



sheet schedule

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WHITETAIL EASTLEIGH APMTS.  
20644 EASTLEIGH CRESCENT, LANGLEY, BC

COVER PAGE  
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22/08/30 REVISION #:  
CITY OF LANGLEY FILE # -  
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SD0.01



eastleigh crescent looking west



eastleigh crescent looking east



existing building looking north



existing building looking south

**location**

THE PROPOSED DEVELOPMENT IS LOCATED IN DOWNTOWN OF LANGLEY ON EASTLEIGH CRESCENT ROAD.

THE SITE IS SURROUNDED BY A MIXTURE OF 2, 3 & 4 STOREY RESIDENTIAL APARTMENT BUILDINGS.

whitetail eastleigh multi-family residential building



location map / north langley

nts

development location



aerial view looking south / east

nts



WHITETAIL EASTLEIGH APMTS.  
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CONTEXT PLANS  
SCALE: N.T.S.

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SD1.01

0.1.0 project data

<b>PROJECT:</b>	WHITETAIL EASTLEIGH APMT. BLDG
<b>ZONING:</b>	C1 (DOWNTOWN COMMERCIAL ZONE)
<b>CIVIC ADDRESS:</b>	20644, EASTLEIGH CRESCENT, LANGLEY, B.C.
<b>LEGAL DESCRIPTION:</b>	LOT F, DISTRICT LOT 37, GROUP 2, NWP PLAN 8633
<b>VARIANCES APPLIED FOR:</b>	PARKING RATES (REFER TO PARKING STALL SUMMARY SD1.13) / SETBACKS (REFER TO SETBACKS SECTION FOR MORE INFORMATION)
<b>BYLAW EXEMPTIONS:</b>	-
<b>BUILDING AREA DEFINITION (BCBC 2018):</b>	THE GREATEST HORIZONTAL AREA OF A BUILDING ABOVE GRADE WITHIN THE OUTSIDE SURFACE OF EXTERIOR WALLS OR WITHIN THE OUTSIDE SURFACE OF EXTERIOR WALLS AND THE CENTER-LINE OF FIREWALLS.
<b>FSR DEFINITION (ZONING):</b>	TOTAL GROSS FLOOR AREA DIVIDED BY TOTAL SITE AREA (NOT DEFINED BY CITY OF LANGLEY)
<b>GROSS FLOOR AREA DEFINITION (ZONING):</b>	ALL THE AREA OF THE FLOOR ENCLOSED BY THE OUTSIDE EDGE OF THE EXTERIOR WALLS OF A BUILDING, INCLUDING STAIRWAYS, ELEVATOR SHAFTS, STORAGE ROOMS AND MECHANICAL ROOMS.
<b>GRADE DEFINITION (ZONING):</b>	THE LOWEST AVERAGE LEVELS OF THE PROPOSED GRADES ADJACENT TO EACH EXTERIOR WALL OF A BUILDING.
<b>FIRST STOREY DEFINITION (BCBC 2018):</b>	THE UPPERMOST STOREY HAVING ITS FLOOR LEVEL NOT MORE THAN 2 m ABOVE GRADE.
<b>BUILDING HEIGHT DEFINITION (ZONING):</b>	THE VERTICAL DISTANCE MEASURED IN METRES FROM THE FLOOR OF THE FIRST STOREY TO THE CEILING OF THE UPPERMOST STOREY
<b>MAXIMUM BUILDING HEIGHT (ZONING &amp; BCBC 2018):</b>	- 46.0 m (ZONING BYLAW) - 3.2.2.50. GROUP C, UP TO 6 STOREYS, SPRINKLERED IT HAS A HEIGHT NOT MORE THAN 18 m MEASURED BETWEEN THE FLOOR OF THE FIRST STOREY AND THE UPPERMOST FLOOR LEVEL, EXCLUDING ANY FLOOR LEVEL WITHIN A ROOFTOP ENCLOSURE THAT IS NOT CONSIDERED AS A STOREY IN CALCULATING BUILDING HEIGHT IN ACCORDANCE WITH SENTENCE 3.2.1.1.(1) (BCBC 3.2.2)
<b>MINIMUM BUILDING ELEVATION:</b>	NOT INDICATED / PROPOSED MFE : 10.50m
<b>AVERAGE GRADE DEFINITION (ZONING):</b>	THE LOWEST AVERAGE LEVELS OF THE PROPOSED GRADES ADJACENT TO EACH EXTERIOR WALL OF A BUILDING
<b>LOWEST AVERAGE GRADE DEFINITION (BCBC 2018):</b>	THE LOWEST OF THE AVERAGE LEVELS OF FINISHED GROUND ADJOINING EACH EXTERIOR WALL OF A BUILDING, EXCEPT THAT LOCALIZED DEPRESSIONS NEED NOT BE CONSIDERED IN THE DETERMINATION OF AVERAGE LEVELS OF FINISHED GROUND.
<b>PROPOSED BUILDING HEIGHT (BCBC 2018):</b>	6 STOREYS
<b>1ST STOREY TO UPPERMOST FLOOR LEVEL:</b>	MAXIMUM - 18m [BCBC 2018, GROUP C 3.2.2.50 (1)(c), PROPOSED - 15.59 m
<b>1ST STOREY TO UPPERMOST COMBUSTIBLE ROOF:</b>	MAXIMUM - 25m [BCBC 2018, GROUP C 3.2.2.50 (2)(c), NON-COMBUSTIBLE ROOF CONSTRUCTION IF > 25m] PROPOSED: 23.95m
<b>FIRE ACCESS ROUTE TO UPPERMOST FLOOR LEVEL:</b>	MAXIMUM - 20m [BCBC 2018 3.2.5.6(2)] PROPOSED - 16.58m
<b>SITE AREA:</b>	NET AREA: 52,256.07 S.F. (1,884.83 m <sup>2</sup> ) (1.190 acres) GROSS AREA: 52,822 S.F. (4,907 m <sup>2</sup> ) (1.212 acres)
<b>ALLOWABLE LOT COVERAGE:</b>	ALL BUILDINGS AND STRUCTURES COMBINED SHALL NOT COVER MORE THAN NINETY-FIVE (95) PERCENT OF THE LOT AREA. PARKING STRUCTURES ARE EXCLUDED FROM THE LOT COVERAGE REQUIREMENTS PROVIDED THEY ARE SCREENED BY BUILDINGS, BERMS AND / OR LANDSCAPING. 52,822 S.F. x .95 = 50,180.9 S.F. = 95%
<b>PROPOSED LOT COVERAGE:</b>	30,319 S.F. / 52,822 S.F. = 57%
<b>BUILDING AREA:</b>	BUILDING "A" AREA (BCBC): 14,732 SF (1,368 m <sup>2</sup> ) BUILDING "B" AREA (BCBC): 15,587 S.F. (1,448 m <sup>2</sup> ) COMBINED: 30,319 S.F. (2,816 m <sup>2</sup> )
<b>GROSS FLOOR AREA (NOT INCLUDING PARKADE) :</b>	166,648 S.F. (15,482 S.M.)
<b>GROSS FLOOR AREA (PARKADE ONLY):</b>	45,395 S.F. (4,217 S.M.)
<b>PROPOSED FSR:</b>	166,648 S.F. ( 1,544 HECTARES) / 52,822 S.F. ( ,490 HECTARES) = 3.15 FSR
<b>SETBACKS:</b>	REQUIRED: WHERE STOREYS ARE USED FOR RESIDENTIAL PURPOSES, ALL LOT LINE SETBACKS SHALL BE A MINIMUM OF 6.0 M (19' 8 1/4") WITH RESPECT TO SUCH STOREYS.  PROPOSED : FRONT SETBACK 3.0 M ( 9'-10 1/8" ) REAR SETBACK 2.0 M (6'-6 3/4" FT) SIDE SETBACK 6.0 M (19' 8 1/4") SIDE SETBACK 6.0 M (19' 8 1/4")
<b>NUMBER OF STREETS:</b>	1
<b>OPEN SPACE:</b>	AN OUTDOOR AREA WHICH IS INTENDED FOR PASSIVE OR ACTIVE RECREATIONAL PURPOSES. (OUTDOOR AMENITY AREA) OUTDOOR AMENITY AREA : 384 S.M. (4,140 S.F. )
<b>SPECIAL REGULATIONS</b>	AMENITY SPACE SHALL BE PROVIDED ON THE LOT AS FOLLOWS: 3 S.M. [32.29 S.F.]/UNIT TOTAL AMENITY SPACE (INDOOR & OUTDOOR COMBINED), WITH A MINIMUM OF 1 S.M. [32.29 S.F.] INDOOR AND OUTDOOR EACH. REQUIRED (min 1 s.m. indoor & 1 s.m. outdoor): 174 UNITS x 3 S.M. = 522 S.M. (INDOOR AND OUTDOOR COMBINED) PROPOSED: 586 S.M. (6,307 S.F.) (INDOOR AMENITY 202 S.M. + OUTDOOR AMENY 384 S.M. = 586 S.M.)

0.1.1 code summary

APPLICABLE BUILDING CODES: 2018 BCBC / 2018 BC FIRE CODE / ASHRAE 90.1-2016 (?)  
BUILDING CODE COMPLIANCE/ALTERNATE SOLUTIONS REPORT:

TITLE	VALUE	REFERENCE
<b>1. PART 3 OR PART 9 BUILDING:</b>	PART 3	DIV. A - PART 1 COMPLIANCE 1.3.3.2.
<b>2. MAJOR OCCUPANCY (IES):</b>	RESIDENTIAL/ STORAGE GARAGE	3.1.2.1. & APPENDIX A - 3.1.2.1.(1)
<b>3. BUILDING CLASSIFICATION (S):</b>		
<b>3.1.1 STORAGE GARAGE (BELOW GRADE)</b>		3.2.2.80
GROUP F, DIVISION 3, ANY HEIGHT, ANY AREA, FULLY SPRINKLERED (ACTUAL AREA 4,217 sm)		3.2.2.80.(1), 3.2.2.80.(2)
NON-COMBUSTIBLE CONSTRUCTION		3.2.2.80.(2)(A)
FLOOR ASSEMBLIES: FIRE SEPARATIONS WITH A FIRE RESISTANCE RATING NOT LESS THAN 2 HOURS		3.2.2.80.(2)(B)
MEZZANINES: N/A		3.2.2.80.(2)(C)
LOAD BEARING WALLS, COLUMNS & ARCHES NOT LESS THAN 2 HOUR FIRE RESISTANCE RATING		3.2.2.80.(2)(D)
<b>3.1.2 STORAGE GARAGE (ABOVE GRADE - UNCOVERED SURFACE PARKING AREA)</b>		3.2.1.2
STORAGE GARAGE CONSIDERED AS A SEPARATE BUILDING (ACTUAL AREA 239 sm)		3.2.1.2(1), 3.2.1.2(2)
FULLY SPRINKLERED : N/A		3.2.1.2(2)(A)
NON-COMBUSTIBLE CONSTRUCTION		3.2.1.2(1)
2 HOUR FIRE SEPARATION: EXTERIOR WALL OPENINGS EXEMPT		3.2.1.2.(1), 3.2.1.2.(2)&(2)(A)
2 HOUR FIRE RESISTANCE RATING		3.2.1.2.(1)
F.T. RATED FIRESTOP 3.1.9.1(2)		3.1.9.1(2)
<b>3.1.3 STORAGE GARAGE (ABOVE GRADE - COVERED SURFACE PARKING AREA)</b>		3.2.2.80
GROUP F, DIVISION 3, ANY HEIGHT, ANY AREA, SPRINKLERED (ACTUAL AREA 1,967 sm)		3.2.2.80.(1), 3.2.2.80.(2)
NON-COMBUSTIBLE CONSTRUCTION		3.2.2.80.(2)(A)
FLOOR ASSEMBLIES: FIRE SEPARATIONS WITH A FIRE RESISTANCE RATING NOT LESS THAN 2 HOURS		3.2.2.80.(2)(B)
MEZZANINES: N/A		3.2.2.80.(2)(C)
LOAD BEARING WALLS, COLUMNS & ARCHES NOT LESS THAN 2 HOUR FIRE RESISTANCE RATING		3.2.2.80.(2)(D)
<b>3.2.1 RESIDENTIAL- LEVEL 1</b>		3.2.2.48
GROUP C, UP TO 6 STOREYS, SPRINKLERED, NONCOMBUSTIBLE CONSTRUCTION		3.2.2.48.(1), 3.2.2.48.(2)
FULLY SPRINKLERED		3.2.2.48.(1)(A)
NUMBER OF STOREYS: NOT MORE THAN 6 STOREYS IN BUILDING HEIGHT		3.2.2.48.(1)(B)
ALLOWABLE BUILDING AREA: <= 0,000 sm PROVIDED: BUILDING 'C' = 1,421 sm		3.2.2.40.(1)(C)
NONCOMBUSTIBLE CONSTRUCTION		3.2.2.48.(2)
FLOOR ASSEMBLIES: FIRE SEPARATION WITH 1 HOUR FIRE RESISTANCE RATING		3.2.2.48.(2)(A)
MEZZANINES: 1 HOUR FIRE RESISTANCE RATING N/A		3.2.2.48.(2)(B)
LOAD BEARING WALLS, COLUMNS & ARCHES WITH F.R.R. NOT LESS THAN REQUIRED FOR THE SUPPORTED ASSEMBLY		3.2.2.48.(2)(C)
<b>3.2.2 RESIDENTIAL- LEVEL 2 TO 6</b>		3.2.2.50
GROUP C, UP TO 6 STOREYS, SPRINKLERED		3.2.2.50.(1), 3.2.2.50.(2)
FULLY SPRINKLERED		3.2.2.50.(1)(A)
NUMBER OF STOREYS: 6 STOREYS IN BUILDING HEIGHT		3.2.2.50.(1)(B)
< 18m BETWEEN FLOOR OF FIRST STOREY & UPPERMOST FLOOR LEVEL PROPOSED: 15.59 m		3.2.2.50.(1)(C)
ALLOWABLE BUILDING AREA: <= 1,500 sm PROVIDED: BUILDING 'A' = 1,368 sm & BUILDING 'B' = 1,448 sm		3.2.2.50.(1)(D)(vi)
BUILDING 'A' = 1,368 sm - 2 HOUR FIREWALL (CONCRETE)		3.1.10.(2)(3)
BUILDING 'B' = 1,448 sm - 2 HOUR FIREWALL (CONCRETE)		3.1.10.(2)(3)
COMBUSTIBLE CONSTRUCTION, EXCEPT NON COMBUSTIBLE ROOF ASSEMBLIES >25M ABOVE 1ST STOREY FLOOR		3.2.2.50.(2) EXCEPT (2)(C)
FLOOR ASSEMBLIES: 1 HOUR FIRE SEPARATION WITH 1 HOUR FIRE RESISTANCE RATING		3.2.2.50.(2)(A)
ROOF ASSEMBLIES: 1 HOUR FIRE RESISTANCE RATING		3.2.2.50.(2)(B)
ROOF ASSEMBLIES: < 25m FROM FLOOR OF FIRST STOREY TO HIGHEST POINT OF ROOF ASSEMBLY PROPOSED: 23.75m		3.2.2.50.(2)(D)
MEZZANINES: 1 HOUR FIRE RESISTANCE RATING N/A		3.2.2.50.(2)(E)
LOAD BEARING WALLS, COLUMNS & ARCHES NOT LESS THAN REQUIRED FOR THE SUPPORTED ASSEMBLY		



WHITETAIL EASTLEIGH APMTS.  
20644 EASTLEIGH CRESCENT, LANGLEY, BC

PROJECT DATA  
SCALE: N.T.S.

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SD1.10

**0.1.1 code summary**

APPLICABLE BUILDING CODES: 2018 BCBC/ 2018 BC FIRE CODE/ ASHRAE 90.1-2016  
 BUILDING CODE COMPLIANCE/ALTERNATE SOLUTIONS REPORT:

4. BUILDINGS WITH MULTIPLE MAJOR OCCUPANCIES:	YES	3.2.2.4, 3.2.2.50.(5)
5. NON-COMBUSTIBLE CLADDING:	NON-COMBUSTIBLE	3.1.4.8.(1)
6. HIGH BUILDING:	NA	3.2.6., 3.1.13.7., 3.5.1.1., 3.2.2.50.(1)(C)
7. FIREWALL:	2 HR.	3.1.10.
8. MEZZANINE(S):	NA	3.2.1.1. (3) - (8)
9. MEZZANINE EXITING:	NA	3.4.2.2.
10. INTERCONNECTED FLOOR SPACE:	NA, STORAGE GARAGE EXEMPT	3.2.3.2.(3), 3.2.8., 3.1.3.1.(3), 3.2.8.2.(2)
11. STORAGE GARAGE-HORIZONTAL FIRE SEPARATION:	YES	3.2.1.2.
12. SPRINKLER SYSTEM:	YES	3.2.2.18.
12.1. STORAGE GARAGE:	YES - NFPA 13 - 2013	3.2.5.12.(1)
12.2. RESIDENTIAL:	YES - NFPA 13 - 2013	3.2.5.12.(1)
12.3 FIRE EXTINGUISHERS:	YES - NFPA 10 - 2013	BC FIRE CODE 2018
13. STANDPIPE SYSTEM:	YES - NFPA 14- 2013	3.2.5.8., 3.2.5.9., 3.2.5.16.
14. FIRE ALARM SYSTEM:	YES - SINGLE STAGE - CAN/ULC-5524-14	3.2.4.1. (2)&(4)
15. SMOKE CONTROL MEASURES:	YES	3.1.8.12
16. ANNUNCIATOR AND ZONE INDICATION:	YES	3.2.4.9., 3.2.4.8.

NOTES:

1. \*UNLESS OTHERWISE NOTED, REFERENCE NUMBERS LISTED REFER TO THE BRITISH COLUMBIA BUILDING CODE 2018

**0.2.0 gross floor area summary notes**

- GROSS FLOOR AREA IS MEASURED TO OUTSIDE FACE OF SHEATHING
- EXCLUSIONS: NONE

**0.2.1 gross floor area summary (level) (parkade not included)**

LEVEL / AREA TYPE	AREA SF	AREA m <sup>2</sup>	AREA %	COMMENTS
<b>BUILDING A</b>				
<b>2ND LEVEL</b>				
CIRCULATION	1341 SF	124.56 m <sup>2</sup>	0.8%	
INDOOR AMENITY	806 SF	74.89 m <sup>2</sup>	0.5%	
RESIDENTIAL	11933 SF	1108.60 m <sup>2</sup>	7.2%	
SERVICE ROOMS/SHAFTS	66 SF	6.13 m <sup>2</sup>	0.0%	
STORAGE	586 SF	54.45 m <sup>2</sup>	0.4%	
	<b>14732 SF</b>	<b>1368.63 m<sup>2</sup></b>	<b>8.8%</b>	
<b>3RD LEVEL</b>				
CIRCULATION	1264 SF	117.43 m <sup>2</sup>	0.8%	
RESIDENTIAL	12816 SF	1190.63 m <sup>2</sup>	7.7%	
SERVICE ROOMS/SHAFTS	66 SF	6.13 m <sup>2</sup>	0.0%	
STORAGE	586 SF	54.45 m <sup>2</sup>	0.4%	
	<b>14732 SF</b>	<b>1368.63 m<sup>2</sup></b>	<b>8.8%</b>	
<b>4TH LEVEL</b>				
CIRCULATION	1264 SF	117.43 m <sup>2</sup>	0.8%	
RESIDENTIAL	12816 SF	1190.63 m <sup>2</sup>	7.7%	
SERVICE ROOMS/SHAFTS	66 SF	6.13 m <sup>2</sup>	0.0%	
STORAGE	586 SF	54.45 m <sup>2</sup>	0.4%	
	<b>14732 SF</b>	<b>1368.63 m<sup>2</sup></b>	<b>8.8%</b>	
<b>5TH LEVEL</b>				
CIRCULATION	1264 SF	117.43 m <sup>2</sup>	0.8%	
RESIDENTIAL	12816 SF	1190.63 m <sup>2</sup>	7.7%	
SERVICE ROOMS/SHAFTS	66 SF	6.13 m <sup>2</sup>	0.0%	
STORAGE	586 SF	54.45 m <sup>2</sup>	0.4%	
	<b>14732 SF</b>	<b>1368.63 m<sup>2</sup></b>	<b>8.8%</b>	
<b>6TH LEVEL</b>				
CIRCULATION	1264 SF	117.43 m <sup>2</sup>	0.8%	
RESIDENTIAL	12816 SF	1190.63 m <sup>2</sup>	7.7%	
SERVICE ROOMS/SHAFTS	66 SF	6.13 m <sup>2</sup>	0.0%	
STORAGE	586 SF	54.45 m <sup>2</sup>	0.4%	
	<b>14732 SF</b>	<b>1368.63 m<sup>2</sup></b>	<b>8.8%</b>	

**0.2.1 gross floor area summary (level) (parkade not included)**

LEVEL / AREA TYPE	AREA SF	AREA m <sup>2</sup>	AREA %	COMMENTS
<b>BUILDING B</b>				
<b>2ND LEVEL</b>				
CIRCULATION	1710 SF	158.83 m <sup>2</sup>	1.0%	
INDOOR AMENITY	1370 SF	127.28 m <sup>2</sup>	0.8%	
RESIDENTIAL	11726 SF	1089.35 m <sup>2</sup>	7.0%	
SERVICE ROOMS/SHAFTS	136 SF	12.60 m <sup>2</sup>	0.1%	
STORAGE	605 SF	56.24 m <sup>2</sup>	0.4%	
	<b>15546 SF</b>	<b>1444.30 m<sup>2</sup></b>	<b>9.3%</b>	
<b>3RD LEVEL</b>				
CIRCULATION	1597 SF	148.38 m <sup>2</sup>	1.0%	
RESIDENTIAL	13272 SF	1233.00 m <sup>2</sup>	8.0%	
SERVICE ROOMS/SHAFTS	72 SF	6.66 m <sup>2</sup>	0.0%	
STORAGE	606 SF	56.26 m <sup>2</sup>	0.4%	
	<b>15546 SF</b>	<b>1444.30 m<sup>2</sup></b>	<b>9.3%</b>	
<b>4TH LEVEL</b>				
CIRCULATION	1597 SF	148.38 m <sup>2</sup>	1.0%	
RESIDENTIAL	13272 SF	1233.00 m <sup>2</sup>	8.0%	
SERVICE ROOMS/SHAFTS	72 SF	6.66 m <sup>2</sup>	0.0%	
STORAGE	606 SF	56.26 m <sup>2</sup>	0.4%	
	<b>15546 SF</b>	<b>1444.30 m<sup>2</sup></b>	<b>9.3%</b>	
<b>5TH LEVEL</b>				
CIRCULATION	1597 SF	148.38 m <sup>2</sup>	1.0%	
RESIDENTIAL	13272 SF	1233.00 m <sup>2</sup>	8.0%	
SERVICE ROOMS/SHAFTS	72 SF	6.66 m <sup>2</sup>	0.0%	
STORAGE	606 SF	56.26 m <sup>2</sup>	0.4%	
	<b>15546 SF</b>	<b>1444.30 m<sup>2</sup></b>	<b>9.3%</b>	
<b>6TH LEVEL</b>				
CIRCULATION	1597 SF	148.38 m <sup>2</sup>	1.0%	
RESIDENTIAL	13272 SF	1233.00 m <sup>2</sup>	8.0%	
SERVICE ROOMS/SHAFTS	72 SF	6.66 m <sup>2</sup>	0.0%	
STORAGE	606 SF	56.26 m <sup>2</sup>	0.4%	
	<b>15546 SF</b>	<b>1444.30 m<sup>2</sup></b>	<b>9.3%</b>	
<b>BUILDING C</b>				
<b>1ST LEVEL</b>				
CIRCULATION	4072 SF	378.27 m <sup>2</sup>	2.4%	
RESIDENTIAL	9709 SF	901.97 m <sup>2</sup>	5.8%	
SERVICE ROOMS/SHAFTS	943 SF	87.63 m <sup>2</sup>	0.6%	
STORAGE	533 SF	49.56 m <sup>2</sup>	0.3%	
	<b>15257 SF</b>	<b>1417.44 m<sup>2</sup></b>	<b>9.2%</b>	
<b>AREA GRAND TOTAL</b>	<b>166648 SF</b>	<b>15482.09 m<sup>2</sup></b>	<b>100.0%</b>	

**0.2.2 gross floor area summary (level) (parkade only)**

LEVEL / AREA TYPE	AREA SF	AREA m <sup>2</sup>	AREA %	COMMENTS
<b>UNDERGROUND PARKING</b>				
<b>P1 LEVEL</b>				
CIRCULATION	1050 SF	97.52 m <sup>2</sup>	2.3%	
PARKADE	41923 SF	3894.80 m <sup>2</sup>	92.4%	
SERVICE ROOMS/SHAFTS	687 SF	63.79 m <sup>2</sup>	1.5%	
STORAGE	1735 SF	161.21 m <sup>2</sup>	3.8%	
	<b>45395 SF</b>	<b>4217.31 m<sup>2</sup></b>	<b>100.0%</b>	
<b>AREA GRAND TOTAL</b>	<b>45395 SF</b>	<b>4217.31 m<sup>2</sup></b>	<b>100.0%</b>	



WHITETAIL EASTLEIGH APMTS.  
 20644 EASTLEIGH CRESCENT, LANGLEY, BC

PROJECT DATA  
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ISSUED FOR DP RESUBMISSION

22/08/30 REVISION #:  
 CITY OF LANGLEY FILE # -  
 PROJECT NUMBER: 21192.1



SD1.11

**0.3.0 unit count summary (building)**

UNIT TYPE	UNIT COUNT	UNIT TYPE %	COMMENTS
<b>BUILDING A</b>			
1 BED	5	2.9%	
1 BED & DEN	25	14.4%	
1 BED (ADAPTABLE)	20	11.5%	
2 BED & DEN	23	13.2%	
3 BED & DEN	7	4.0%	
4 BED & DEN	1	0.6%	
	<b>81</b>	<b>46.6%</b>	
<b>BUILDING B</b>			
1 BED	3	1.7%	
1 BED & DEN	8	4.6%	
1 BED (ADAPTABLE)	24	13.8%	
2 BED & DEN	35	20.1%	
3 BED & DEN	6	3.4%	
4 BED & DEN	3	1.7%	
	<b>79</b>	<b>45.4%</b>	
<b>BUILDING C</b>			
1 BED & DEN	4	2.3%	
1 BED (ADAPTABLE)	6	3.4%	
2 BED & DEN	4	2.3%	
	<b>14</b>	<b>8.0%</b>	
<b>GRAND TOTAL UNITS: 174</b>	<b>174</b>	<b>100.0%</b>	

**0.3.1 unit count summary**

UNIT TYPE	UNIT COUNT	UNIT TYPE %	COMMENTS
1 BED	8	4.6%	
1 BED & DEN	37	21.3%	
1 BED (ADAPTABLE)	50	28.7%	
2 BED & DEN	62	35.6%	
3 BED & DEN	13	7.5%	
4 BED & DEN	4	2.3%	
<b>GRAND TOTAL UNITS: 174</b>	<b>174</b>	<b>100.0%</b>	

**0.4.0 unit floor area summary notes**

- ALL UNIT AREAS ARE MEASURED TO THE FOLLOWING: A) EXTERIOR WALL- EXTERIOR SIDE OF SHEATHING. B) PARTY WALL- CENTER OF WALL. C) CORRIDOR/STAIR/ELEVATOR WALL- FULL THICKNESS OF WALL.
- AREAS GIVEN ON DRAWINGS AND IN SCHEDULES ARE NOT TO BE CONSIDERED LEGAL STRATA AREAS. CONFIRM STRATA AREAS BY SURVEY ON SITE

**0.4.1 unit floor area summary**

UNIT	UNIT TYPE	COUNT	UNIT AREA SF (1SF)	UNIT AREA m <sup>2</sup> (1m <sup>2</sup> )	TOTAL UNIT AREA SF	TOTAL UNIT AREA m <sup>2</sup>
<b>BUILDING A</b>						
UNIT A1	1 BED (ADAPTABLE)	16	543 SF	50 m <sup>2</sup>	8687 SF	807.01 m <sup>2</sup>
UNIT A1.1	1 BED	5	545 SF	51 m <sup>2</sup>	2726 SF	253.26 m <sup>2</sup>
UNIT A1.2	1 BED (ADAPTABLE)	4	541 SF	50 m <sup>2</sup>	2162 SF	200.90 m <sup>2</sup>
UNIT B1	1 BED & DEN	4	635 SF	59 m <sup>2</sup>	2541 SF	236.07 m <sup>2</sup>
UNIT B1	1 BED & DEN	16	636 SF	59 m <sup>2</sup>	10174 SF	945.22 m <sup>2</sup>
UNIT B2	1 BED & DEN	4	737 SF	68 m <sup>2</sup>	2946 SF	273.73 m <sup>2</sup>
UNIT B4	1 BED & DEN	1	674 SF	63 m <sup>2</sup>	674 SF	62.64 m <sup>2</sup>
UNIT C5	2 BED & DEN	4	897 SF	83 m <sup>2</sup>	3587 SF	333.24 m <sup>2</sup>
UNIT C6	2 BED & DEN	3	902 SF	84 m <sup>2</sup>	2706 SF	251.38 m <sup>2</sup>
UNIT C6.1	2 BED & DEN	1	996 SF	93 m <sup>2</sup>	996 SF	92.57 m <sup>2</sup>
UNIT C7	2 BED & DEN	3	846 SF	79 m <sup>2</sup>	2537 SF	235.65 m <sup>2</sup>
UNIT C8.1	2 BED & DEN	4	806 SF	75 m <sup>2</sup>	3225 SF	299.58 m <sup>2</sup>
UNIT C9	2 BED & DEN	4	1143 SF	106 m <sup>2</sup>	4573 SF	424.84 m <sup>2</sup>
UNIT C10	2 BED & DEN	4	1050 SF	98 m <sup>2</sup>	4198 SF	390.02 m <sup>2</sup>
UNIT D2 (PH)	3 BED & DEN	1	1178 SF	109 m <sup>2</sup>	1178 SF	109.47 m <sup>2</sup>
UNIT D3 (PH)	3 BED & DEN	1	1388 SF	129 m <sup>2</sup>	1388 SF	128.97 m <sup>2</sup>
UNIT D4 (PH)	4 BED & DEN	1	1799 SF	167 m <sup>2</sup>	1799 SF	167.10 m <sup>2</sup>
UNIT D5 (PH)	3 BED & DEN	1	1086 SF	101 m <sup>2</sup>	1086 SF	100.88 m <sup>2</sup>
UNIT D6 (PH)	3 BED & DEN	2	1272 SF	118 m <sup>2</sup>	2543 SF	236.30 m <sup>2</sup>
UNIT D7 (PH)	3 BED & DEN	1	1880 SF	175 m <sup>2</sup>	1880 SF	174.64 m <sup>2</sup>
UNIT D8 (PH)	3 BED & DEN	1	1590 SF	148 m <sup>2</sup>	1590 SF	147.73 m <sup>2</sup>
					<b>63197 SF</b>	<b>5871.22 m<sup>2</sup></b>
<b>BUILDING B</b>						
UNIT A1	1 BED (ADAPTABLE)	24	543 SF	50 m <sup>2</sup>	13027 SF	1210.22 m <sup>2</sup>
UNIT A2	1 BED	3	576 SF	54 m <sup>2</sup>	1729 SF	160.60 m <sup>2</sup>
UNIT B1	1 BED & DEN	4	635 SF	59 m <sup>2</sup>	2541 SF	236.07 m <sup>2</sup>
UNIT B1	1 BED & DEN	4	636 SF	59 m <sup>2</sup>	2544 SF	236.34 m <sup>2</sup>
UNIT C2	2 BED & DEN	4	918 SF	85 m <sup>2</sup>	3673 SF	341.23 m <sup>2</sup>
UNIT C3	2 BED & DEN	4	928 SF	86 m <sup>2</sup>	3712 SF	344.88 m <sup>2</sup>
UNIT C4	2 BED & DEN	4	905 SF	84 m <sup>2</sup>	3620 SF	336.30 m <sup>2</sup>
UNIT C4	2 BED & DEN	4	906 SF	84 m <sup>2</sup>	3623 SF	336.57 m <sup>2</sup>
UNIT C5	2 BED & DEN	4	897 SF	83 m <sup>2</sup>	3587 SF	333.24 m <sup>2</sup>
UNIT C6	2 BED & DEN	4	902 SF	84 m <sup>2</sup>	3608 SF	335.17 m <sup>2</sup>
UNIT C7	2 BED & DEN	3	846 SF	79 m <sup>2</sup>	2537 SF	235.65 m <sup>2</sup>
UNIT C7.1	2 BED & DEN	1	833 SF	77 m <sup>2</sup>	833 SF	77.37 m <sup>2</sup>
UNIT C8	2 BED & DEN	3	958 SF	89 m <sup>2</sup>	2873 SF	266.91 m <sup>2</sup>
UNIT C11	2 BED & DEN	4	910 SF	84 m <sup>2</sup>	3638 SF	337.99 m <sup>2</sup>
UNIT D1 (PH)	3 BED & DEN	1	1534 SF	142 m <sup>2</sup>	1534 SF	142.47 m <sup>2</sup>
UNIT D2 (PH)	3 BED & DEN	1	1178 SF	109 m <sup>2</sup>	1178 SF	109.47 m <sup>2</sup>
UNIT D3 (PH)	3 BED & DEN	1	1388 SF	129 m <sup>2</sup>	1388 SF	128.97 m <sup>2</sup>
UNIT D4 (PH)	4 BED & DEN	1	1799 SF	167 m <sup>2</sup>	1799 SF	167.10 m <sup>2</sup>
UNIT D5 (PH)	3 BED & DEN	1	1085 SF	101 m <sup>2</sup>	1085 SF	100.84 m <sup>2</sup>
UNIT D9 (PH)	3 BED & DEN	1	1452 SF	135 m <sup>2</sup>	1452 SF	134.92 m <sup>2</sup>
UNIT D10 (PH)	4 BED & DEN	1	1554 SF	144 m <sup>2</sup>	1554 SF	144.39 m <sup>2</sup>
UNIT D11 (PH)	4 BED & DEN	1	1833 SF	170 m <sup>2</sup>	1833 SF	170.29 m <sup>2</sup>
UNIT D12 (PH)	3 BED & DEN	1	1448 SF	135 m <sup>2</sup>	1448 SF	134.56 m <sup>2</sup>
					<b>84816 SF</b>	<b>8021.57 m<sup>2</sup></b>
<b>BUILDING C</b>						
UNIT A1	1 BED (ADAPTABLE)	3	543 SF	50 m <sup>2</sup>	1628 SF	151.26 m <sup>2</sup>
UNIT A1	1 BED (ADAPTABLE)	1	555 SF	52 m <sup>2</sup>	555 SF	51.57 m <sup>2</sup>
UNIT A1	1 BED (ADAPTABLE)	1	560 SF	52 m <sup>2</sup>	560 SF	52.01 m <sup>2</sup>
UNIT A1.2	1 BED (ADAPTABLE)	1	556 SF	52 m <sup>2</sup>	556 SF	51.89 m <sup>2</sup>
UNIT B1	1 BED & DEN	3	636 SF	59 m <sup>2</sup>	1908 SF	177.26 m <sup>2</sup>
UNIT B3	1 BED & DEN	1	831 SF	77 m <sup>2</sup>	831 SF	77.22 m <sup>2</sup>
UNIT C2	2 BED & DEN	1	918 SF	85 m <sup>2</sup>	918 SF	85.30 m <sup>2</sup>
UNIT C3	2 BED & DEN	1	928 SF	86 m <sup>2</sup>	928 SF	86.20 m <sup>2</sup>
UNIT C4	2 BED & DEN	1	905 SF	84 m <sup>2</sup>	905 SF	84.08 m <sup>2</sup>
UNIT C4	2 BED & DEN	1	919 SF	85 m <sup>2</sup>	919 SF	85.40 m <sup>2</sup>
					<b>9700 SF</b>	<b>901.80 m<sup>2</sup></b>
<b>GRAND TOTAL UNITS: 174</b>					<b>137722 SF</b>	<b>12794.78 m<sup>2</sup></b>



**WHITETAIL EASTLEIGH APMTS.**  
20644 EASTLEIGH CRESCENT, LANGLEY, BC

**PROJECT DATA**  
SCALE: N.T.S.

**ISSUED FOR DP RESUBMISSION**

22/08/30 REVISION #:  
CITY OF LANGLEY FILE #:  
PROJECT NUMBER: 21192.1



SD1.12

0.5.0 parking stall summary

		UNITS / AREA	CURRENT FACTOR	REQUIRED STALLS	PROPOSED FACTOR	PROPOSED STALLS
<b>VEHICLE PARKING STALL DATA</b>						
TENANT - 1 BED		95 UNITS	*1.2	114 STALLS	*1.0	95 STALLS
TENANT - 2 BED		62 UNITS	*1.2	74.4 STALLS	*1.2	(74.4) 75 STALLS
TENANT - 3 BED / 4 BED		17 UNITS	*2	34 STALLS	*1.45	(24.7) 25 STALLS
				223 STALLS		<b>195 STALLS + 8 EXTRA STALLS = 203</b>
VISITOR		174 UNITS	*0.2 PARKING SPACES PER UNIT	34.8 STALLS	*0.15	<b>26 STALLS</b>
<b>TOTAL STALLS</b>				<b>258 STALLS</b>		<b>227 STALLS + 1 LOADING STALL = 228 STALLS</b>
<b>PARKING PROVIDED</b>						
TENANT	ACCESSIBLE	A MINIMUM OF 5% OF THE TOTAL PARKING SPACES REQUIRED SHALL BE DESIGNATED AS HANDICAPPED PARKING SPACES.		-	5 % OF THE TOTAL PROPOSED STALLS	202 x .05 = (10.1) 10 STALLS
	SMALL CAR	A MAXIMUM OF 40% OF THE TOTAL PARKING SPACES REQUIRED MAY BE DESIGNATED AS SMALL CAR PARKING SPACES.		-	31.2%	202 x .312 = 59 STALLS + 4 EV STALLS = 63 STALLS
	ELECTRIC VEHICLE	10% OF THE TOTAL TENANT PARKING SPACES ROUNDED TO NEAREST EVEN NUMBER		-	10% OF THE TOTAL TENANT PARKING SPACES ROUNDED TO NEAREST EVEN NUMBER	202 x .10 = (20.2) 20 EV STALLS (16 STANDARD SIZE AND 4 SMALL CAR SIZE)
	STANDARD SIZE	-		-	-	202 - 10 - 63 = 129 STALLS (16 STANDARD EV STALLS)
						<b>201 STALLS</b>
VISITOR	ACCESSIBLE	A MINIMUM OF 5% OF THE TOTAL PARKING SPACES REQUIRED SHALL BE DESIGNATED AS HANDICAPPED PARKING SPACES.		-	5% OF THE TOTAL PROPOSED STALLS	26 x .05 = (1.3) 1 STALL + 1 (ADDITIONAL) = 2 STALLS
	SMALL CAR	A MAXIMUM OF 40% OF THE TOTAL PARKING SPACES REQUIRED MAY BE DESIGNATED AS SMALL CAR PARKING SPACES.		-	61.5% OF THE TOTAL PROPOSED VISITOR STALLS (EXCLUDING THE ACCESSIBLE)	26 x .615 = 16 STALLS
	ELECTRIC VEHICLE	10% OF THE TOTAL VISITOR PARKING SPACES ROUNDED TO NEAREST EVEN NUMBER		-	10% OF THE TOTAL VISITOR PARKING SPACES ROUNDED TO NEAREST EVEN NUMBER	26 x .10 = (2.6) 2 EV STALLS (STANDARD SIZE)
	STANDARD SIZE	-		-	-	26 - 2 - 16 = 8 STALLS (2 STANDARD EV STALLS)
						<b>26 STALLS</b>
<b>TOTAL STALLS</b>				<b>254 STALLS</b>		<b>227 STALLS + 1 LOADING STALL = 228 STALLS</b>
<b>SPECIALTY PARKING STALL DATA</b>						
			CURRENT FACTOR / SIZE	REQUIRED	PROPOSED FACTOR / SIZE	PROPOSED
LOADING			-	1	SIZE 11'-0" X 25'-0"	1
<b>BIKE PARKING STALL DATA</b>						
		UNITS	FACTOR	REQUIRED	PROPOSED FACTOR	PROVIDED
TENANT (UNIT) (CLASS 1)		174 UNITS	*0.5 SPACES PER UNIT	87	*.5	<b>87 BIKE STALLS</b>
	VERTICAL MOUNT BIKE STALL	-	VERTICAL PARKING IS ALLOWABLE UP TO 40% OF THE TOTAL REQUIRED NUMBER OF STALLS	34.8	14.9%	87 x .149 = 13 BIKE STALLS
	SURFACE L MOUNT BIKE STALL	-	-	52.2	-	87 - 13 = 74 BIKE STALLS
VISITOR (CLASS 2)	SURFACE BIKE STALL	N/A	6 SPACES PER BUILDING	6	6 SPACES PER BUILDING	<b>6 STALLS</b>
<b>TOTAL STALLS</b>				<b>92 STALLS</b>		<b>93 STALLS</b>
<b>STORAGE LOCKERS DATA</b>						
		UNITS	FACTOR	REQUIRED	PROPOSED FACTOR	PROVIDED
TENANTS		174	MIN 5.67m <sup>3</sup> OF USABLE STORAGE AREA PER UNIT WITH A LOCKER HEIGHT OF AT LEAST 1.8 M	1 STORAGE LOCKER PER UNIT	*1.0 (5.75 m <sup>3</sup> )	174 + 3 = 177

0.5.1 vehicle parking stall summary

PARKING STALL USER/TYPE	PARKING STALL COUNT	% BY STALL USER	% OF OVERALL	LEVEL	COMMENTS
<b>LOADING</b>					
LOADING	1	100%	0.4%	1ST LEVEL	SURFACE STALL GARBAGE TRUCK TRANSFER
<b>LOADING: 1</b>		<b>100%</b>	<b>0.4%</b>		
<b>TENANT</b>					
ACCESSIBLE	10	5%	4.4%	P1 LEVEL	
SMALL CAR	44	22%	19.3%	P1 LEVEL	
SMALL CAR (EV)	4	2%	1.8%	P1 LEVEL	
STANDARD	75	37%	32.9%	P1 LEVEL	
STANDARD	38	19%	16.7%	1ST LEVEL	
STANDARD SIZE (EV)	16	8%	7.0%	P1 LEVEL	
<b>TENANT: 201</b>		<b>100%</b>	<b>88.2%</b>		
<b>VISITOR</b>					
ACCESSIBLE	2	8%	0.9%	1ST LEVEL	
SMALL CAR	20	77%	8.8%	1ST LEVEL	
STANDARD	2	8%	0.9%	1ST LEVEL	
STANDARD (EV)	2	8%	0.9%	1ST LEVEL	
<b>VISITOR: 26</b>		<b>100%</b>	<b>11.4%</b>		
<b>TOTAL PARKING STALLS: 228</b>			<b>100.0%</b>		

0.5.2 vehicle parking stall summary (level)

PARKING STALL USER/TYPE	PARKING STALL COUNT	% BY STALL USER	% OF OVERALL	LEVEL	COMMENTS
<b>LOADING</b>					
LOADING	1	100%	0.4%	1ST LEVEL	SURFACE STALL GARBAGE TRUCK TRANSFER
<b>LOADING: 1</b>		<b>100%</b>	<b>0.4%</b>		
<b>: 1</b>			<b>0.4%</b>		
<b>PARKADE</b>					
<b>TENANT</b>					
ACCESSIBLE	10	7%	4.4%	P1 LEVEL	
SMALL CAR	44	30%	19.3%	P1 LEVEL	
SMALL CAR (EV)	4	3%	1.8%	P1 LEVEL	
STANDARD	75	50%	32.9%	P1 LEVEL	
STANDARD SIZE (EV)	16	11%	7.0%	P1 LEVEL	
<b>TENANT: 149</b>		<b>100%</b>	<b>65.4%</b>		
<b>PARKADE: 149</b>			<b>65.4%</b>		
<b>SURFACE PARKING</b>					
<b>TENANT</b>					
SMALL CAR	14	27%	6.1%	1ST LEVEL	
STANDARD	38	73%	16.7%	1ST LEVEL	
<b>TENANT: 52</b>		<b>100%</b>	<b>22.8%</b>		
<b>VISITOR</b>					
ACCESSIBLE	2	8%	0.9%	1ST LEVEL	
SMALL CAR	20	77%	8.8%	1ST LEVEL	
STANDARD	2	8%	0.9%	1ST LEVEL	
STANDARD (EV)	2	8%	0.9%	1ST LEVEL	
<b>VISITOR: 26</b>		<b>100%</b>	<b>11.4%</b>		
<b>SURFACE PARKING: 78</b>			<b>34.2%</b>		
<b>TOTAL PARKING STALLS: 228</b>			<b>100.0%</b>		

**0.5.3 bike parking stall summary**

PARKING STALL USER/TYPE	PARKING STALL COUNT	PARKING STALL %	LEVEL	COMMENTS
<b>PARKADE</b>				
<b>TENANT</b>				
SURFACE MOUNT BIKE STALL	74	79.6%	P1 LEVEL	
VERTICAL MOUNT BIKE STALL	13	14.0%	P1 LEVEL	
<b>TENANT: 87</b>		<b>93.5%</b>		
<b>PARKADE: 87</b>		<b>93.5%</b>		
<b>SURFACE PARKING</b>				
<b>VISITOR</b>				
SURFACE MOUNT BIKE STALL	6	6.5%	1ST LEVEL	
<b>VISITOR: 6</b>		<b>6.5%</b>		
<b>SURFACE PARKING: 6</b>		<b>6.5%</b>		
<b>TOTAL PARKING STALLS: 93</b>		<b>100.0%</b>		

**0.5.4 storage stall summary**

PARKING STALL USER/TYPE	PARKING STALL COUNT	PARKING STALL %	LEVEL	COMMENTS
<b>BUILDING A</b>				
<b>TENANT</b>				
STORAGE COMPARTMENT STALL	16	9.0%	2ND LEVEL	
STORAGE COMPARTMENT STALL	16	9.0%	3RD LEVEL	
STORAGE COMPARTMENT STALL	16	9.0%	4TH LEVEL	
STORAGE COMPARTMENT STALL	16	9.0%	5TH LEVEL	
STORAGE COMPARTMENT STALL	16	9.0%	6TH LEVEL	
<b>BUILDING A: 80</b>		<b>45.2%</b>		
<b>BUILDING B</b>				
<b>TENANT</b>				
STORAGE COMPARTMENT STALL	17	9.6%	2ND LEVEL	
STORAGE COMPARTMENT STALL	17	9.6%	3RD LEVEL	
STORAGE COMPARTMENT STALL	17	9.6%	4TH LEVEL	
STORAGE COMPARTMENT STALL	17	9.6%	5TH LEVEL	
STORAGE COMPARTMENT STALL	17	9.6%	6TH LEVEL	
<b>BUILDING B: 85</b>		<b>48.0%</b>		
<b>BUILDING C</b>				
<b>TENANT</b>				
STORAGE COMPARTMENT STALL	12	6.8%	1ST LEVEL	
<b>BUILDING C: 12</b>		<b>6.8%</b>		
<b>TOTAL STORAGE STALLS: 177</b>		<b>100.0%</b>		



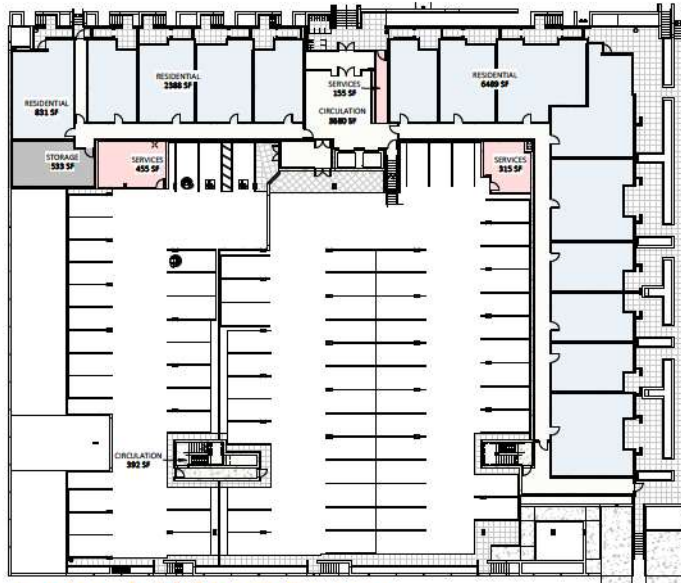
**WHITETAIL EASTLEIGH APMTS.**  
20644 EASTLEIGH CRESCENT, LANGLEY, BC

**PROJECT DATA**  
SCALE: N.T.S.

**ISSUED FOR DP RESUBMISSION**  
22/08/30 REVISION #:  
CITY OF LANGLEY FILE # -  
PROJECT NUMBER: 21192.1



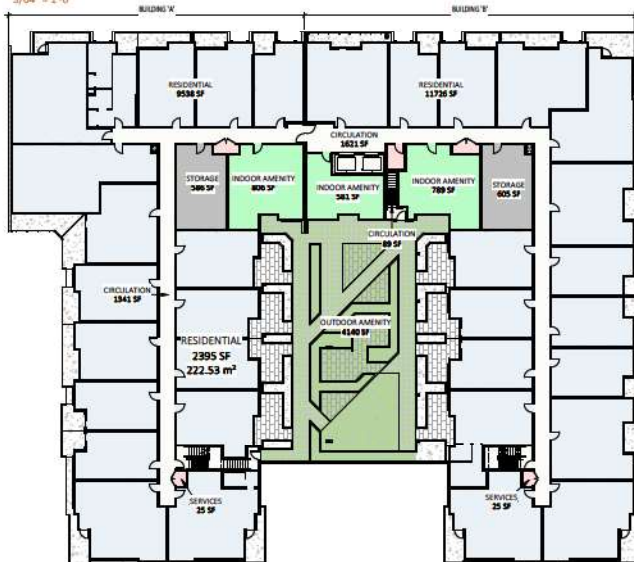
SD1.14



- CIRCULATION
- RESIDENTIAL
- SERVICE ROOMS/SHAFTS
- STORAGE

1st level / bldg. "c" area

3/64" = 1'-0"



- CIRCULATION
- INDOOR AMENITY
- OUTDOOR AMENITY
- RESIDENTIAL
- SERVICE ROOMS/SHAFTS
- STORAGE

2nd level / bldg. "a" & "b" area

3/64" = 1'-0"

0.6.0 fsr floor area summary notes

1. FSR IS MEASURED TO OUTSIDE FACE OF SHEATHING

0.6.2 fsr calculation

1. 166,648 S.F. ( 1,544 HECTARES ) / 52,822 S.F. ( .490 HECTARES ) = 3.15 FSR

0.6.1 fsr floor area summary

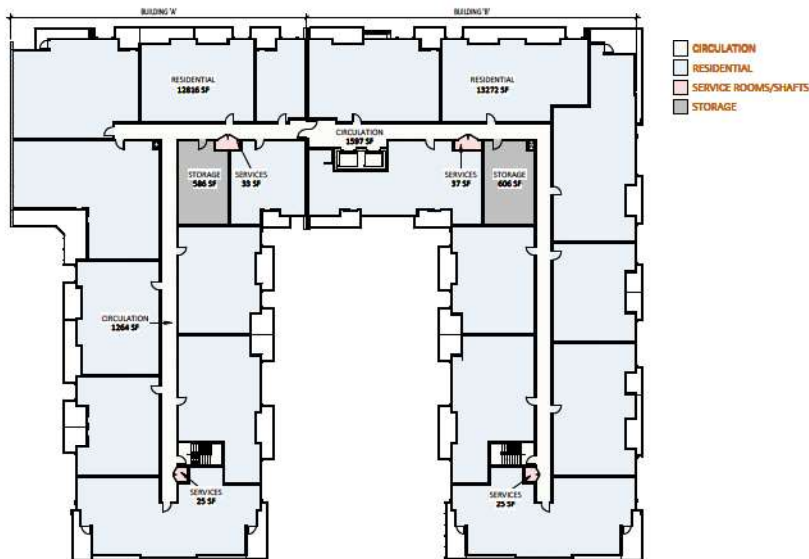
LEVEL / AREA TYPE	AREA SF	AREA m <sup>2</sup>	AREA %	COMMENTS
<b>CIRCULATION</b>				
1ST LEVEL	4072 SF	378.27 m <sup>2</sup>	2.4%	
2ND LEVEL	3050 SF	283.39 m <sup>2</sup>	1.8%	
3RD LEVEL	2861 SF	265.81 m <sup>2</sup>	1.7%	
4TH LEVEL	2861 SF	265.81 m <sup>2</sup>	1.7%	
5TH LEVEL	2861 SF	265.81 m <sup>2</sup>	1.7%	
6TH LEVEL	2861 SF	265.81 m <sup>2</sup>	1.7%	
<b>18567 SF</b>	<b>1724.90 m<sup>2</sup></b>	<b>11.1%</b>		
<b>INDOOR AMENITY</b>				
2ND LEVEL	2176 SF	202.17 m <sup>2</sup>	1.3%	
<b>2176 SF</b>	<b>202.17 m<sup>2</sup></b>	<b>1.3%</b>		
<b>RESIDENTIAL</b>				
1ST LEVEL	9709 SF	901.97 m <sup>2</sup>	5.8%	
2ND LEVEL	23659 SF	2197.95 m <sup>2</sup>	14.2%	
3RD LEVEL	26088 SF	2423.63 m <sup>2</sup>	15.7%	
4TH LEVEL	26088 SF	2423.63 m <sup>2</sup>	15.7%	
5TH LEVEL	26088 SF	2423.63 m <sup>2</sup>	15.7%	
6TH LEVEL	26088 SF	2423.63 m <sup>2</sup>	15.7%	
<b>137718 SF</b>	<b>12794.44 m<sup>2</sup></b>	<b>82.6%</b>		
<b>SERVICE ROOMS/SHAFTS</b>				
1ST LEVEL	943 SF	87.63 m <sup>2</sup>	0.6%	
2ND LEVEL	207 SF	19.7% m <sup>2</sup>	0.1%	
3RD LEVEL	138 SF	12.79 m <sup>2</sup>	0.1%	
4TH LEVEL	138 SF	12.79 m <sup>2</sup>	0.1%	
5TH LEVEL	138 SF	12.79 m <sup>2</sup>	0.1%	
6TH LEVEL	138 SF	12.79 m <sup>2</sup>	0.1%	
<b>1695 SF</b>	<b>157.51 m<sup>2</sup></b>	<b>1.0%</b>		
<b>STORAGE</b>				
1ST LEVEL	533 SF	49.56 m <sup>2</sup>	0.3%	
2ND LEVEL	1192 SF	110.70 m <sup>2</sup>	0.7%	
3RD LEVEL	1192 SF	110.71 m <sup>2</sup>	0.7%	
4TH LEVEL	1192 SF	110.71 m <sup>2</sup>	0.7%	
5TH LEVEL	1192 SF	110.71 m <sup>2</sup>	0.7%	
6TH LEVEL	1192 SF	110.71 m <sup>2</sup>	0.7%	
<b>6492 SF</b>	<b>603.08 m<sup>2</sup></b>	<b>3.9%</b>		
<b>AREA GRAND TOTAL</b>	<b>166648 SF</b>	<b>15482.10 m<sup>2</sup></b>	<b>100.0%</b>	







**3rd /4th/5th level / bldg. "a" & "b" area**  
3/64" = 1'-0"



**6th level / bldg. "a" & "b" area**  
3/64" = 1'-0"

**0.6.0 fsr floor area summary notes**

1. FSR IS MEASURED TO OUTSIDE FACE OF SHEATHING

**0.6.2 fsr calculation**

1. 166,648 S.F. ( 1,544 HECTARES ) / 52,822 S.F. ( .490 HECTARES ) = 3.15 FSR

**0.6.1 fsr floor area summary**

LEVEL / AREA TYPE	AREA SF	AREA m <sup>2</sup>	AREA %	COMMENTS
<b>CIRCULATION</b>				
1ST LEVEL	4072 SF	378.27 m <sup>2</sup>	2.4%	
2ND LEVEL	3050 SF	283.39 m <sup>2</sup>	1.8%	
3RD LEVEL	2861 SF	265.81 m <sup>2</sup>	1.7%	
4TH LEVEL	2861 SF	265.81 m <sup>2</sup>	1.7%	
5TH LEVEL	2861 SF	265.81 m <sup>2</sup>	1.7%	
6TH LEVEL	2861 SF	265.81 m <sup>2</sup>	1.7%	
<b>TOTAL</b>	<b>18567 SF</b>	<b>1724.90 m<sup>2</sup></b>	<b>11.1%</b>	
<b>INDOOR AMENITY</b>				
2ND LEVEL	2176 SF	202.17 m <sup>2</sup>	1.3%	
<b>TOTAL</b>	<b>2176 SF</b>	<b>202.17 m<sup>2</sup></b>	<b>1.3%</b>	
<b>RESIDENTIAL</b>				
1ST LEVEL	9709 SF	901.97 m <sup>2</sup>	5.8%	
2ND LEVEL	23659 SF	2197.95 m <sup>2</sup>	14.2%	
3RD LEVEL	26088 SF	2423.63 m <sup>2</sup>	15.7%	
4TH LEVEL	26088 SF	2423.63 m <sup>2</sup>	15.7%	
5TH LEVEL	26088 SF	2423.63 m <sup>2</sup>	15.7%	
6TH LEVEL	26088 SF	2423.63 m <sup>2</sup>	15.7%	
<b>TOTAL</b>	<b>137718 SF</b>	<b>12794.44 m<sup>2</sup></b>	<b>82.6%</b>	
<b>SERVICE ROOMS/SHAFTS</b>				
1ST LEVEL	943 SF	87.63 m <sup>2</sup>	0.6%	
2ND L. PUPP	200 SF	18.73 m <sup>2</sup>	0.1%	
3RD LEVEL	138 SF	12.79 m <sup>2</sup>	0.1%	
4TH LEVEL	138 SF	12.79 m <sup>2</sup>	0.1%	
5TH LEVEL	138 SF	12.79 m <sup>2</sup>	0.1%	
6TH LEVEL	138 SF	12.79 m <sup>2</sup>	0.1%	
<b>TOTAL</b>	<b>1893 SF</b>	<b>157.51 m<sup>2</sup></b>	<b>1.0%</b>	
<b>STORAGE</b>				
1ST LEVEL	533 SF	49.56 m <sup>2</sup>	0.3%	
2ND LEVEL	1192 SF	110.70 m <sup>2</sup>	0.7%	
3RD LEVEL	1192 SF	110.71 m <sup>2</sup>	0.7%	
4TH LEVEL	1192 SF	110.71 m <sup>2</sup>	0.7%	
5TH LEVEL	1192 SF	110.71 m <sup>2</sup>	0.7%	
6TH LEVEL	1192 SF	110.71 m <sup>2</sup>	0.7%	
<b>TOTAL</b>	<b>6492 SF</b>	<b>603.08 m<sup>2</sup></b>	<b>3.9%</b>	
<b>AREA GRAND TOTAL</b>	<b>166648 SF</b>	<b>15482.10 m<sup>2</sup></b>	<b>100.0%</b>	



## design rationale

### project description

THIS PROPOSED DEVELOPMENT IS COMPRISED OF A SIX-STORY WOOD FRAME 174-UNIT MULTI-FAMILY RESIDENTIAL BUILDING ON A SINGLE LEVEL CONCRETE PARKADE SURROUNDING A RAISED COURTYARD TO THE SOUTH-EAST, PROVIDING AMPLE INDOOR, OUTDOOR AMENITY SPACE AND PARKING FOR THE OVERALL DEVELOPMENT.

UNITS LOCATED ALONG THE EASTLEIGH CRESCENT STREET FRONT ARE GROUND-ORIENTED SINGLE-STORY UNITS REPLICATING TWO-STORY TOWNHOME EXPRESSION WHICH CREATE HUMAN SCALE INTERACTION WITH THE STREET, BOOKENDED BY RAISED ANGULAR PROJECTING-COLOURED FEATURES BRINGING REDUCED SCALE AND ARTICULATION TO THE FAÇADE. ENTRY IS CELEBRATED ALONG THE CENTER BY A DISTINCT ROOF PROJECTION AND CLERESTORY WINDOWS COVERING THE SET BACK LOBBY OF THE BUILDING.

### massing, form & character

THE SITING AND MASSING OF THE BUILDING IS DESIGNED TO ALLOW NATURAL DAYLIGHT INTO THE UNITS THROUGH LARGE WINDOWS AND BALCONY PROJECTIONS, WITH A LARGE OUTDOOR AMENITY SPACE ADJACENT TO AN OPEN COURTYARD ORIENTED TOWARD THE SOUTH OF THE SITE CREATING A SENSE OF OPENNESS AND BRINGING NATURAL LIGHT INTO THE UPPER FLOOR UNITS. THE BUILDING FAÇADE IS RHYTHMICALLY DIVIDED AND MASSED VERTICALLY TO BREAK UP THE BUILDING MASSING ALONG THE STREET FRONT, WITH A GROUND FLOOR PLANE SCALED HORIZONTALLY WITH REDUCED MASSING IN ORDER TO PRESENT A PEDESTRIAN-FRIENDLY HUMAN SCALE INVITING CONNECTION WITH THE STREET FACE.

THE EXTERIOR TREATMENT REFLECTS THAT OF AN URBAN CONTEMPORARY VERNACULAR WITH THE USE OF GRAY, WHITE, CHARCOAL TONES AND WOOD FEATURES ALONG THE BALCONIES AND FASCIA'S AS WELL AS MASONRY ELEMENTS ALONG THE GROUND PLANE TO BRING A SENSE OF WARMTH AND WELCOMING AS A LIVABLE PLACE ALONG STREET, AND IN CONTEXT WITH THE OTHER NEW DEVELOPMENTS IN THE NEIGHBORHOOD. FEATURE GREEN-TONED PROJECTIONS AT THE CORNERS AND OVER THE ENTRY THAT BREAK UP THE BUILDING HEIGHT, STRENGTHEN THE ENTRY AND BRING VISUAL INTEREST TO THE BUILDING FAÇADE.

MATERIALS CONSIST OF A BLEND OF BRICK, CEMENTITIOUS PANEL, LAP SIDING, AND WOOD TRIM ALONG THE BALCONY PROJECTIONS THAT BOTH ARTICULATE A LOWER SCALE ALONG THE STREET AND COURTYARD ENTRIES, AND ALSO PROVIDE A SENSE OF INTEREST, OPENNESS AND LIVABILITY AT THE UPPER EXTERIOR INTERFACES WITH THE PUBLIC REALM.

THE BALCONIES ALSO PROVIDE ENHANCED VIEWS ALLOWING TENANTS TO EXPERIENCE THE OUTDOORS WHILE MAINTAINING PRIVACY WITHIN THE SUITES.

### environmental sustainability

ADDRESSED WITHIN THE DEVELOPMENT BY THE PROVISION OF BIKE RACKS AND BIKE STORAGE, LARGE OPEN GREEN SPACES, LIGHT POLLUTION REDUCTION BY MEANS OF DARK SKY COMPLIANT EXTERIOR LIGHTING SYSTEMS, WATER EFFICIENT LANDSCAPING AND PLUMBING SYSTEMS, NATURAL VENTILATION THROUGH OPERABLE WINDOWS AND ENERGY EFFICIENT HVAC SYSTEMS, STORAGE AND COLLECTION OF RECYCLABLES, RENEWABLE BASED WOOD BUILDING MATERIALS AND HEAT ISLAND EFFECT REDUCTION BY MAXIMIZING DENSITY AND INCORPORATING LIGHT COLOURED ROOFING FINISHES.

### crime prevention

ENVIRONMENTAL DESIGN PRINCIPLES (CPTED) HAVE BEEN INCORPORATED INTO THE DESIGN BY MEANS OF NATURAL SURVEILLANCE THROUGHOUT THE PERIMETER, INTERIOR COURTYARDS AND PARKADE LEVELS BY MEANS OF CLEAR VIEWING LINES FROM THE RESIDENTIAL UNITS AND BALCONIES, ELIMINATION OF ALL POTENTIAL DARK AREAS AND ACCESSES/EXITS, CLEARLY DEFINED MAIN ENTRANCES AND SECURE AND FULLY ACCESSIBLE PARKING.





**WHITETAIL EASTLEIGH APMTS.**  
20644 EASTLEIGH CRESCENT, LANGLEY, BC

**RENDERINGS**  
SCALE: N.T.S.

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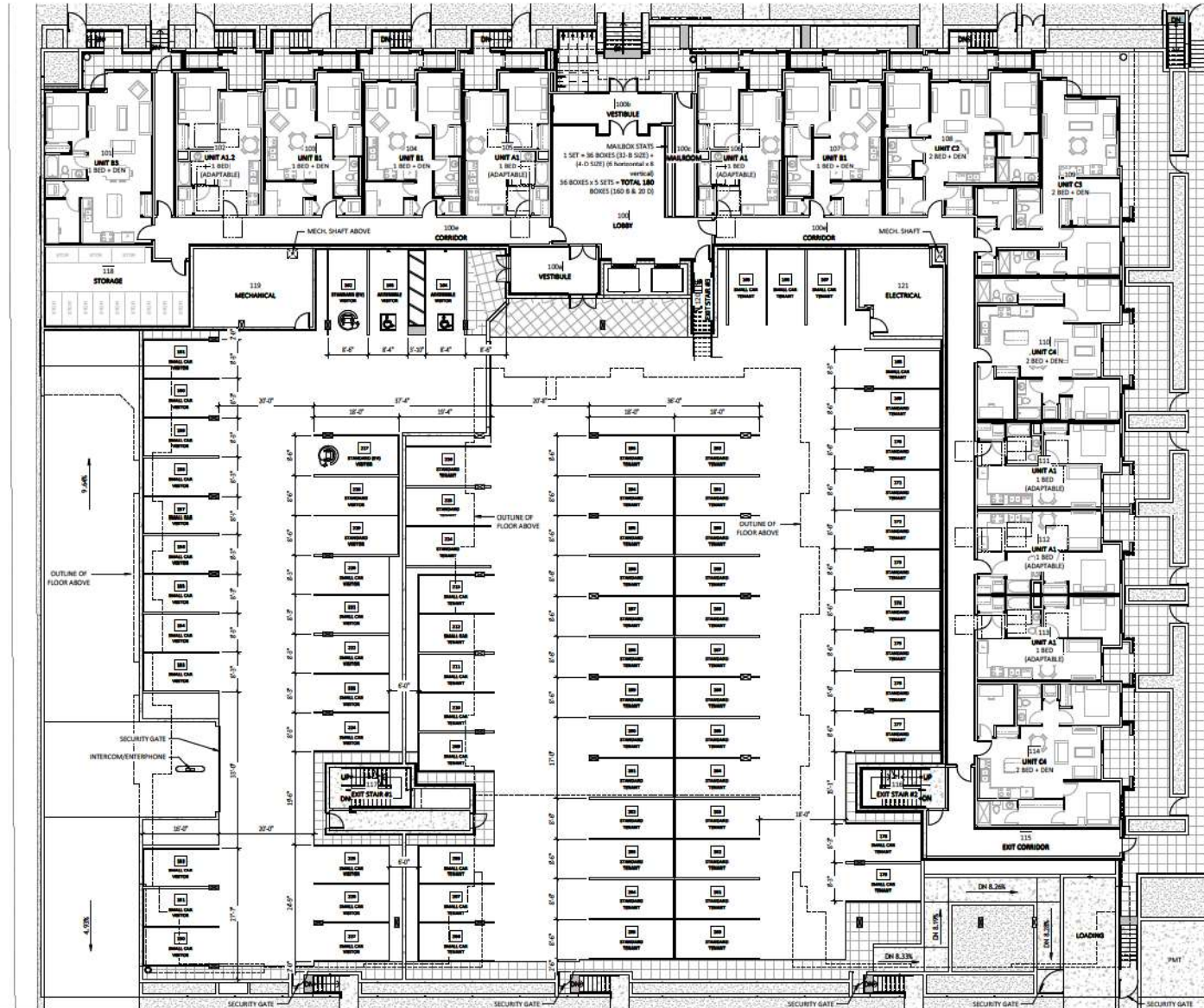


SD1.21

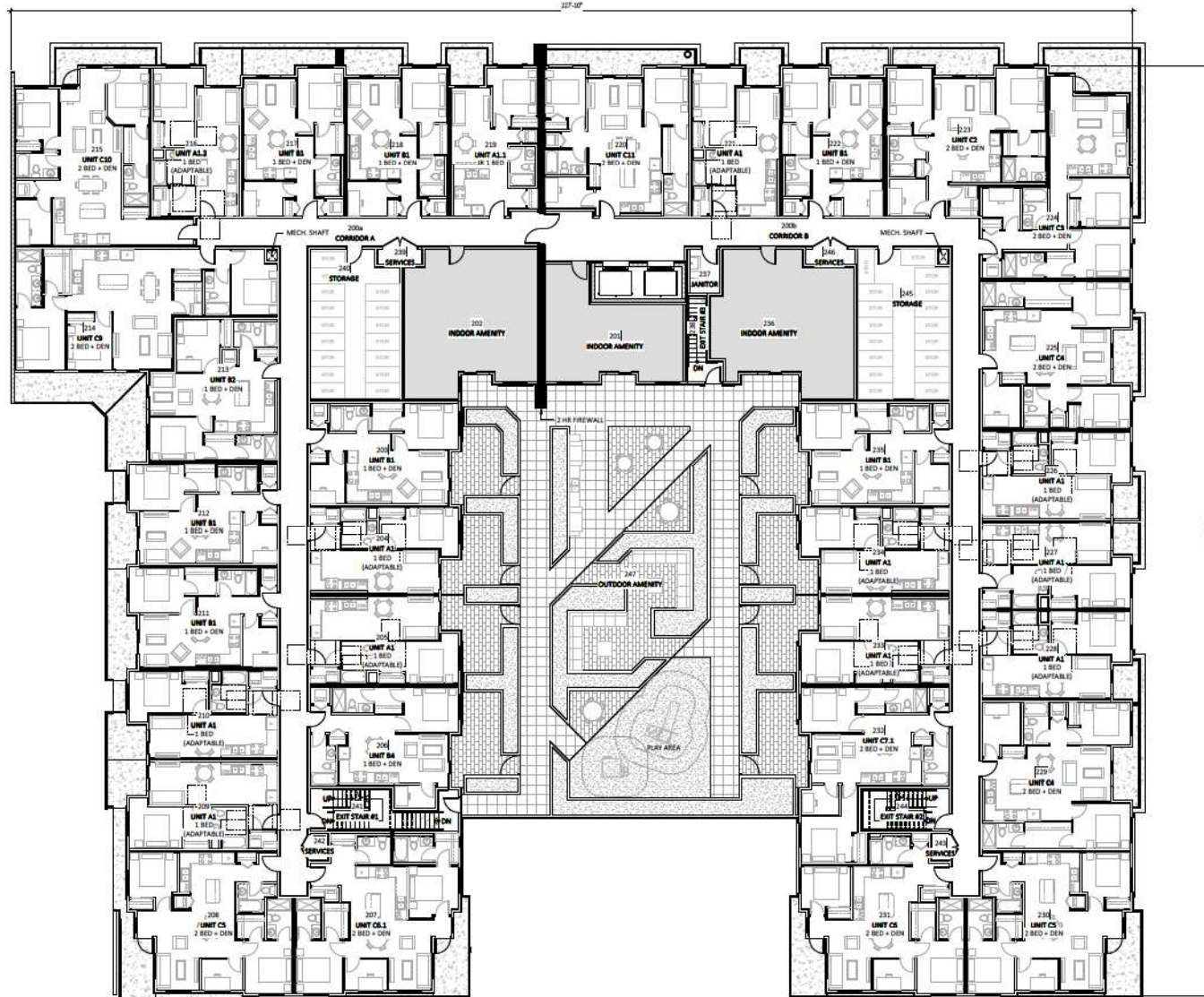


- general site notes**
1. REFER TO SITE LAYOUT PLAN FOR BUILDING POSITIONING ON SITE.
  2. REFER TO SITE CODE PLAN.
  3. REFER TO CIVIL ENGINEER'S DRAWINGS FOR PAVED AREA DRAINAGE, SITE ELEVATIONS, SANITARY AND SEWER LINES, EXTENT OF DEMO, NEW AND REPAIRED PAVING, OTHER SERVICES, ETC.
  4. VERIFY ALL SITE INFORMATION, BUILDING AREA, DIMENSIONS AND BEARINGS WITH LEGAL SURVEY PLAN.
  5. REFER TO LANDSCAPE DRAWINGS FOR ALL HARD & SOFT LANDSCAPING.
  6. TW = TOP OF WALL  
BW = BOTTOM OF WALL  
BOC = BOTTOM OF CURB  
TOC = TOP OF CURB
  7. NEW ELEVATION: 10.50m  
EXISTING ELEVATION: 10.50m

**site plan**  
1/16" = 1'-0"



**1st level**  
3/32" = 1'-0"



**2nd level**

3/32" = 1'-0"



**WHITETAIL EASTLEIGH APMTS.**  
20644 EASTLEIGH CRESCENT, LANGLEY, BC

**2nd LEVEL PLAN**  
SCALE: 3/32" = 1'-0"

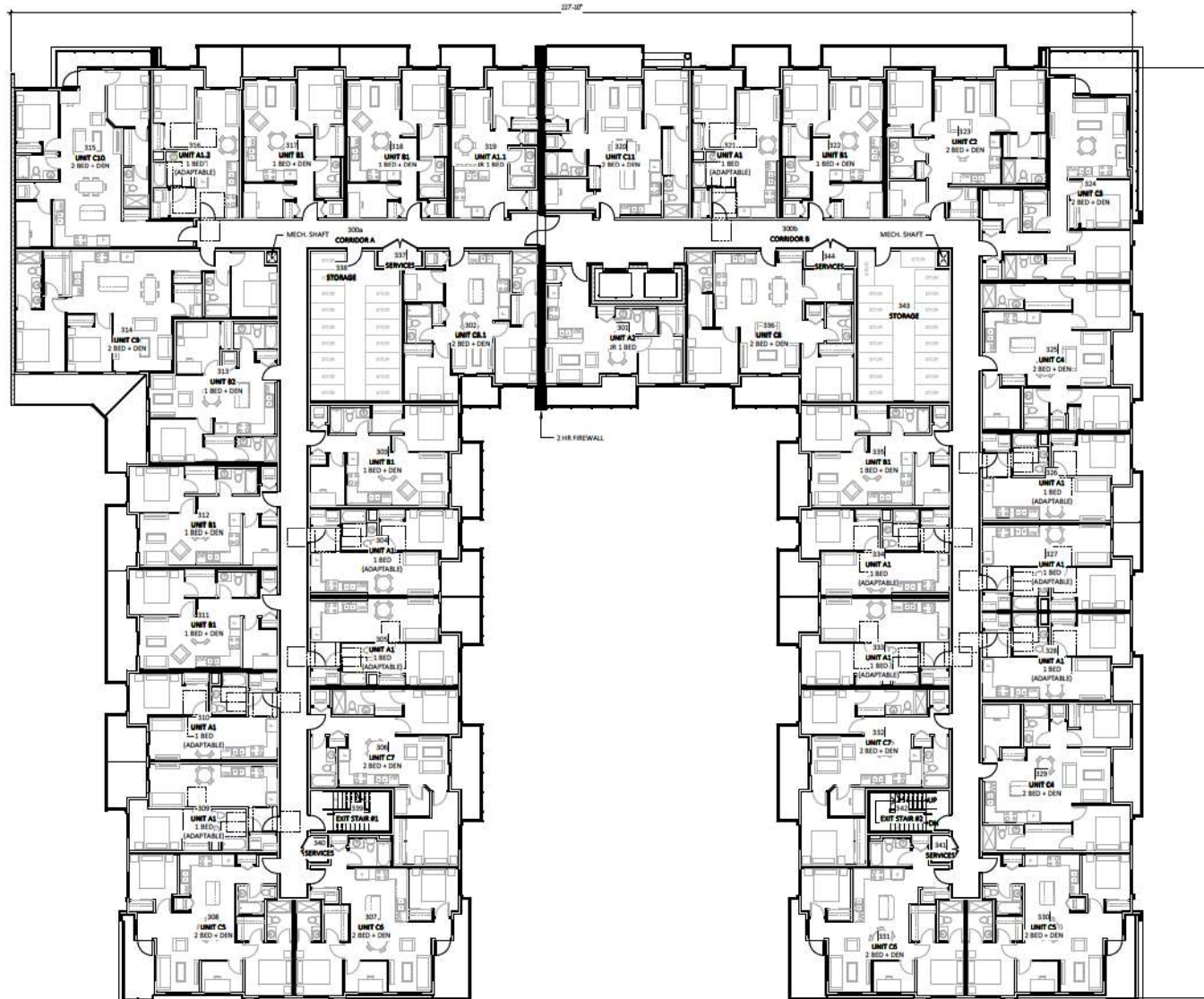


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SD2.11



**3rd level**  
3/32" = 1'-0"



**WHITETAIL EASTLEIGH APMTS.**  
20644 EASTLEIGH CRESCENT, LANGLEY, BC

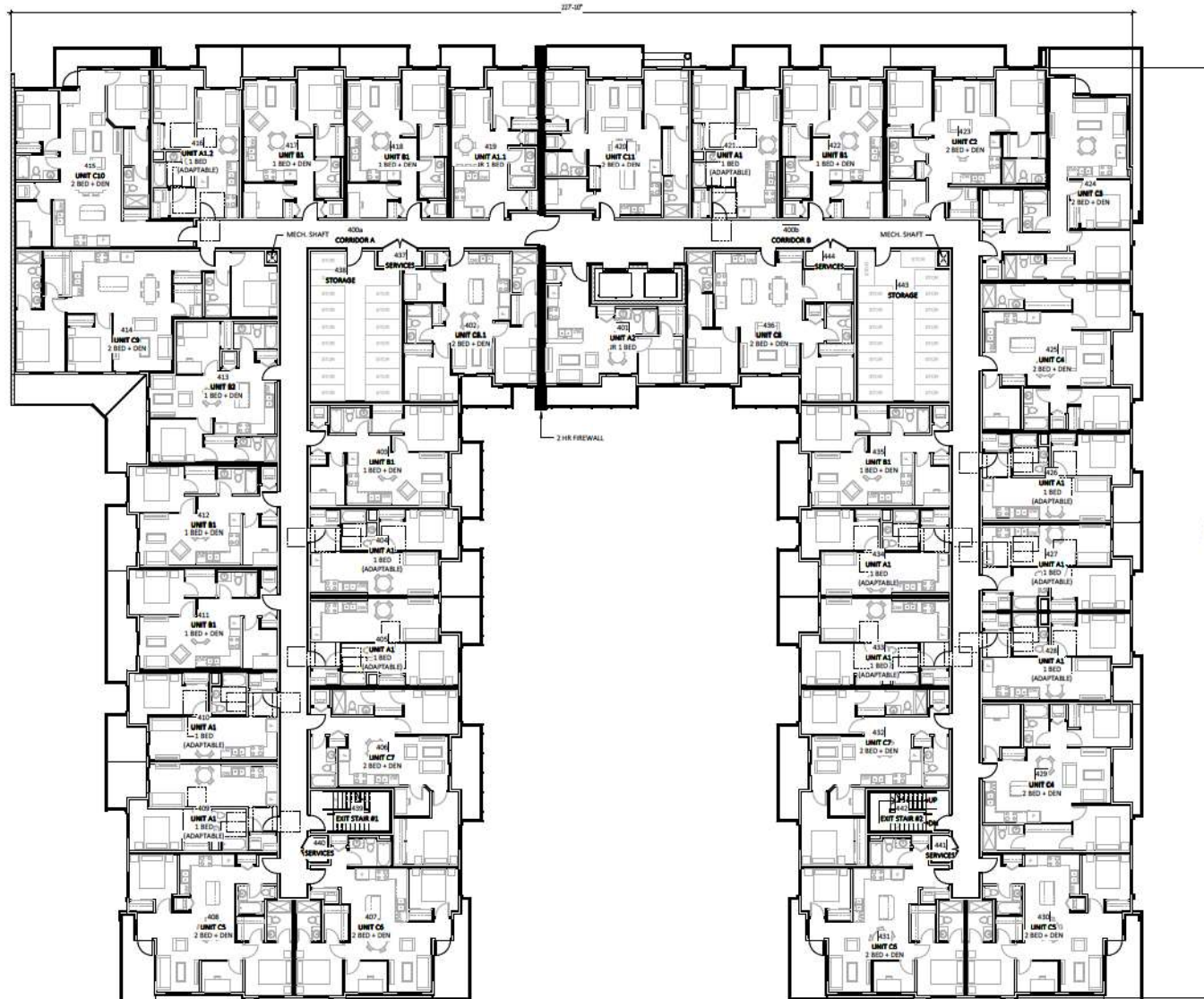
**3rd LEVEL PLAN**  
SCALE: 3/32" = 1'-0"



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SD2.12



**4th level**

3/32" = 1'-0"



**WHITETAIL EASTLEIGH APMTS.**  
20644 EASTLEIGH CRESCENT, LANGLEY, BC

**4th LEVEL PLAN**  
SCALE: 3/32" = 1'-0"



**ISSUED FOR DP RESUBMISSION**

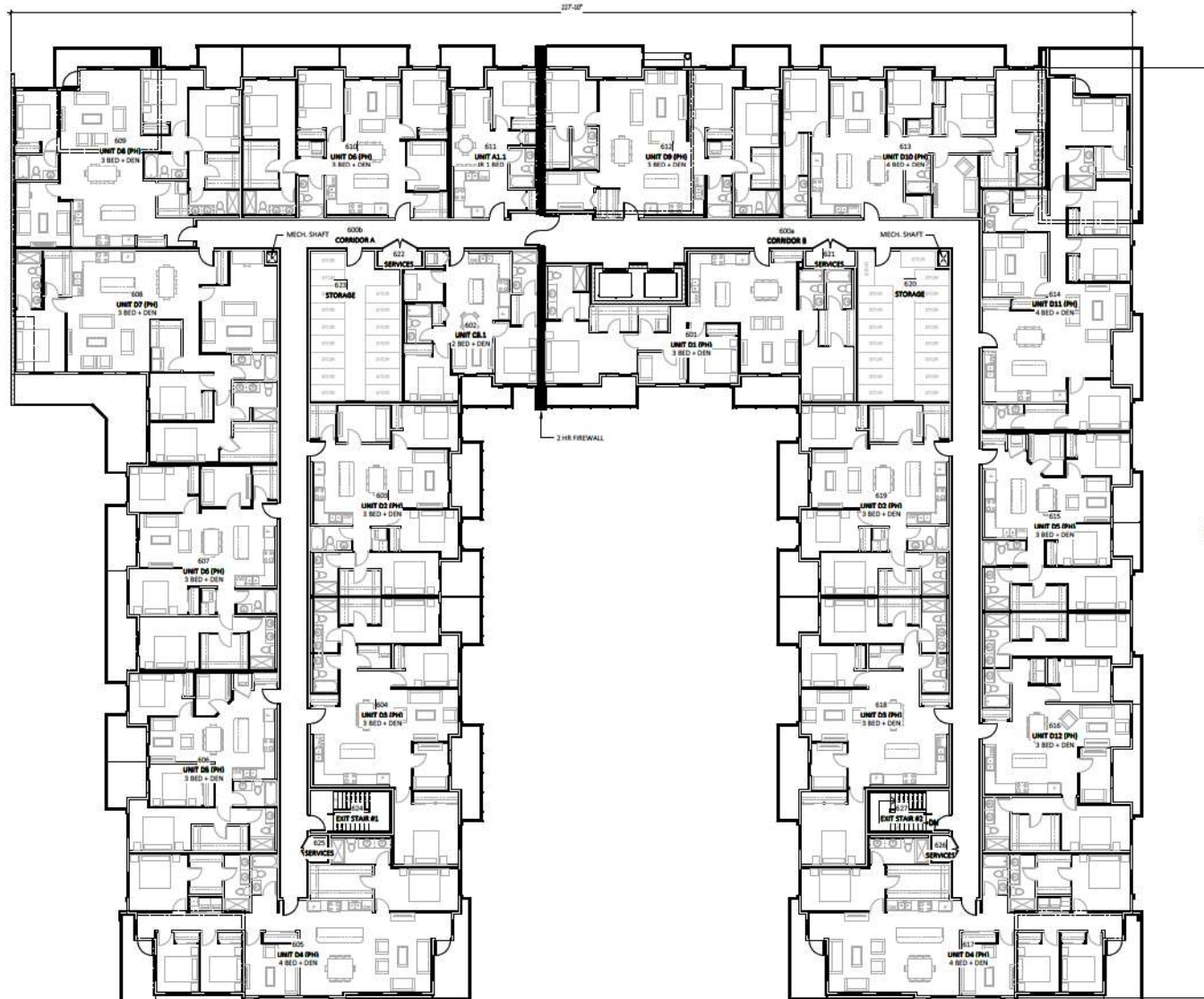
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CITY OF LANGLEY FILE #:  
PROJECT NUMBER: 21192.1



SD2.13







**6th level**

3/32" = 1'-0"



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**6th LEVEL PLAN**  
SCALE: 3/32" = 1'-0"



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SD2.15



**roof level**

3/32" = 1'-0"



**WHITETAIL EASTLEIGH APMTS.**  
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**ROOF LEVEL PLAN**  
SCALE: 3/32" = 1'-0"

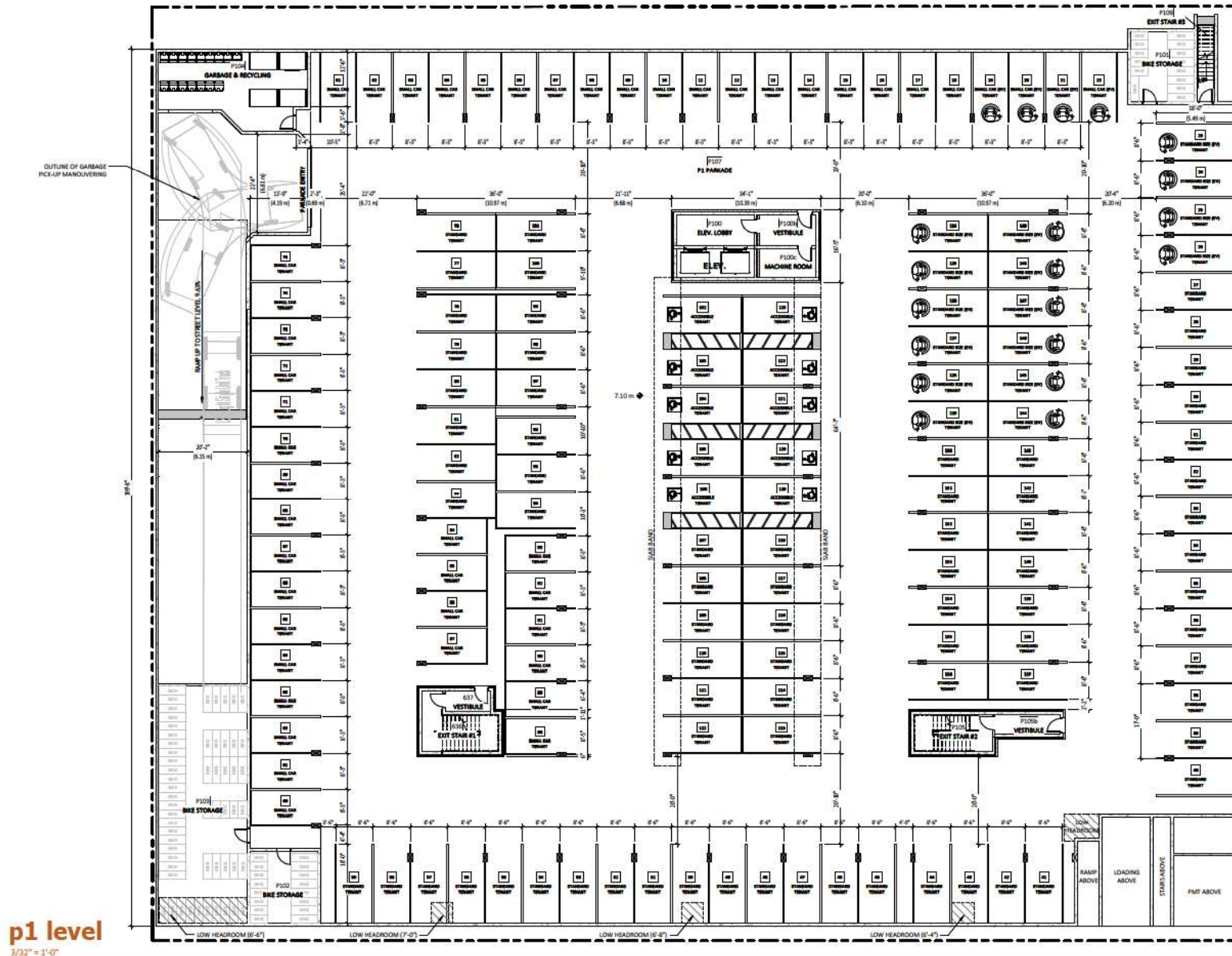


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SD2.16





**north elevation**  
3/32" = 1'-0"



**east elevation**  
3/32" = 1'-0"

**material legend**

- 1 PERMENT FINISH (CONCRETE PANEL) (C/W COLOUR MATCHED REVEALS)  
- JAMES HARDIE: COLOUR: 'IRON GRAY'
- 2 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS)  
- JAMES HARDIE: COLOUR: 'NIGHT GRAY'
- 3 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS)  
- JAMES HARDIE: COLOUR: 'IRON GRAY'
- 4 CEMENT BOARD CEDARWALL HORIZONTAL LAP SIDING (8" EXPOSURE)  
- JAMES HARDIE: COLOUR: 'SOFT MIST'
- 5 CEMENT BOARD CEDARWALL HORIZONTAL LAP SIDING (8" EXPOSURE)  
- JAMES HARDIE: COLOUR: 'NIGHT GRAY'
- 6 CEMENT BOARD FASGA BOARD, TEXTURE: 'SMOOTH'  
- JAMES HARDIE: COLOUR: 'WEATHERED BRONZE'
- 7 CEMENT BOARD FASGA BOARD, TEXTURE: 'SMOOTH'  
- JAMES HARDIE: COLOUR: 'IRON GRAY'
- 8 BRICK, TEXTURE: 'SMOOTH',  
- 'TRISTAR', COLOUR: 'GRAY', MORTAR COLOUR: 'DARK GRAY'
- 9 ALUMINUM GLAZED SYSTEM:  
- COLOUR: 'CLEAR ANODIZED', C/W GRAY SPANDREL PANEL
- 10 ALUMINUM/GLASS PATIO PRIVACY SCREEN:  
- COLOUR: 'BLACK ANODIZED'
- 11 VINYL WINDOW:  
- COLOUR: 'WHITE EXT. / WHITE INT.'
- 12 ALUMINUM CLADDING (WOODGRAIN):  
- 'LONGBOARD', COLOUR: 'DARK WALNUT'
- 13 ALUMINUM COMPOSITE METAL PANEL:  
- COLOUR: 'BOTANICAL'
- 14 ALUMINUM/GLASS BALCONY RAILING:  
- COLOUR: 'CLEAR ANODIZED'
- 15 VINYL DOOR:  
- COLOUR: 'WHITE EXT. / WHITE INT.'
- 16 METAL DOOR:  
- COLOUR: 'NIGHT GRAY'
- 17 CONCRETE WALL:  
- COLOUR TO MATCH  
- JAMES HARDIE: COLOUR: 'IRON GRAY'
- 18 CONCRETE WALLCAP:  
- COLOUR: 'CLEAR SEALER'
- 19 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS)  
- JAMES HARDIE: COLOUR: 'ARTIC WHITE'

**NOTES:**  
1. ALL CLADDING MATERIALS SHOWN RETURN AT BUILDING PERIMETER RECESSES U.L.O.



**WHITETAIL EASTLEIGH APMTS.**  
20644 EASTLEIGH CRESCENT, LANGLEY, BC

**BUILDING ELEVATIONS**  
SCALE: 3/32" = 1'-0"

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CITY OF LANGLEY FILE #:  
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SD3.01



**south elevation**

3/32" = 1'-0"

**material legend**

1. CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS):  
- JAMES HARDIE, COLOUR: 'IRON GRAY'
2. CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS):  
- JAMES HARDIE, COLOUR: 'NIGHT GRAY'
3. CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS):  
- JAMES HARDIE, COLOUR: 'IRON GRAY'
4. CEMENT BOARD CEDAR/MILL HORIZONTAL LAP SIDING (8" EXPOSURE):  
- JAMES HARDIE, COLOUR: 'LIGHT WEST'
5. CEMENT BOARD CEDAR/MILL HORIZONTAL LAP SIDING (8" EXPOSURE):  
- JAMES HARDIE, COLOUR: 'NIGHT GRAY'
6. CEMENT BOARD FASICA BOARD, TEXTURE: 'SMOOTH':  
- JAMES HARDIE, COLOUR: 'SANTERES BRONZE'
7. CEMENT BOARD FASICA BOARD, TEXTURE: 'SMOOTH':  
- JAMES HARDIE, COLOUR: 'IRON GRAY'
8. BRICK, TEXTURE: 'SMOOTH':  
- TRISTAR, COLOUR: 'GRAY', MORTAR COLOUR: 'DARK GRAY'
9. ALUMINUM GLAZED SYSTEM:  
- COLOUR: 'CLEAR ANODIZED', C/W GRAY SPANDREL PANEL
10. ALUMINUM/GLASS PATIO PRIVACY SCREEN:  
- COLOUR: 'BLACK ANODIZED'
11. VINYL WINDOW:  
- COLOUR: 'WHITE EXT. / WHITE INT.'
12. ALUMINUM CLADDING (WOODGRAIN):  
- 'CONTOUR', COLOUR: 'DARK WALNUT'
13. ALUMINUM COMPOSITE METAL PANEL:  
- COLOUR: 'BOTANICAL'
14. ALUMINUM/GLASS BALCONY RAILING:  
- COLOUR: 'CLEAR ANODIZED'
15. VINYL DOOR:  
- COLOUR: 'WHITE EXT. / WHITE INT.'
16. METAL DOOR:  
- COLOUR: 'NIGHT GRAY'
17. CONCRETE WALL:  
- COLOUR TO MATCH  
- JAMES HARDIE, COLOUR: 'IRON GRAY'
18. CONCRETE WALL/CAP:  
- COLOUR: 'CLEAR SEALER'
19. CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS):  
- JAMES HARDIE, COLOUR: 'ARTIC WHITE'

**NOTES**

1. ALL CLADDING MATERIALS SHOWN RETURN AT BUILDING PERIMETER RECESSES I.N.D.



**west elevation**

3/32" = 1'-0"



**WHITETAIL EASTLEIGH APMTS.**  
20644 EASTLEIGH CRESCENT, LANGLEY, BC

**BUILDING ELEVATIONS**  
SCALE: 3/32" = 1'-0"

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PROJECT NUMBER: 21192.1



SD3.02



elevation - east courtyard  
3/32" = 1'-0"

**material legend**

- CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS):  
- JAMES HARDIE, COLOUR: 'GRAY SLATE'
- CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS):  
- JAMES HARDIE, COLOUR: 'NIGHT GRAY'
- CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS):  
- JAMES HARDIE, COLOUR: 'IRON GRAY'
- CEMENT BOARD CEDAR/MALL HORIZONTAL LAP SIDING (B' EXPOSURE):  
- JAMES HARDIE, COLOUR: 'NIGHT GRAY'
- CEMENT BOARD CEDAR/MALL HORIZONTAL LAP SIDING (B' EXPOSURE):  
- JAMES HARDIE, COLOUR: 'NIGHT GRAY'
- CEMENT BOARD FASCIA BOARD, TEXTURE: 'SMOOTH':  
- JAMES HARDIE, COLOUR: 'SILVERED BRONZE'
- CEMENT BOARD FASCIA BOARD, TEXTURE: 'SMOOTH':  
- JAMES HARDIE, COLOUR: 'IRON GRAY'
- BRICK, TEXTURE: 'SMOOTH':  
- TRISTAR, COLOUR: 'GRAY', MORTAR COLOUR: 'DARK GRAY'
- ALUMINUM GLAZED SYSTEM:  
- COLOUR: 'CLEAR ANODIZED', C/W GRAY SANDREL PANEL
- ALUMINUM/GLASS PATIO PRIVACY SCREEN:  
- COLOUR: 'BLACK ANODIZED'
- VINYL WINDOW:  
- COLOUR: 'WHITE EXT. / WHITE INT.'
- ALUMINUM CLADDING (WOODGRAIN):  
- 'CONTOURWAY', COLOUR: 'DARK WALNUT'
- ALUMINUM COMPOSITE METAL PANEL:  
- COLOUR: 'BOTANICAL'
- ALUMINUM/GLASS BALCONY RAILING:  
- COLOUR: 'CLEAR ANODIZED'
- VINYL DOOR:  
- COLOUR: 'WHITE EXT. / WHITE INT.'
- METAL DOOR:  
- COLOUR: 'NIGHT GRAY'
- CONCRETE WALL:  
- COLOUR: TO MATCH  
- JAMES HARDIE, COLOUR: 'IRON GRAY'
- CONCRETE WALL/CAP:  
- COLOUR: 'CLEAR SEALER'
- CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS):  
- JAMES HARDIE, COLOUR: 'ARTIC WHITE'

**NOTES**  
1. ALL CLADDING MATERIALS SHOWN RETURN AT BUILDING PERIMETER RECESSES I.L.D.



elevation - west courtyard  
3/32" = 1'-0"



elevation - north courtyard  
3/32" = 1'-0"



north elevation



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**WHITETAIL EASTLEIGH APMTS.**

20644 EASTLEIGH CRESCENT, LANGLEY, BC

**RENDERED ELEVATIONS**

SCALE: N.T.S.

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SD3.10





east elevation



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**WHITETAIL EASTLEIGH APMTS.**

20644 EASTLEIGH CRESCENT, LANGLEY, BC

**RENDERED ELEVATIONS**

SCALE: N.T.S.

**ISSUED FOR DP RESUBMISSION**

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SD3.11



south elevation



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**WHITETAIL EASTLEIGH APMTS.**

20644 EASTLEIGH CRESCENT, LANGLEY, BC

**RENDERED ELEVATIONS**

SCALE: N.T.S.

**ISSUED FOR DP RESUBMISSION**

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SD3.12



west elevation



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**WHITETAIL EASTLEIGH APMTS.**

20644 EASTLEIGH CRESCENT, LANGLEY, BC

**RENDERED ELEVATIONS**

SCALE: N.T.S.

**ISSUED FOR DP RESUBMISSION**

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SD3.13



north east perspective



north west perspective



north entry elevation



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**WHITETAIL EASTLEIGH APMTS.**  
20644 EASTLEIGH CRESCENT, LANGLEY, BC

**RENDERED PERSPECTIVES**  
SCALE: N.T.S.

**ISSUED FOR DP RESUBMISSION**

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PROJECT NUMBER: 21192.1



SD3.14



**WHITETAIL EASTLEIGH APMTS.**  
20644 EASTLEIGH CRESCENT, LANGLEY, BC

**RENDERED PERSPECTIVES**  
SCALE: N.T.S.

**ISSUED FOR DP RESUBMISSION**  
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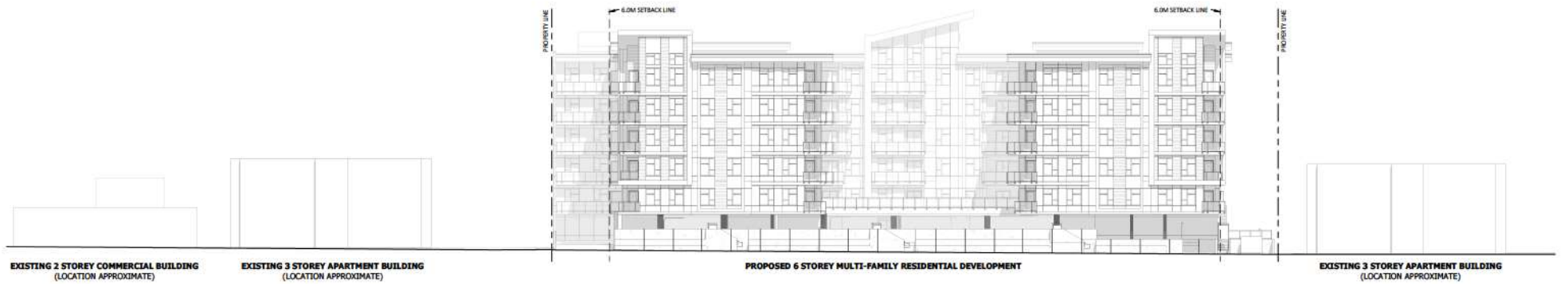


SD3.15



**eastleigh crescent streetscape**

1/16" = 1'-0"



**rear lane streetscape**

1/16" = 1'-0"



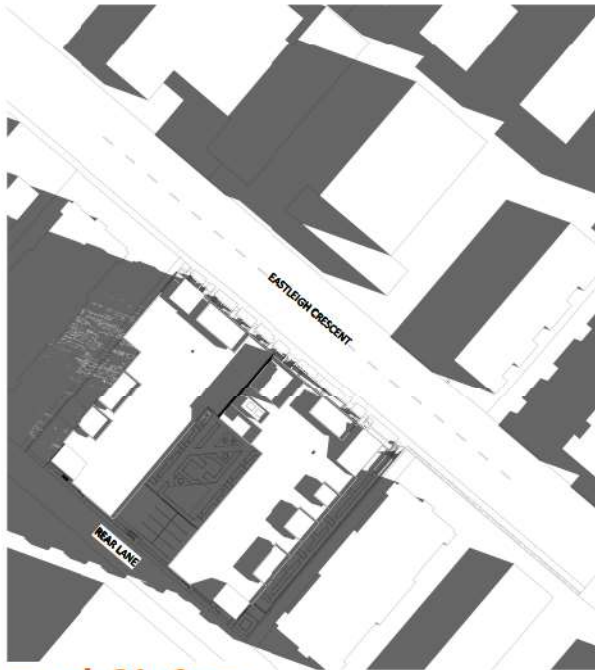
**WHITETAIL EASTLEIGH APMTS.**  
20644 EASTLEIGH CRESCENT, LANGLEY, BC

**STREETSCAPES**  
SCALE: 1/16" = 1'-0"

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SD5.01



march 21 -9 am  
1" = 50'-0"



march 21 -12 pm  
1" = 50'-0"



march 21 -3 pm  
1" = 50'-0"



WHITETAIL EASTLEIGH APMTS.  
20644 EASTLEIGH CRESCENT, LANGLEY, BC

SHADOW STUDY  
SCALE: 1" = 50'-0"

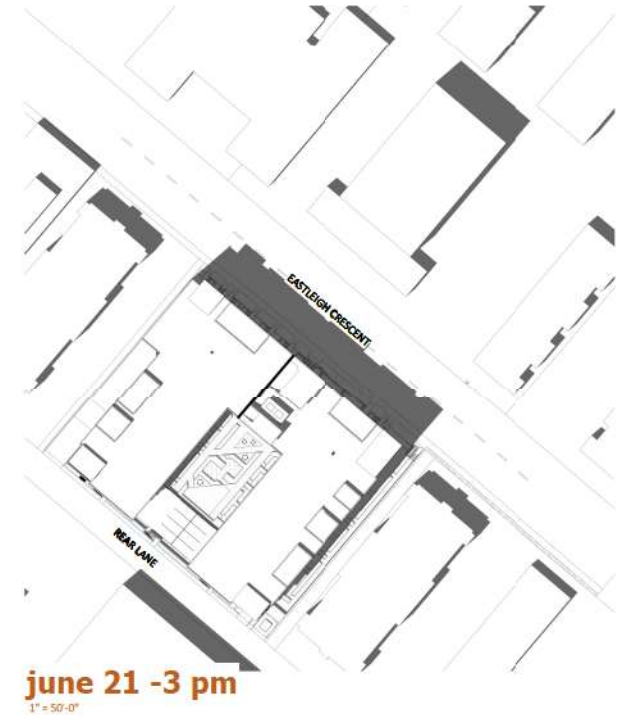
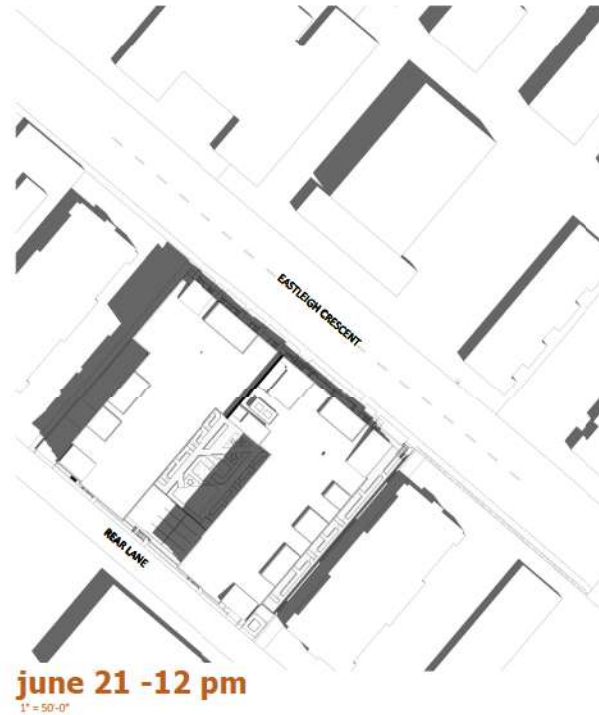


ISSUED FOR DP RESUBMISSION

22/08/20 REVISION #:  
CITY OF LANGLEY FILE # -  
PROJECT NUMBER: 21192.1



SD5.10



**WHITETAIL EASTLEIGH APMTS.**  
20644 EASTLEIGH CRESCENT, LANGLEY, BC

**SHADOW STUDY**  
SCALE: 1" = 50'-0"



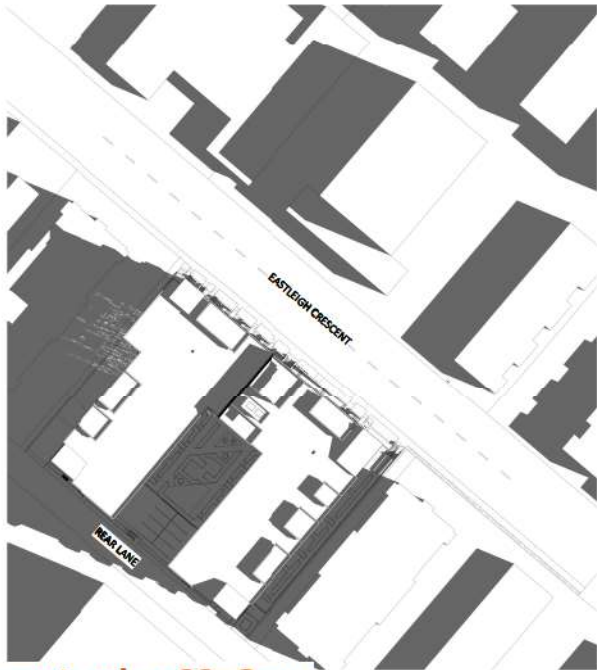
**ISSUED FOR DP RESUBMISSION**

22/08/30 REVISION #:  
CITY OF LANGLEY FILE # -  
PROJECT NUMBER: 21192.1



SD5.11





september 22 -3 pm  
1" = 50'-0"



september 22 -3 pm  
1" = 50'-0"



september 22 -3 pm  
1" = 50'-0"



WHITETAIL EASTLEIGH APMTS.  
20644 EASTLEIGH CRESCENT, LANGLEY, BC

SHADOW STUDY  
SCALE: 1" = 50'-0"



ISSUED FOR DP RESUBMISSION

22/08/30 REVISION #:  
CITY OF LANGLEY FILE # -  
PROJECT NUMBER: 21192.1

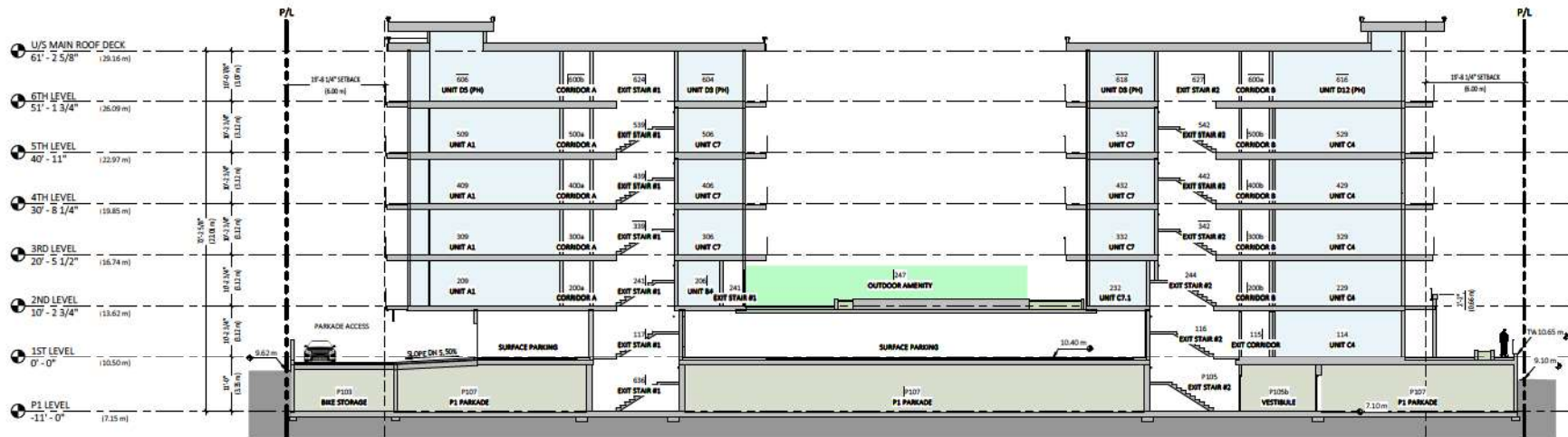


SD5.12



- OCCUPANCY USE**
- GROUP C - ASSEMBLY NON FIXED SEATS
  - GROUP C - RESIDENTIAL DWELLING UNIT
  - GROUP F3 - INDUSTRIAL STORAGE GARAGES

**e/w site section**  
3/32" = 1'-0"



- OCCUPANCY USE**
- GROUP C - ASSEMBLY NON FIXED SEATS
  - GROUP C - RESIDENTIAL DWELLING UNIT
  - GROUP F3 - INDUSTRIAL STORAGE GARAGES

**e/w site section (stairs)**  
3/32" = 1'-0"

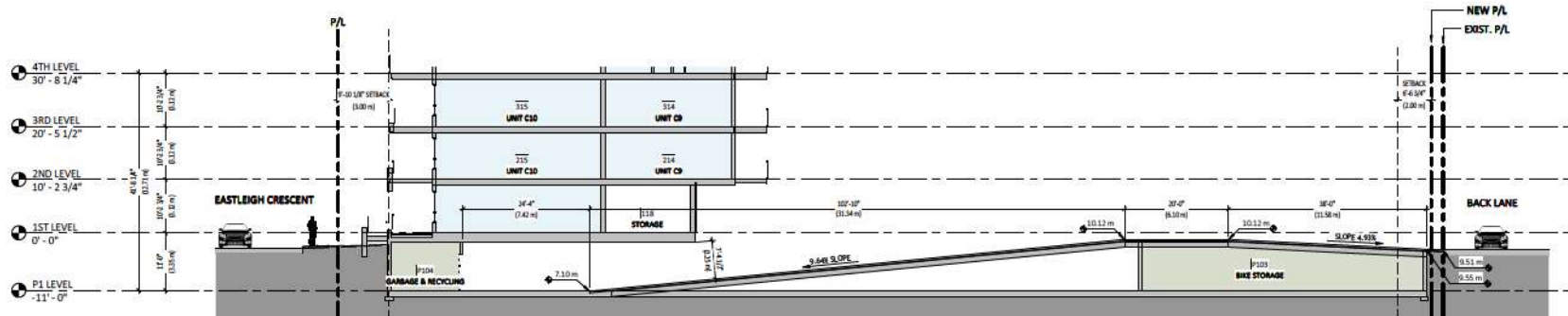


n/s site section

3/32" = 1'-0"

OCCUPANCY USE

- GROUP C - RESIDENTIAL DWELLING UNIT
- GROUP F3 - INDUSTRIAL STORAGE GARAGES



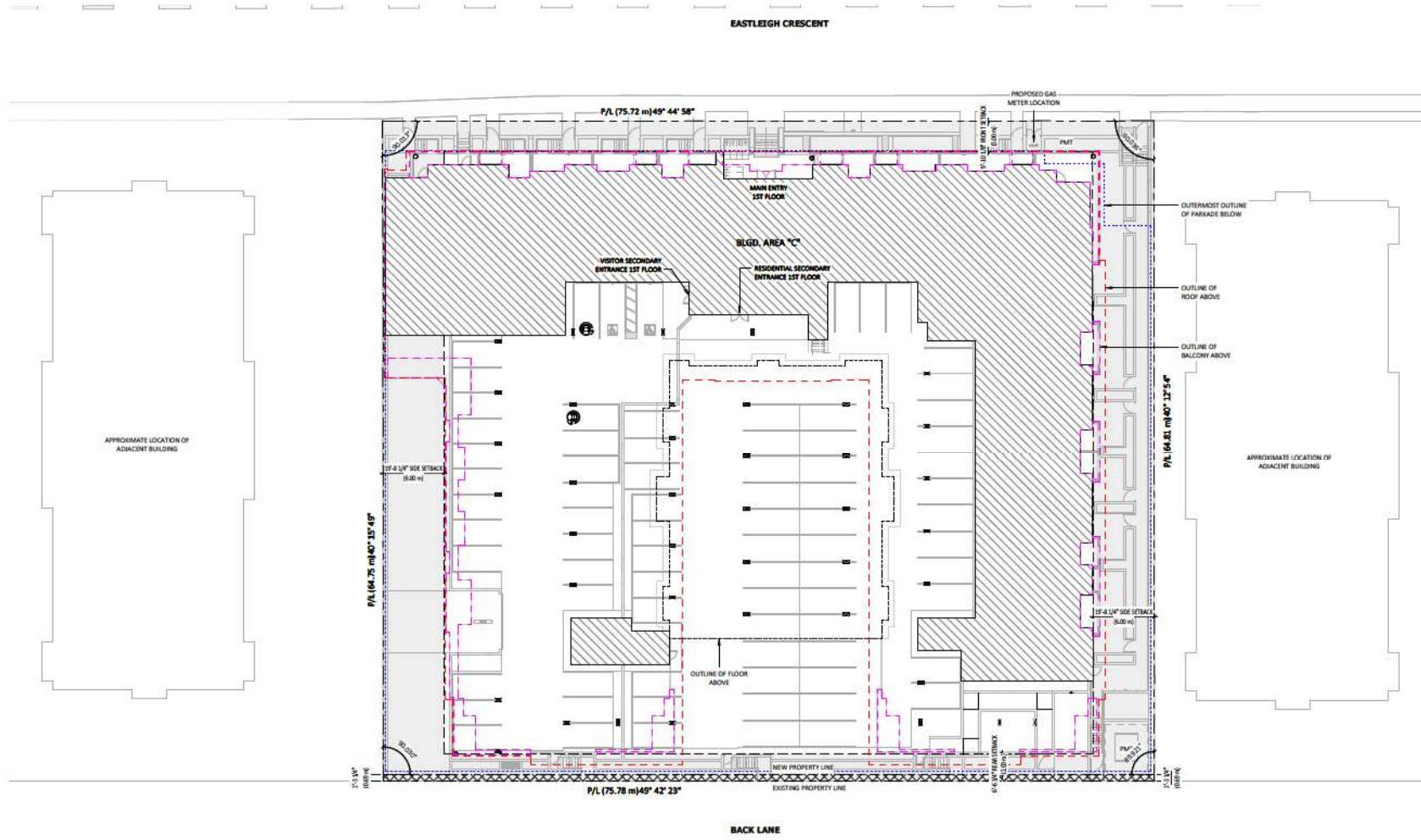
n/s site section (parkade access)

3/32" = 1'-0"

OCCUPANCY USE

- GROUP C - RESIDENTIAL DWELLING UNIT
- GROUP F3 - INDUSTRIAL STORAGE GARAGES

LEGAL ADDRESS: LOT F, DISTRICT LOT 37, GROUP 2, NWP PLAN 8633  
 CIVIC ADDRESS: 20644, EASTLEIGH CRESCENT, LANGLEY, B.C.



**site plan-layout**  
 1/16" = 1'-0"

