEL MEMBER

No.	Description	Date

NOTES:



MATERIAL BREAKDOWN

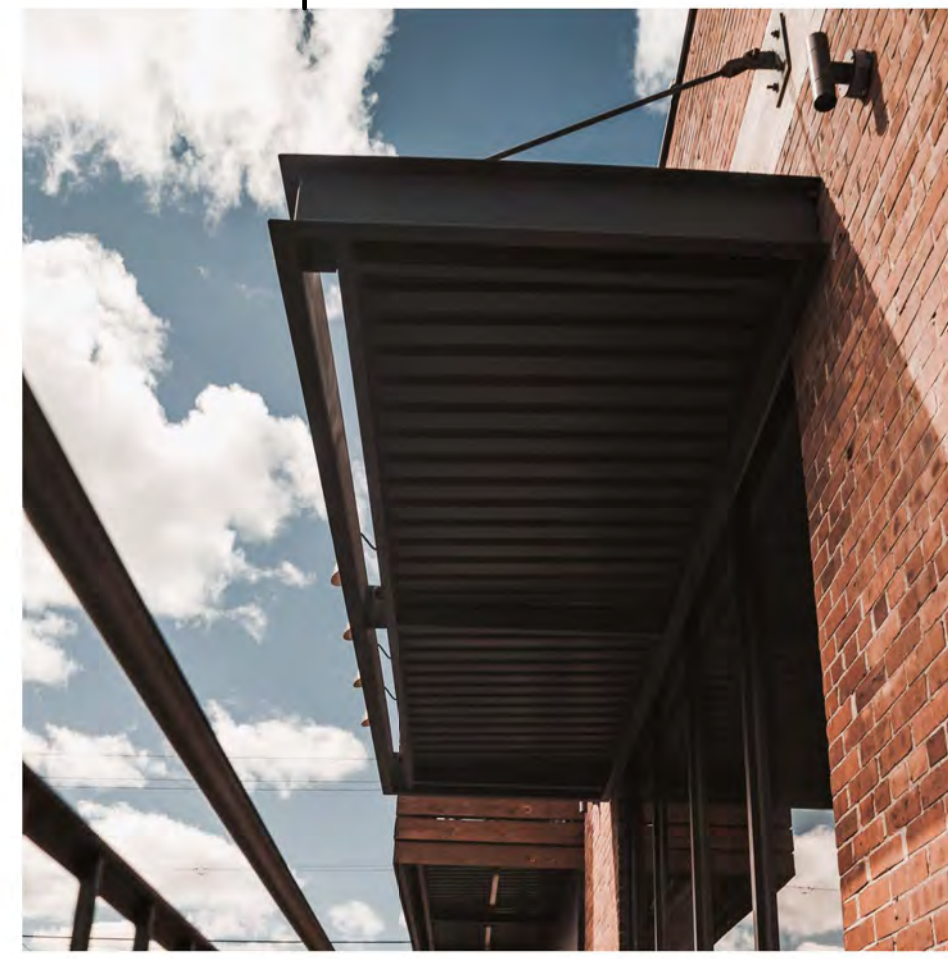
1/4" = 1'-0"



STONE; COLOR - SORRENTO



WOOD COLUMNS W/
STONE BASE



AWNING EXAMPLE



STONE; COLOR - POSITANO



WOOD LONGBOARD

ALL DIMENSIONS TO BE CHECKED BY CONTRACTOR BEFORE START OF CONSTRUCTION & ANY DISCREPANCIES REPORTED.

THESE DRAWINGS CONFORM TO THE LATEST EDITION OF THE 2018 BRITISH COLUMBIA BUILDING CODE

PROJECT NUMBER:
MDG22-112

DRAWN BY: RJ CHECKED BY: MB

DATE: 23-08-30 SCALE: 1/4" = 1'-0"

SHEET TITLE:

MATERIAL
BREAKDOWN

ADDRESS:

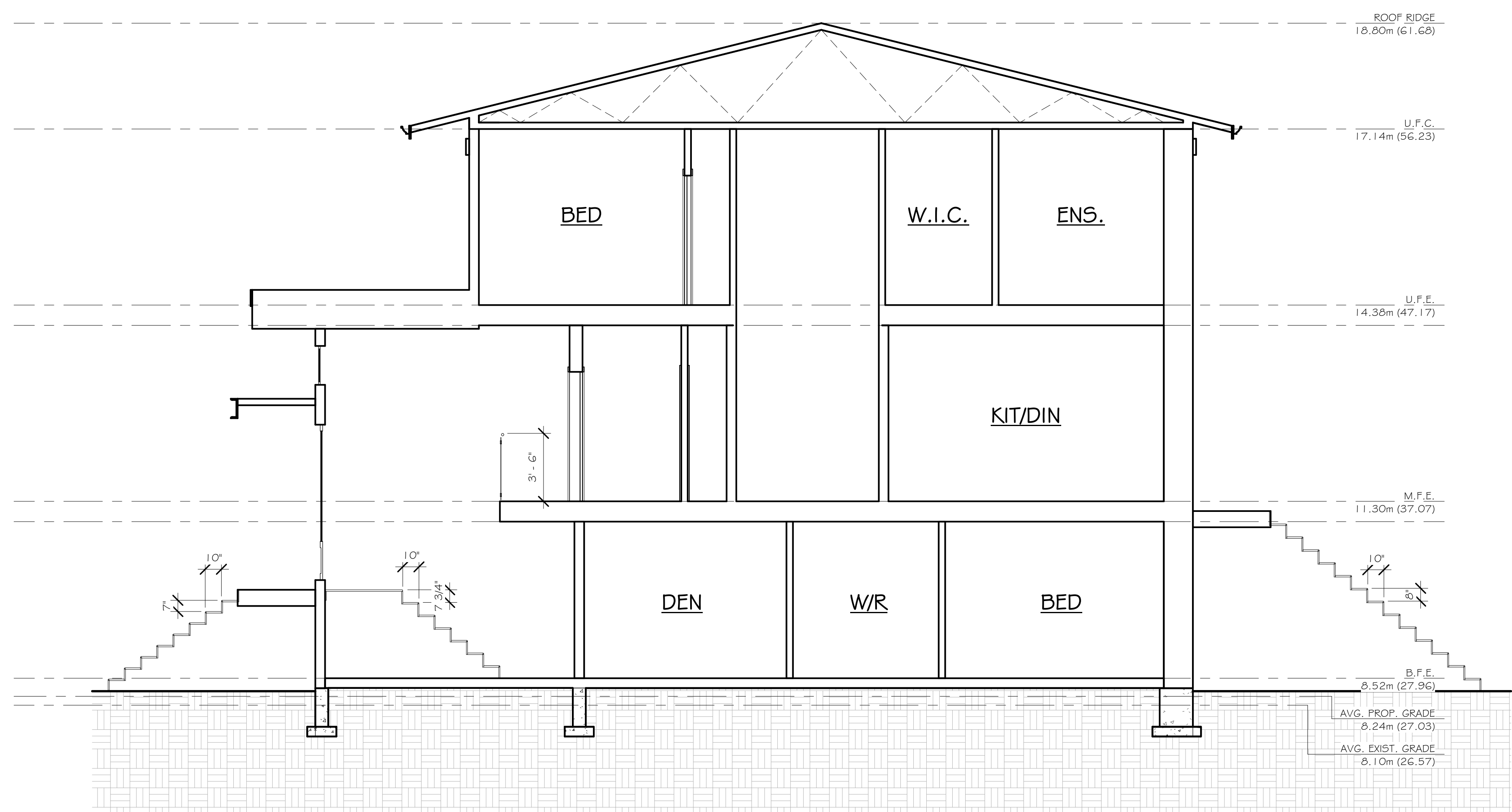
5135 208A STREET
LANGLEY

DRAWING:

A3.03

No.	Description	Date

NOTES:



CROSS SECTION 'A'
 1/4" = 1'-0"

ALL DIMENSIONS TO BE CHECKED BY CONTRACTOR BEFORE START OF CONSTRUCTION & ANY DISCREPANCIES REPORTED.
 THESE DRAWINGS CONFORM TO THE LATEST EDITION OF THE 2018 BRITISH COLUMBIA BUILDING CODE

PROJECT NUMBER: MDG22-112	
DRAWN BY: RJ	CHECKED BY: MB
DATE: 23-08-30	SCALE: 1/4" = 1'-0"

SHEET TITLE:
CROSS SECTION A

ADDRESS:
 5135 208A STREET
 LANGLEY

DRAWING:
A4.01