

ADVISORY DESIGN PANEL

WEDNESDAY, OCTOBER 18, 2023 AT 7:00 PM

Council Chambers Langley City Hall (In-Person Meeting)

AGENDA

1) AGENDA

Adoption of the October 18, 2023 agenda.

2) MINUTES

Adoption of minutes from the July 19, 2023 meeting.

3) <u>DEVELOPMENT PERMIT APPLICATION DP 08-23</u> <u>ZONING BYLAW AMENDMENT APPLICATION RZ 07-23</u>

6-storey, 136-unit apartment building at 20619 & 20629 Eastleigh Crescent.

4) <u>DEVELOPMENT PERMIT APPLICATION DP 08-22</u> <u>ZONING BYLAW AMENDMENT APPLICATION RZ 05-22</u>

14-unit townhome complex at 4503 & 4513 200 Street.

5) **NEXT MEETING**

November 8, 15, or 22 (subject to Panel availability).

6) ADJOURNMENT



MINUTES OF THE ADVISORY DESIGN PANEL

HELD IN COUNCIL CHAMBERS, LANGLEY CITY HALL

WEDNESDAY, JULY 19, 2023 AT 7:04 PM

Present: Councillor Paul Albrecht (Chair)

Mayor Nathan Pachal

Matt Hassett Leslie Koole Johnnie Kuo Blair Arbuthnot Chad Neufeld Tony Osborn Scott Thompson

Absent: Ella van Enter

Cst. Peter Mann

Staff: C. Johannsen, Director of Development Services

A. Metalnikov, Planner

P. Kusack, Deputy Corporate Officer

Chair Albrecht began by acknowledging that the land on which we gather is on the traditional unceded territory of the Katzie, Kwantlen, Matsqui and Semiahmoo First Nations.

1) AGENDA

Adoption of the July 19, 2023 agenda.

It was MOVED and SECONDED

THAT the agenda for the July 19, 2023 Advisory Design Panel be approved.

CARRIED

2) MINUTES

Adoption of minutes from the July 5, 2023 meeting.

It was MOVED and SECONDED

THAT the minutes of the July 5, 2023 Advisory Design Panel meeting be approved as circulated.

CARRIED

3) DEVELOPMENT PERMIT APPLICATION DP 06-23

Proposed 6-storey, 126-unit apartment development at 19948 55A Avenue.

Mr. Anton Metalnikov, Planner, spoke to the staff report dated July 13, 2023 and provided a brief overview of the Development Permit application which included the following:

- The application is for a 6-storey, 126-unit apartment
- A previous application for a 4-story building on this site did not move forward, leaving a vacant site
- The area is in the latter stages of transitioning to a multifamily neighbourhood
- The application is consistent with the Official Community Plan and the City's envisioned land use for the site and the surrounding area
- A comprehensive development zone is needed to accommodate the proposed development

In response to an inquiry, staff noted that the two residential sites west of the subject site are large enough to accommodate another development.

The Applicant team entered the meeting:

- Andrew Cheung, Architect, Andrew Cheung Architects Inc.
- Cat Kuang, Project Designer/Project Manager, Andrew Cheung Architects Inc.
- Tim Chen, Developer

Mr. Cheung presented the application, providing an overview of the development with details on the following:

- Site location
- Site context
- Project description
- Individual floor plans, including 25 accessible units
- Building amenities (indoor and outdoor)
- Loading area and garbage/recycling areas

- Residential and visitor parking
- CPTED principles / security / cameras
- Storage
- Shadow studies, noting the design minimizes adverse effects on neighbouring properties
- Design principles
- Siting and building design
- Massing, top floor set back.
- Entrances
- Project renderings
- Colour palette and building materials
- Elevations
- Sustainability elements

An overview of the landscape design elements was provided for the following areas:

- Amenity spaces
- Playground
- Passive sitting areas
- Vegetation privacy screen
- Gardens, including an undercover rock garden

It was noted that:

- Trees are provided for shade
- Entry area is barrier free and accessible
- Landscape lighting was designed considering CPTED principles
- Some landscaping provides permeable storm water benefits

Panel members provided feedback on the form and character of the development and discussion took place regarding the following:

- In consideration of the planned fire pit amenity, it was noted that it would require placement on a hard surface to meet building requirements / receive approval.
- Consider using paving stones on the second floor amenity area so the fire pit would meet requirements
- Consider providing an accessible parking stall with an EV charger
- All parking spaces are roughed in for EV chargers
- Move drive aisle in underground parkade to avoid accessible parking space users needing to cross it to access the elevators
- Bike storage
- Improvements to the children's playground (very small) or consider eliminating
- Common outdoor green space is lacking. Consider changes that would increase use for all residents rather than benefiting only the few units with large patios

- Storm water management. Not utilizing all surfaces as much as possible, consider permeable parking surface.
- Consider using more actual brick instead of using brick-coloured materials
- Provide extra sound attenuation for units that have shared walls between bedrooms and living rooms
- Incorporate substantial outdoor lighting in landscape, rock garden and at entrance areas
- Improve garden amenity area by moving the play structure to the first floor creating more usable space
- Add vertical features/design elements within the two-storey outdoor amenity area (ie: two-storey glazing, utilizing height/open space)
- Move visitor bicycle spaces to the top of the parkade podium and replace with extended planters
- Consider making better use of second floor amenity area. Change layout so that access is not through the gym and has a clear corridor to access
- Fire wall up to the roof could disrupt steam roof vents staff review needed
- The current loading zone area will be difficult for truck access and asphalt surface is unsightly. There is an opportunity for additional landscape screening to enhance the pedestrian experience.
- Include more screening around the loading area and PMT
- Consider different surface treatment to grass between sidewalk and building area as the grass doesn't survive there.
- Consider more durable privacy screens between units and look at an alternative to wood.
- Consider maintenance access to south landscaping strip
- Include fencing to the west and south to prevent headlight glare into neighbouring properties
- Consider a bike maintenance area
- Use Canada Post standard mail room equipment
- Ensure appliances in the accessible suites are accessible (ie: not stacking laundry units etc)

The applicant team left the meeting at 8:17pm.

Discussion continued about the amenity areas regarding size, usability, functionality, usefulness.

Staff will work with the applicant to reconfigure the space for better usage.

The Panel compiled a list of recommendations for the applicant.

It was MOVED and SECONDED

THAT:

1. The ADP receive the staff report for information; and

- 2. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
 - a. Provide one accessible stall with a Level II EV charger
 - b. Move drive aisle in underground parkade to avoid accessible parking space users having to cross it to the elevator vestibule
 - c. Look to reconfigure amenity space for usability, including either providing a larger children's play area (potentially at ground floor) or removing it, providing more community garden plots (including in private patios, with hose bibbs and drains, especially on south-facing units), and providing more functional indoor amenity spaces (consolidation, uses, and direct access from corridors to outdoor areas)
 - d. Consider opportunities to incorporate more greenery and permeability on the site (i.e. parkade frontage, east loading zone/garbage/PMT area, raised parking area, etc.)
 - e. Move visitor bicycle spaces on top of the parkade podium and replace with extended planters
 - f. Consider incorporating more brick into the façade treatments
 - g. Provide lighting at ground-floor unit entrance stairs and entry rock gardens
 - h. Consider additional sound attenuation measures for units with bedroomto-living room interfaces
 - i. Update floor plans to ensure all units have doors
 - j. Make use of high-quality pavers in shared and private patios, and provide more design attention to these surface treatments
 - k. Consider greater use of vertical features within the second-floor outdoor amenity (i.e. hops, vines, non-vegetation elements)
 - I. Update plans, elevations, and renderings to show true colours, soffit treatments, fire wall, and loading/garbage area
 - m. Revise design of loading zone to ensure maneuverability, safety, and prevent users from driving over sidewalk to reach it
 - n. Provide more durable and privacy-supporting balcony screens (i.e. wood alternative) and provide more detail on their design and appearance, while avoiding an excessive feeling of enclosure
 - o. Provide more information on maintenance access to south landscaping strip
 - p. Ensure opaque fencing is provided to west and south to prevent headlight glare into neighbouring properties
 - q. Consider providing a bicycle maintenance area
 - r. Incorporate Canada Post standard equipment into mail room design
 - s. Ensure appliances in adaptable units are accessible
 - t. Review alternative to grass cover in City boulevard, in coordination with City's Engineering Department.

CARRIED

4) **NEXT MEETING**

September, TBD

5) ADJOURNMENT

It was MOVED and SECONDED

THAT the meeting adjourn at 8:45pm.

CARRIED

ADVISORY DESIGN PANEL CHAIR

DEPUTY CORPORATE OFFICER



Advisory Design Panel Report

To: Advisory Design Panel

Subject: **Development Permit Application DP 08-23**

Rezoning Application RZ 07-23 (20619 & 20629 Eastleigh Crescent)

File #: 6620.00 Anton Metalnikov, RPP, MCIP Bylaw #: 3261

Planner

Doc #-

Date: October 6, 2023

RECOMMENDATION:

THAT this report be received for information.

PURPOSE OF REPORT:

To consider Development Permit and Zoning Bylaw amendment applications by Sean Tilstra for a 6-storey, 136-unit apartment building at 20619 & 20629 Eastleigh Crescent.

POLICY:

From:

The subject properties are currently zoned P2 Private Institutional/Recreation Zone in Zoning Bylaw No. 2100 and designated "Transit-Oriented Residential" in the Official Community Plan Land Use map. All lands designated for multi-unit residential use are subject to a Development Permit (DP) to address building form and character.

The density of the proposed development complies with the Official Community Plan but exceeds the parameters in the current Zoning Bylaw. As such, a Comprehensive Development Zone is proposed to accommodate it.



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COMMENTS/ANALYSIS:

Background Information:

Applicant: Sean Tilstra

Owner: Highland Lodge Ltd.

Civic Addresses: 20619 & 20629 Eastleigh Crescent

Legal Description: Lots 39 & 40, District Lot 37, Group 2, New

Westminster District, Plan 34280

Site Area: 3,719 m² (0.92 acres)

Number of Units: 136 apartments

Gross Floor Area: 10,313 m² (111,008 ft²)

Floor Area Ratio: 2.773
Lot Coverage: 54.33%
Building Height: 6 Storeys

Total Parking Required: 203 spaces (including 10 h/c spaces)

*RM3 requirement

Parking Provided:

Resident 149 spaces
Visitor 20 spaces

Total 169 spaces (including 9 h/c spaces)

OCP Designation: Low Rise Residential

Existing Zoning:P2 Private Institutional/RecreationProposed Zoning:CD92 Comprehensive DevelopmentVariances Requested:20 visitor parking spaces (28 required)

5.5 m long accessible parking spaces (5.8

m required)

Note a resident parking variance is not required due to the use of CD Zone – see staff commentary in Variances section of this report for further details and rationale

Development Cost Charges: \$2,751,688.00 (City - \$1,298,664.00,

GVS&DD - \$580,584.00, GVWD - \$579,496.00, SD35 - \$81,600.00,

TransLink - \$211,344.00)

Community Amenity

Contributions (CACs): \$557,000.00



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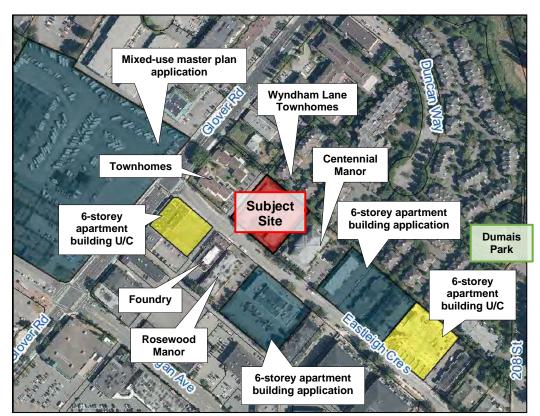
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Discussion:

1. Context

The applicant is proposing to develop a 6-storey, 136-unit apartment building on a site consisting of two properties currently sharing the former Highland Lodge/Arbutus Place seniors care facility, which is now vacant. The site is located in an established higher-density residential area which has seen significant recent development interest resulting in an ongoing transition in line with the City's Official Community Plan (OCP), with several recently developed and under-construction projects nearby, among other townhomes and apartment buildings of various ages.

The site's primary frontage is formed on its south by Eastleigh Crescent, a local road across from which sit a small commercial building currently used by Foundry (a youth services organization) and Rosewood Manor, a 3-storey apartment building developed in 1972. The site is also bounded by a City lane to its west, which separates it from an older townhome complex. The site's northern boundary abuts Wyndham Lane, a 3-storey townhome complex built in 2007, and its eastern boundary is shared with Centennial Manor, a 4-storey non-market apartment building for seniors and families completed in 1993.



Site context



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The site is well positioned with connections to retail, service and post-secondary educational destinations, with Downtown and Kwantlen Polytechnic University (KPU) located within a few minutes' walk. It also benefits from proximity to key neighbourhood amenities, including:

- Dumais Park (5-to-10-minute walk);
- Timms Community Centre (10-minute walk); and
- Douglas Park Elementary School (10-to-15-minute walk).

The site is also located near several transportation services, including:

- The frequent service 503 Fraser Highway Express (5-minute walk);
- The Langley Centre transit exchange and the fifteen bus routes it serves (5-minute walk); and
- The planned 203 Street SkyTrain station and its associated transit exchange (10-minute walk).

2. Proposed Rezoning and the Official Community Plan (OCP)

The site is designated Transit-Oriented Residential in the City's OCP, which allows for apartment development of up to 15 storeys in height, subject to the federal Airport Zoning Regulation, and a Floor Area Ratio (FAR) of up to 4.5.

The subject properties are proposed to be rezoned to a site-specific Comprehensive Development (CD) Zone as no existing zones adequately accommodate the Transit-Oriented Residential designation. A new Zoning Bylaw is currently in development and the project was designed to conform to the preliminary draft zoning regulations associated with this designation. Should the CD rezoning be adopted it is anticipated that, as part of adopting the new Zoning Bylaw, the City will rezone this site from its CD Zone to the new zone created to implement the Transit-Oriented Residential designation.

3. <u>Design</u>

The applicant is proposing a 6-storey U-shaped building wrapping around a central courtyard open to the northeast to maximize efficiency on this high density designated site within a wood-frame form and address the street while reducing massing against the townhome complex to the north. The distance between the two building wings on the east and west of the courtyard is 15.85 metres, which meets the City's Development Permit Area guidelines of a minimum 10-12 metre separation between buildings faces. The building sits on a parkade accessed from two driveway entrances — one leading underground to a resident parking area and one rising slightly to a surface visitor parking area and additional resident parking. This surface parking area is screened by the building's first floor at the front of the site on Eastleigh Crescent, and is covered by the second level courtyard and upper five building storeys.



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Toward the rear property line, the building steps down from 6 storeys to a 4-storey height, as required in Appendix B: District Policies of the City's Official Community Plan (OCP), to provide an upper-floor rear setback of over 14 metres and provide a more gradual transition to the townhomes neighbouring the site to the north. To further support this transition, the parkade is set back at the rear to preserve the existing trees on the townhome property lining the property line between them, as informed by a Certified Arborist's report. Additional landscaping is planted on the eastern half of this rear property line, and fencing is provided on the edge of the surface parking area to maintain privacy and prevent headlight glare from vehicles using the raised parking area.

The building meets the street with planter boxes delineating the ground-floor units, which have walk-out connections to the sidewalk and private patios. The planter boxes are painted in a dark grey colour to match the brick cladding of the first floor and the double-height entrance feature in the middle of the building. A white metal panel frame extends from this entrance feature to the building roof. The same material is used with charcoal corrugated metal on the central three floors, which is accented by lighter grey cement board panel siding on the floors below and above, along with black aluminum soffits and balcony railings.

The proposal's landscaping makes use of planters to line the outside edges of the site as well as the inside perimeter of the courtyard to provide separation between the private unit patios and the shared outdoor amenity area. In addition to the existing trees being retained on the neighbouring properties, the development includes 8 trees at grade at the street front and 8 trees in the courtyard, for a total of 16 trees on the site. The courtyard's hardscaping employs several paver types, sod, wood mulch, and sand to demarcate its various activity spaces and support its function as an outdoor amenity area.

The building's unit type distribution includes 91 one-bedroom units, 35 two-bedroom units, and 10 three-bedroom units. 28 (21%) of the units are adaptable. Storage lockers are provided in shared rooms on all floors. 508 m² (5,468 ft²) of total amenity space is provided, including 153 m² (1,647 ft²) of indoor amenity space and 355 m² (3,821 ft²) of outdoor amenity space. The outdoor amenity space includes an outdoor workout area, a dog run, dining and lounge areas, and a children's play space. A two-elevator core serves the building.

4. Sustainability

The proposal incorporates several sustainable development features, including:

• Using construction techniques that minimize site disturbance and protect air quality:



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- Using lighting systems meeting ground-level and dark skies light pollution reduction principles;
- Incorporating a construction recycling plan;
- Reducing the heat island effect by use of landscaping and a courtyard amenity area;
- Using non-water dependent and drought-tolerant materials in the landscape design served by an irrigation system with central control and rain sensors:
- Providing 22 (32%) more bicycle parking spaces than required;
- Providing plugs for e-bikes in bicycle rooms; and
- Providing 15 resident parking stalls with Level II electric vehicle (EV) chargers, with the remaining resident spaces pre-wired and visitor spaces pre-ducted for future installation.

5. CPTED

The applicant's proposal benefited from a comprehensive Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

6. Variances

As noted above, the applicant's proposed development is generally consistent with the draft apartment building zoning regulations that are being considered for the new Zoning Bylaw to implement the Official Community Plan's Transit-Oriented Residential land use designation. However, given the proponent has applied to redevelop the site prior to the adoption of the new Zoning Bylaw, a site-specific Comprehensive Development (CD) Zone is proposed to be created to accommodate the redevelopment.

Despite the use of a CD Zone, the proposal requires variances from general Zoning Bylaw provisions to reduce the length of accessible parking spaces and reduce the number of visitor parking spaces. Staff support these variances per the rationales below.

The accessible parking space variance requested is to reduce their length from 5.8 metres to 5.5 metres. The 5.5 metre length is consistent with the City's standard parking stall dimension requirements and a review of nearby municipalities (Langley Township, Surrey, Maple Ridge, and Abbotsford) found that all used the same stall length for both standard and accessible parking spaces. Staff are also considering making standard and accessible parking stall lengths consistent in the City's upcoming new Zoning Bylaw.



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Proposed Parking

If the current Zoning Bylaw requirement for a similar type of building (i.e. RM3 Zone) was applied to this application, the applicant's proposed overall parking amount is 16.8% less than what would be required. Given that a CD zone is being proposed to accommodate this development, technically a variance is only required for visitor parking. However, it is important to note that staff support the applicant's overall parking approach, as the proposal (less 34 spaces or 16.8%) meets the standard rates under preliminary consideration for the new Zoning Bylaw. These rates are being contemplated based on research work conducted by the City's Zoning Bylaw update consultant and staff to date, which has included a review of the Metro Vancouver Parking Study as well as of parking rate requirements in other municipalities within the Lower Mainland.

The project site is within the "Shoulder" of the OCP, which generally refers to properties within a 5-to-10-minute walk of the future SkyTrain station. If the preliminary "Shoulder" area rates being considered for the new Zoning Bylaw were applied to this application, 169 parking spaces would be required, based on rates of 1.0 spaces per 1-bedroom unit, 1.25 spaces per 2-bedroom unit, 1.45 spaces per 3-bedroom unit (=149 resident spaces), and 0.15 visitor spaces per unit (=20 visitor spaces). This total is equal to the applicant's proposed parking amount of 169 spaces, and is 16.8% less than the current RM3 Zone requirement of 203 spaces, which is based on rates of 1.2 spaces per 1-bedroom unit, 1.3 spaces per 2-bedroom unit, 2.0 spaces per 3-bedroom unit (=175 resident spaces), and 0.2 visitor spaces per unit (=28 visitor spaces). Similar variances have recently been approved by Council at 20191 53A Avenue (13% reduction), 20142 53A Avenue (14.5% reduction), and 20230 56 Avenue (15% reduction).

Based on the above commentary and analysis, staff support these variances.

7. Summary

The proposed development is consistent with the City's OCP and Development Permit Area guidelines for the area and presents a transit-supportive and efficient design providing housing in close proximity to parks, transit, and Downtown.

Engineering Requirements:

PRELIMINARY ONLY

Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents.

All work to be done to the City of Langley's Design Criteria Manual (DCM), and the City's Subdivision and Development Servicing Bylaw (SDSB).



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Per the City's DCM requirement, the developer and their consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Commitment by Owner and Consulting Engineer) prior to starting their design works.

Per the City's Watercourse Protection Bylaw No. 3152, the developer's consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Confirmation of Commitment by Qualified Environmental Professional - QEP) prior to starting their site monitoring works.

These requirements have been issued to reflect the application for development for a proposed 136 Unit Apartment Development located at 20619-29 Eastleigh Cres.

These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

- A) The Developer is responsible for the following work which shall be designed by a Professional Engineer:
 - A Qualified Environmental Professional (QEP) must be engaged to implement erosion and sediment control in accordance with the City of Langley Watercourse Protection Bylaw #3152, as amended.
 - II. A storm water management plan for the site is required. Rainwater management measures used on site shall limit the release rate to predevelopment levels to mitigate flooding and environmental impacts as detailed in the City's DCM. All calculations shall be based the City' DCM with 20% added to the calculated results to account for climate change. A safety factor of 20% shall be added to the calculated storage volume. Pre-development release rates shall not include climate change effect.
 - III. All existing services shall be capped at the main by the City, at the Developer's expense prior to applying for a demolition permit.
 - IV. New water, sanitary and storm sewer service connections are required. All pertinent pipe design calculations shall be submitted in spreadsheet format and shall include all formulas for review by the City. The Developer's engineer will determine the appropriate main tie-in locations and size the connections for the necessary capacity.
 - V. At the Developer's expense, the capacity of the existing water and sanitary sewer mains shall be assessed through hydraulic modeling



performed by the City's standing hydraulic modeling consultant per DCM 3.8 and 6.5.

- a. Any upgrade requirement for either sanitary or water mains not covered under the City's DCC bylaw shall be designed and installed by the Developer at the Developer's expense.
- b. At the Developer's expense, the City's standing hydraulic modeling consultant shall conduct a fire hydrant flow test to be used in the City's water modeling to determine if the existing water network is adequate for fire flows (based on architectural data supplied by the Developer's Architect). Upgrading of the existing watermain(s) may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995."
- VI. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be per DCM Section 3.10 and approved by the City Engineer and the City of Langley Fire Rescue Service.
- VII. A corner truncation of 4m will be required at the corner of Eastleigh Cres. and the lane n/w of the proposed project.
- VIII. At the Developer's expense, a Traffic Impact Assessment (TIA) will be completed per DCM Section 8.21. The proposed development plan and statistics, once ready, should be forwarded to the City Engineer to develop the scope of this traffic study. TIA reports must be approved by the City Engineer prior to taking the application to Council. The TIA completion timing must be:
 - a. For OCP Amendment / Rezoning Applications: Prior to the holding of a Public Hearing; and
 - b. For Development Permits (DP): Prior to Council consideration of the application.
- IX. The scope and extent of the off-site works shall be determined in part from the TIA. New sidewalk, barrier curb, gutter will be required along the entire Eastleigh Cres. frontage, complete with boulevard trees and a planting strip as per DCM cross-section SS-R07 and Section 11.0.
- X. The condition of the existing pavement along all the proposed project's frontages shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate, it shall be remediated by the Developer, at the Developer's expense.
- XI. The site layout shall be reviewed by a qualified Professional Engineer to ensure that the parking layout, vehicle circulation, turning paths and



access design meet applicable standards and sightline requirements, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls, loading areas and drive aisles are accessible by service vehicles. Refer to DCM Section 8.0. The design shall be adequate for MSU trucks as the design vehicle.

- XII. Existing street lighting along the entire project frontage shall be analyzed (excluding any BC Hydro lease lights) by a qualified electrical consultant to ensure street lighting and lighting levels meet the criteria outlined in DCM 9.0. Any required street lighting upgrades, relocation, and/or replacement shall be done by the Developer at the Developer's expense. Any existing BC Hydro lease-lights to be removed and disposed of off-site.
- XIII. Eliminate the existing overhead BC Hydro/telecommunication infrastructure along the development's Eastleigh Cres. project frontage by replacing with underground infrastructure.
- XIV. A dedicated on-site loading zone shall be provided by the developer. The design shall be adequate for MSU trucks as the design vehicle.

B) The Developer is required to deposit the following bonding and fees:

- I. The City will require a Security Deposit based on the estimated construction costs of installing civil works, as approved by the City Engineer.
- II. The City will require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs, as per the City's Subdivision and Development Servicing Bylaw 2021 #3126.
- III. A deposit for a storm, sanitary and water services is required, which will be determined by City staff after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
- IV. The City will require a \$40,000 bond for the installation of a water meter to current City standards as per the DCM.
- V. A signed and sealed pavement cut form (Form F-2 of the City's DCM) shall be completed by the developer's consulting engineer. Upon the review and approval of the City Engineer of the submitted form, the corresponding Permanent pavement cut reinstatement and degradation fees shall be paid by the Developer.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the developer with an estimate of connections costs, and the Developer will declare in writing that the estimate is acceptable.



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C) The Developer is required to adhere to the following conditions:

- I. The Developer's Consulting Engineer shall perform their periodic Field Reviews, As required by EGBC, and send a copy of the Review to the City Engineer within a week of completion of each Review
- II. Unless otherwise specified by the City Engineer, all engineering works shall be designed based on the City's DCM specifications in accordance with the City's Subdivision and Development Servicing Bylaw 2021, No. 3126
- III. Undergrounding of hydro, telecommunication to the development site is required, complete with underground or at-grade transformer.
- IV. Transformers servicing developments are to be located on private property with maintenance access located on private property. All transformers to be wrapped upon installation by the Developer.
- V. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner. Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.
- VI. A water meter is required to be installed on private property, preferably in the mechanical room, in accordance to the City's DCM standards at the Developer's cost.
- VII. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
- VIII. A Stormceptor or equivalent oil separator is required to treat site surface drainage.
- IX. A complete set of record drawings (as-built) of off-site works, service record cards and a completed tangible capital asset form (TCA) all sealed by a Professional Engineer shall be submitted to the City within 60 days of the substantial completion date. Digital drawing files in .pdf and .dwg formats shall also be submitted. All the drawing submissions shall:
 - a. Use City's General Note Sheet and Title Block; and
 - b. Closely follow the format and sequence outlined in the City's DCM that will be provided to the Developer's Consulting Engineer.
- X. The selection, location and spacing of street trees and landscaping are subject to the approval of the City Engineer. Please refer to the City's DCM for more details.
- XI. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
- XII. Garbage and recycling enclosures shall accommodate on the site and be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial



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Developments - June 2015 Update." Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.

Fire Department Comments:

Fire department access for the whole project was reviewed to ensure adequate access for apparatus and firefighters. A construction fire safety plan shall be completed, complete with crane inspection records. Crane is to be registered with BC Construction Safety Alliance. A progressive standpipe installation will be required as construction rises. Standpipes will be required in elevator lobby area, and at the entrance to the parkade. All garbage/recycling rooms are to be of adequate size to prevent spillover into parkade area. Stairwells must be constructed to accommodate shelter in place applications. Consideration will be given to the installation of power banks in the storage room lockers for e-bikes charging. A Fire Safety plan and FD "knox box" lock box will be required before occupancy. The 4" FDC will be located on a pedestal at the front of the building, exact location to be discussed with the Fire Department at a later date.

Advisory Design Panel:

In accordance with Development Application Procedures Bylaw No. 2488, the subject Zoning Bylaw amendment and Development Permit application will be reviewed by the Advisory Design Panel (ADP) at the October 18, 2023, meeting.

According to the Council-approved ADP Terms of Reference, the ADP is to provide form and character and urban design-related advice and recommendations for Council's consideration. ADP recommendations will be presented to Council through the ADP meeting minutes and, if applicable, through an additional City staff report, prior to Council consideration of the proposed Zoning Bylaw amendment and Development Permit Applications.

A copy of the ADP minutes will be presented to Langley City Council at a future Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$1,298,664.00 to City Development Cost Charge accounts and \$557,000.00 in Community Amenity Contributions.



Subject: Development Permit Application DP 08-23 & Rezoning Application RZ 07-23

Page 13

Prepared by:

Anton Metalnikov, RPP, MCIP

Planner

Concurrence:

Roy M. Beddow, RPP, MCIP

Deputy Director of Development Services

Concurrence:

Carl Johannsen, RPP, MCIP

Director of Development Services

Concurrence:

Hirod Gill

Manager of Engineering Services

Attachments

Concurrence:

Scott Kennedy, Fire Chief



Subject: Development Permit Application DP 08-23 & Rezoning Application RZ 07-23

Page 14



DEVELOPMENT PERMIT APPLICATION DP 08-23 REZONING APPLICATION RZ 07-23

Civic Addresses: 20619 & 20629 Eastleigh Crescent

Legal Description: Lots 39 & 40, District Lot 37, Group 2, New

Westminster District, Plan 34280

Applicant: Sean Tilstra

Owner: Highland Lodge Ltd.





WESMONT EASTLEIGH APARTMENTS, 20619 & 20629 EASTLEIGH CRESCENT, LANGLEY, B.C.



NO - 383/1 | SOUTH PRUSER WAY, ABOUTSFORD NO VZS 283 (GOUSSIG 0577 410 - 35) | 13th Avenue 5W, Calbary AB 130 (16) | 587 391 4763 NFC/BKEYSTOMEARCH CA

KEYSTONE A R C H I T F C T U & F



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NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DR	23-08-
2	REISSUED FOR DP	23-09-
3	REISSLIED FOR DP	23-10-

WESMONT EASTLEIGH **APARTMENTS**

20619 & 20629 EASTLEIGH CRESCENT, LANGLEY, B.C.

PROJECT # 23.112 CITY FILE #



COVER PAGE

STHURVEL PLAN STRUPPEL PLAN

RODE LEVEL PLAN

PILLEVEL MIAN

502.07

507.08

SHEE	T SCHEDULE		
00.01	COVER PAGE	503.01	BUILDING ELEVATIONS
D1.01	SITE CONTEXT	503.02	BUILDING FLEVATIONS
01.02	SITE CONTEXT	SD3.03	BUILDING ELEVATIONS
D1.10	PROJECT DATA	504.01	MATERIAL BOARD
D1.11	PROJECT DATA	505.01	STREETSCAPES
D1.17	PROJECT DATA	505.10	SHADDW STUDY
£1.80k	FSR PLANS	505.11	SHADOW STUDY
01:14	FSR PLANS	506.01	SITE SECTIONS
01.15	136 PLANS	506.02	SITE SECTIONS
01.20	DESIGN RATIONALE	507.01	SITE LAYOUT PLAN
D1.21	RENDERINGS	SD7.02	SITE CODE PLAN
02.01	SITE PLAN		
D2:02	15T LEVEL PLAN		
437.02	7ND LEVEL PLAN		
02.04	BRD/ATH LEVEL PLAN		

WESMONT GROUP

7 COM 171,0250 111 - 23189 FRANCIS AVE LANGLEY, BC VIM 0G4

KEYSTONE ARCHITECTURE & PLANNING LTD.

T 604.850,0577 F 1.855.398.4578 1 589 391 4768

300-33131 SOUTH FRASER WAY ABBOTSFORD, BC V2S 781 410-333 11TH AVENUE SW. CALGARY, AB VZR 115

E-MAIL: MAIL@KEYSTONEARCH.CA WEBSITE: KEYSTONEARCH.CA

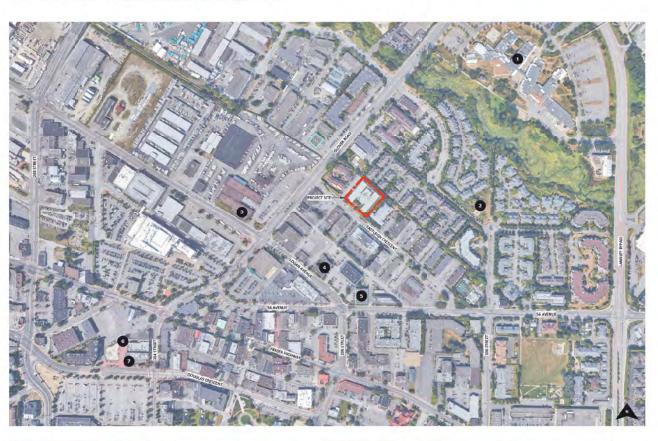


SCALE

SD0.01

SITE DESCRIPTION

THE PROPOSED DEVELOPMENT IS LOCATED IN CITY OF LANGLEY ON EASTLEIGH CRESCENT AND COMSISTS OF TWO PARCELS. THAT WILL BE AMALGAMATED, BOTH LOTS ARE CURRENTLY OCCUPIED BY A SINGLE DWELTHOUTHE SITE CONNECTS TO THE DOWNTOWN AREA WITH FROXIMITY TO THE LANGLEY CITY WALL TO THE SOUTH WEST, KWANTLEN POLYTECHNIC. UNIVERSITY TO THE NORTH EAST, FITNESS UNLIMITED ATHLET CLUB AND DUMAIS PARK ARE WITHIN WALKING DISTANCE FROM THE SITE. THE SITE IS ALSO WITHIN WALKING DISTANCE TO THE FUTURE SKY TRAIN STATION AT 203 STREET.













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REISSUED FOR

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08
2	REISSUED FOR DP	23-09
3	REISSHED FOR DR	23,10

WESMONT EASTLEIGH APARTMENTS

20619 & 20629 EASTLEIGH CRESCENT, LANGLEY, B.C.

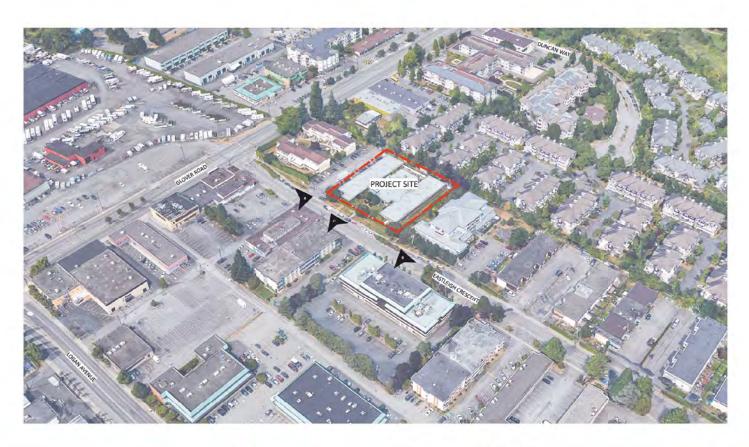
PROJECT # 23.112 CITY FILE #



SITE CONTEXT













A EASTLEIGH CRESCENT LOOKING SOUTH WEST

B EASTLEIGH CRESCENT LOOKING NORTHEAST

C EASTLEIGH CRESCENT LOOKING SOUTH WEST



100 - 33331 | SOUTH FRASER WAY, ABBOTSFORD BC, VSS 588. (604.800.0377 410 - 533 | 11th AVENUE SW, CALGARY AB. T2R 114 | 587-391.4768 INFOBREYSTON-ARCH, CA.



REISSUED FOR

NO. ISSUE/REVISION DATE
1 ISSUED FOR DP 23-08-01
2 RESSUED FOR DP 23-09-27
3 REISSUED FOR DP 23-10-04

WESMONT EASTLEIGH APARTMENTS

20619 & 20629 EASTLEIGH CRESCENT, LANGLEY, B.C.

PROJECT # 23.112 CITY FILE #



SITE CONTEXT

SCALE N.T.S.

1.0.0 PROJECT DATA	
and the same of th	The state of the s
PROJECT	WISHMONT EXCRETE LANGUET CITY
20mm/g	P2 (FINATE INCIDENTIAL PROPERTIES CONT.)
CIVIC ADDRESS	20619 & 20629 (ASTLEIGH CHESCHIT, LANGLEY, SC
LEGAL DESCRIPTION: VARIANCES APPLIED FOR:	PLAN 342RG LOT 40 PROPONEL PONING CE
WARRIES REFORD FOR	STRAW MALINCE REQUIRED INTER TO PROPRIED REPORTS OF MORE WEIGHARDOW). THE LETT ALL MALINDER MALINES AND THE MALE AND THE ALL MALINDERS. THAT ARE CHILLING LETT ALL THE OFFICE THAT ALL ALL MALINDERS OF THE MALE AND THAT ALL MALINDERS OF THE MALINDERS OF THAT ALL MALINDERS OF THE MALINDERS OF THE MALINDERS OF THAT ALL MALINDERS OF THE MALINDERS
BYLAW EXEMPTIONS	EAVES AND OUTTIES, CORNETS, BLES BAY WINDOWS, ILLY SHIVES CHEMENS, STEPS OR CHEE BAULAR FEATURES MAY PROJECT INTO OR SELECATED IN A REQUIRED PROVIN, DOS ON REAM HAND PROVINCE OF HAT SUCH PROJECT CRES DO NOT EXCELD LONG 2.25 IT.
COORDINATING REGISTERED PROFESSIONAL	PROPOSILIENES (AOH), KEVETONE ARCHITECTURE
CERTIFIED PROFESSIONAL:	W/X
ZONING GRADE DEPIRITION(E):	DETING CAMB, MCAND THE LOWIST GROUND ELEVATION DETING PRICE TO CONTINUE COL AS STANLISHED ON A LEGAL SHOWLY MAN BY A REGISTRED SHITE COLUMBER MAD CHAPTER SLOW GROUND ELEVATION ON ACLUSE RELAWSTEINED HAVE BY THE LIGHT OF MADE THE GROWN SERVICION OF THE LOW THE COLUMB ASSOCIATION OF THE CONTINUE OF THE CONTINUE OF THE CONTINUE OF THE CONTINUE OF THE MANUFACTURE O
	THE COUNTY THE CONSTRAINING LOCAL PROPERTY ORACLE PROPERTY OF A DIVIDING THE CONTROL WALL OF A BUILDING. HER'S THESE MAKEN THE EMPERORS STORY WINNESS (LOCAL LINCKING NOT MORE THAN 2 O METERS AREAS THE HERBERT SIMOL, AND BUILL NOT 36 MORE THAN 2 SAMITES AROUNT OF CORNOR OF THE TROUGH AGAINST ON THE ROPERTY.
ZONING AYERAGE GRADE:	BASE OF SERVIS-FRESH STATEMENT SERVIS-SERVIS
20WHI BUILDING HEIGHT:	71 पद ल (इंटर(प्रसम्पू
ZOWING MAXIMUM BUILDING HEIGHT	N/A.
MINIMUM BUILDING BLEVATION	N/A
PLBCO CONTROLLEVEL:	NECHARIO CIDILIDAS (MICHAEL DICHIRIES) HICHORIO CIDILIDAS (MICHAEL DICHIRIES)
191	119108 5F / 40407 98 2.77
STE AREA:	40077.58 3,713 er
GROSS FLOOR AREA (FSR)	111005W (03111 4)
CROSS BUILDABLE AREA	174683 9° 15.943 83 m²
LOT CONFRAGE	1745 SF /40027 SF 54 125
ZOVING SITBACIS:	Houth: 4.5 m 6.00 6.00 Sale (Mart) = 6.70 Sale (Mart) = 6.70
PROVIDED SETBACKS.	HONT LEM LEAK LEAM SPEC (METS) LOW
GARBAGE & RECYCLING REQUIREMENTS:	
LOTTE -	
	DOB AREA (TOB) PLANE, SCHEDULE, METHIOD OF MEASUREMENT & EXCLUSIONS METACHICULE FOR A MERIADOWN OR AREAS, METHIOD DE MEASUREMENT & EXCLUSIONS

1.2.0 CODE DATA		
APPLICATION SUR DING COOKS 2018 SCHOOL TOUR SCHOOL	crond/ assinut on Conni	
BANDING CODE COMPLIANCE/ALTERNATE SOLUTIONS		
L PARTS BUILDING		DIV A - MART I COMPLIANCE 1333
2. MAJOR OCCUPANCY[ES]:		311,6APFENDERA-3121(1)
2.1. STORAGE GARAGE FS LOW HAZAPD INDUSTRIAL		
2.7. RESIDENTIAL BROUF C		
BUILDING AREAS		(1412 DENNITERAL SELECTION AND A
EAST HULLIANG AREA 20189 59 1963 A		
WEST BULDING AREA 11.05 IF 1.05		
BUILDING AREA (NO FIFEWALL) 217453F 1,025 BASEMENT STORAGE GMAGE 264645F 2,29	tel	
A. BUILDING CLASSIFICATION(S):		\$23.00-3.2200.
E.I. BASEMENT STORAGE GARAGE: LEVEL PS		82,130 82,180
SPOLEP F, DAVISION S, ANY HIRSHT, ANY AREA, FULLY SP NON-COMBUSTIESE CONSTRUCTION	HIMELINGE	52180(3)
	particular di appoint anno a porter anno anti-	£2.2 (O(2)(8)
FLOOR ASSENDENCE: PRE-SEPARATIONS WITH A FIRE REI MEZZANINES: N/A	DISTANCE KATING NOT LESS THAN 2 HE	1.2.2,10(2)(0)
MEZZAHINES NIVA LOAD BEARING WALLS, COLUMNIS & ARTHRES BIOT LESS	SAS - US DOT RESTANCE NATION	E2.2.40/QVO)
LT STORAGE GARAGE CONSIDERED AS SEPARATE BIND		12 1 A D D D D D D D D D D D D D D D D D D
HILLY SPRING PRETS	caosh.	12 1200
NOW-COMBUST BLE CONSTRUCTION		12120)
2 HE FIRE SEPARATION, EXTERIOR WALL OPENINGS EXE	WFT	5212(I), 5212(2)8(2)A)
2 HE FIFE RESISTANCE RATING F.T. RATED HIRISTOP 3 1 9 3(7)		12 12 (3) 3 1 5 1(3)
4.8 STORAGE GARAGE: LEYEL 1		ALTERNATI SOLUTION
GROUP I, O'USION 3, UP TO 6 STORE'S, SPRENKLERED		3 £ 1 62
NAX. ALLOWABLE BLIEDING ARCA: + 7200 m²		32.162.1/G(VV)
THE FIREWALL IMASONRY CONSTRUCTION)		11.102-1), ASTRNATESOLUTION
NON COMBUSTBUE CONSTRUCTION		12212(0)
PICHEM ASSEMBLIES 2 FR FIRE SEMARATREA WITH 2 HE		A 2.2 N2(2), ALTERNATE SULLETION
DAD BEARING WALLS, COLUMNS & AND CONCTUSE T	HAN REQUIRED FOR THE SUPPORTED ASSEMBLY	122147 2(G
A.A. MESIDENTIAL LEVEL 1		ALTERNATE SCENTROW
SHOUP C, UP TO 6 STOREYS, SPERMILERED		F.2.2.45-(1), F.2.2.45-(1)(A)
MAX. ALLOWAR E BUILDING AREA. + 6000 W ²		4.2.1.45(1)(C)(V)
O HE PREWILL MARKONEY SCHOREUCTIONS NOW COMBUST BLE CONSTRUCTION		# 2.10.2, # y carrening southers.
FLOOR ASSEMBLIES: 2 HR FIRE SERARATION WITH 3 HR	the man are desire that there	1.2.2 (EL(3)(A), ALTERNATE ROLL/TROLL
CAD BEIRRAD WALLS COLUMNS & ARCHES WITH LEATH		1.2.4.5(2)(C)
4.E. REIDENTIAL LEVEL 3 TO E	THE RECEIVED THE TEST BE SEEN THE TEST	12210
SKOUP C. UP TO 6 STOREYS SPRINGLERED		12250(i) 12250(iin)
MAX. ALLOWABLE BUILDING AREA < 1500 m² (ITEFER TO	3: BUILDING AFEAS ABOVE	\$2.250(1)(0)(V)
2 HE FEEWALL MASONET CURSTRUCTURE)		8.1.102.6]
COMBUSTIBLE CONSTRUCTION		4 2.3 SO(3) DICKPT (2)(C)
FLOOR ASSEMBLIES: I HR FIRE SEPARATION WITH LIMIT	THE REDSTANCE BATHE	3 2.7 50(7)(A)
ACOF ASSEMBLES 1 HE FIRE RESISTANCE RATING		# 5°T 209(\$HC)
MEZZANINES I HIS FIRE BESISTANCE BATING		\$2:30(4)(c)
LOAD BLARING WALLS, CLILLIMING & ARCHES NET LESS		\$2.240(ZHE)
4.5.1. BUILDING HEIGHT:	6 STDMES	1A11 SPENIS TRANS-RESIDENCES
4.5.2. GRADE ELEVATION:	3.74 m (LUWIST AVS GRACIE EAST ELEVATION: 3.7848-70/20	L4_12_DERIVED TEXMS_GRADE
4.5.1. FIRST STOREY ELEVATION:	it se	1 + 1.1 OFFINED TEFALS- INSET STORES (2.11 MAY ABOVE LOWEST AVERAGE SHADE)
A.S.A. 15T STORRY TO UPPERMOST FLOOR LEVEL:	15.59m (HTTR TO REWINNS	6.3.5 (CH(1)(1)(AAAAAAIA - 1811/4)
4.5.5. 15T STORINY TO LIPPLEMOST FOOT:	25 15 m (METHE ED FLEVATIONS)	REQUIP C 0.7.2.50 (2)(d), (MAXIMUM -25 m) NON-COMBUSTIBLE RECEI CONSTRUCTION # > 25 m
S. RUILDINGS WITH MULTIPLE MAJOR COCUPANCES:	185	8112-1114-1115(0)
6 NOV-COMMUSTIBLE CLADDING:	WH .	3:400)
7. HIGH BUILDING:	NA.	126,31357,3511,32250(1)(0)
B. FREWALL:	J ret	4.10
9. MEZZANINE(S): 10. MEZZANINE EXITING:	TAN-	12 1 1 (3) (3) 14 2 2
10. MEZZAWINE EXTING. 11. INTERCONNECTED FLOOR SPACE.	"AA STOTALE EXANGE DISKIPT	12310(378,31310) 02800)
17. STORAGE GARAGE-HORIZONTAL FIRE SEPARATION	VES.	12.12
LJ SPRINKLER SYSTEM:	YES.	12118,41518
18 1 STORAGE GARAGE	VES-1009 35-2013	# 2.1 (2)(I)
LE 2 RESIDENTIAL:	AER 140-0 V E3 - 2007.	3 2 3 42(1)
113 HRE EXTRAGUISHERS	VES HEPA ED 2038	ac enti-2006 acts
IA. STANDERS SYSTEM:	ARC 46-2013	#266,3369,33616
IE FIRE ALARM SYSTEM: IE SMOKE CONTROL MEASURES:	VES STANDLE STANDE CANALISATION OF	12×1 (26)6 1 1 17
18. SMOKE CONTROL MEASURES: 17. ANNUNCATOR AND ZONE INDICATION:	160	\$245,9248
18. THE ACCESS ROUTE TO DIFFERMOST FLOOR LEVEL:	TV 25 W (MEANS AD STEWN MAN)	925 RC (MARMUM - 2016)
19. NUMBER OF STREETS:	1	#2 2 (O(3) (DR) MIN OF BUILDING PERMITTER WITHIN (M-LEW OF STRIRET, RIVER TO SITE CODE PLAY
Hones:		



NO - 33373 (SOUTH FRASTR WAY, ARROTSFORD NC VZ SEL (GARBOLOST)
420 - 5311 (13" ARROY) W. CALLMAN AR. TZ LLE (1827 91) 4754
NFCERNISTONIARD: (A



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NO. RISULF/REVISION DATE
1 ISSUED FOR DP 23-08-01
2 REGSUED FOR DP 23-09-27
3 RESSUED FOR DP 23-10-04

WESMONT EASTLEIGH APARTMENTS

20619 & 20629 EASTLEIGH CREYCENT

PROJECT #: 23.112 CITY FILE #



PROJECT DATA

SCALE N.T.S.

1.3.0 GROSS BUILDABLE AREA SUMMARY NOTES

I MEMOUND TO DUTICE FLOE OF SHEATHING OR CONCRETE, CENTERLINE OF PRIEST MALL & MISCHEFALE OF CORRIGON/STARE MALL.

EVOLUTIONS TATERIOR PARADOS DOUBLET SHIFTS, EXTERIOR PRIVACE DATE TAKES, EXCERDING PARADOS PRICLE PARAS, EXTERIOR PARADOS, PRICLE PARAS, PR

1.3.1 GROSS BUILDABLE AREA SUMMARY

LEVEL/AREA TYPE	AREA SP	AREA m?	AREASE	COMMENTS	
PI USVEL	14000	223.27 m ²	DAW		
CHOLATION					
PERKADE	11960.59	2,648.47 m²	10.0%		
SERVICE ROOMS/SHAFTS	439.95	40.71 m ²	0.316		
STORAGE	1631.34	351.52 HP	0.954		
	35466.57	2,293.38 m2	20.7%		
ISTLINI					
GROULAHON	2595.9E	24EXT198	15%		
PARKADE	113575#	3,587.43 m/	12.5%		
PETIDENTIAL	ADIT SF	275.53 m ²	2.6%		
SIRVICI ECCIVI/SHAFTS	0.470.58	136.58 m ²	0.19%		
STORAGE	1525.58	341.55(9)	0.9%		
	3102758	2,882,47 m ³	10.1%		
2ND UEVEL		-			
CROHATION	2673 SF	244.28 mF	156		
HIDDOM AMENITY	1850 SF	155.25 m²	1.079		
OUTDOOR MINENTY	3826 F	285 48 m²	2.2%		
RESPENSAL	1964759	1,546 55 m ²	9.7%		
SERVICE ROOMS/SHAPTS	30.59	2.50 mi	0.0%		
STORACE	503 DF	52 84 m²	0.3%		
	2535450	2,353.48 m2	14.8%		
34D LEVEL	20000	2,000,000			
DROMATION	2496.95	226.34 tel	1.406		
RESIDENTIAL.	179038	2,063.20 m²	10.4%		
SERVICE ROCKING/SHAFTS	38.59	3.25 W	0.016		
STORAGE	1061.58	101,19 mil	0.636		
	21457.5F	2,593.45 m²	12.5%		
ATH LEVEL					
CIRCULATION	1436 SF	226 34 m²	1.4%		
RESIDENTIAL	17903.5F	1,663.10 m²	10.6%		
SUPVICE RODAL/SHAPTS	3839	0.62 ml	0.076		
SICHAGE	-DIT 88	200 to to	(0.894		
	2145759	1,593.45 m ⁴	12.5%		
STH LEVEL		100			
DROHLATION	2400.68	her sam?	2.486		
DEDUCATIVE	3,4946.68	3,382.52 ml	9.7%		
SUPPRIOR RECOVERS HAP 15	1959	3,84 695	(U.0)w		
STEIRAGE	2003.97	300.20 mf	DAW		
	39465.52	2,715.50 m²	10.6%		
ETH LEVEL					
CRCULATION	280038	222 99 m²	13.459		
HESIDEWHAL	34946.57	1,388 53 67	0.7%		
SERVICE RODING/SHAFTS	39.55	2 54 m²	D.FW.		
STORAGE	3081 SF	507 39 m²	0.6%		
a. university					
and in the same					
AREA GRUND TOTAL	18465 5F 171693 5F	1,715.50 m ⁴ 15,949.83 == ²	100.0%		

1.4.0 UNIT COUN	TSUMMARY			
UNIT TYPE	UNIT-COUNT	UNITER	COMMENTS	
Laco	190	2.00		
LARD IV DEN	(27)	19 Will		
MIDADAPTABLE	126	20.6%		
S aless	24	17/0%		
MORDA	11	R 1%		
(AED)	10	7,4%		

1.4.1 UNIT FLOOR AREA SUMMARY NOTES

L. ALLIANT AREA AND MAGARRE TO THE COLOMINA AS EXTENSE WALL DITINGS FOR UP AREA BY AND CENTER OF WALL, CORRECT REPUBLICANCE WALL PLANT THOMAS OF WALLS AND DEALER OF THE COLOMINA AS A CONDITION OF WALL OF THE COLOMINA AS A CONDITION OF WALL OF THE COLOMINA AS A COLOMIN

1.4.2 UNIT FL	OOR AREA SUMN	IMNI				
UMIT	LINET TYPE	DOUNT	UNIT AREA SP (2 SP)	TUNIT AREA OF (1 or)	TOTAL UNIT AREA SF	TOTAL UNIT AREA (11
UNIT AL	1960		57556	49.02	1864 55	265 64 pr
JINF AZ	3.600	15	52938	48 m²	9800038	916-93-en4
UMIT AZ 1	1.003	1	51357	-48 fe ³	515 SF	48 25 m²
JANT AR ADAPTABLE	1 RED ADAPTABLE		5-17-5F	NG er/l	4836 SF	349 25 m²
BARTINGA KA TINU	1 HED ADAPTANLE	19	58656	SQ m²	10213 SF	546.77 m²
JWIT AN I	J HR:D		51838	-46.00°	310758	288,68 mF
JAIT AB.2	13.660	4	1276	-13 m ²	2106 55	185.97 ed
INT A4	O BED	1	468 SF	/43 m²	458 SF	48 57 m ²
/WT 113	I MED & DIN	17	18450	(belong)	70128.51	A4151 m*
INIT SI	3 BED & DEF	1	5979F	SSMA	597 SE	55.42.116
PAIT RZ	1 BED & CEN	- 1	FOESE	NB m5	3128 SE	250,54 m²
UNIT BIS	1 RED & DEN	4	6063F	156, 163	242257	275.09 to E
UNIT 65	LEED & DEN	4	60936	(57 m²	24.08.56	2.76.48 m²
UNIT 94	1 BED & DES		584.50	32 m²	386.96	53.53 mf
INST'ES	II RED		76435	100 m²	MERSE	414 60 mF
UWIT EAL	(2.00)	,6	MASSF	100 m ²	3/758.5F	347.31 mf
HWE ICE	(2.000)		75/05/	G to*	750.50	98.67 m²
UNIT 62	72 ESLE	4	717.56	-77 m²	skesor	125 28 m ⁻⁷
JIVIT ES	7 HED	167	7)45F	Mi m ²	71425F	SELABITE
JWC 93;	12 HED IS DIEV		(114:5)	% (E)*	4070 M	9 / M GB- 89*
JIMIT DS	Z BED & DEW	1	104.98	12348	41.15 57	383,60 mi
UNIT 01.	⊇ BED & DEH	1	MESE	West.	MESF	76.53 m²
UMTER	3160	10	MIG SI	12 tel	(892) 31	929 W m ^C
UNIT TEITALS: 136					39434 SF	8025 55 mX





REISSUED FOR

167	TSSLF/REVISION	DATE
	ISSUED FOR DP	23-08-0
2	REGSUED FOR DP	23-09-2
3	REISSUED FOR DP	23-10-0

WESMONT EASTLEIGH APARTMENTS

20619 & 20629 EASTLEIGH CREVOEN-LANGLEY, B.C.

PROJECT #: 23.112 CITY FILE #



PROJECT DATA

SCA

	DNTS/ARIA	REQUIRED FACTOR	MONRISO STALLS	
THILLE PARKING STALL DATA	DALLEY VALVE	MIGUREDANCION	HICEANALD STALLS	
ENANTS:	164 GHITS	10	E4 MALES	
GED & DEN	27 UNITS	10	STISTALIS	
1982)	24 08175	1.35	(1.25(2A) - 30 STALLA	
HED & DEN	13 UNITS	1.25	1.25(E1) = 15 75 STAILS	
T UED	19 UNITS	140	1.4(10) + 1.4.5.3(ALD)	
MAIL DAR	PAFA.	40% MAX OF TOTAL STALLS	MAE 0.40(349) = 60 STALLS	
ICCESSIBLE	PAÍA.	5% ANN OF TOTAL STALLS	MN. 0.05 (49) = 7.5 = 857AL5	
HETRIC WHICH CHARGING	N/A	10% VIN OF TOTAL STALLS	MN 0.103390 = 3557415	
TOTAL RESIDENT STALLS		100 100 100 100 100 100 100 100 100 100	149 STALIS	
			1350.22	
ASTORS STANDARD	138 UNITS	6.05	0.20(136) - 20.4 - 20.57AM.5	
MALL DAR	N/A	ADM MAY OF YOTA: STALLS	MAX (240720) + 8 57ALL3	
CONTRACT	74/A	STEMM OF TOTAL STALLS	Min. 0.05(20) - 1.5TAU.	
LECTRIC VEHICLE CHARGING	ra/A	10% YEAR OF TOTAL STALLS	MN. 0.10(20) = 2.3EALLS	
TOTAL VISITOR STALLS:			20 ITALIS	
PECALITY PARKING STALL				
DALING	M/A	3.10. eW s.fe; 9to e per e 3.600	1	
DTAL COMMERCIAL STALLS:			1 STAIL	
TOTAL VEHICLE STALLS			170 STAUS	
			7,100	
BICYCLE STALL DATA				
esipent (UNIT) (CLASS ()	Disting	ns.	OBJUNE - SEE STALL	
ASTON / EMPLOYEE (CLASS 2)	74/0	CONCERTER BUILDING	6	
TOTAL BIOVILLE STALLS:			74 STALLS	
			1 (27)	
STORAGE STALL DATA				
esceso	116 04:12	TE	126	
DIAL FIURAGE STALLS:			116	

1.7676.2 5000000000000000000000000000000000000				VIDED	
PARKING STALL LISER/TYPE	PARHING STALL COUNT	* BY STALL USER	% OF OVERALL	COMMENTS	
SPECIALTY PARKING STAIL					
LOACING	i	1/8/6%	1%		
SPECIALITY PARKING STALL 1		100.0%	236		
TEMANT					
ACCESSHELE:	4	54%	5%		
EV	25	10.1%	9%		
SWAN CAR	-45	33.2%	20%		
STANDARD	it:	Se all	465		
TEMANT: 149		100,0%	88%		
VISTOR					
ACCESSIR F	1	50%	1%		
iv-	- 2	10.0%	2%		
SWALL CAR	T	35.0%	2%		
STANDARD	26	50.0%	ASIC SASI		
VESTERV		130.79	179		
TOTAL PARKING STADE LTO			20096		

1.5.3 BIKE PARKI	NG STALL DATA-P	ROVIDED		
PARKING STALL USE N'TYPE	PARKING STALL COUNT	PARKING STALL N	COMMENTS	
TENANT				
STANDARD MEE	81	84.4%		
VERTICALIBLE	- 0	9.4%		
TENANT 50		23.6%		
VISITOR				
STANDARD BIE	1.0	0.00		
VISITOR: 6		0.3%		
TOTAL BUE PAREING STALLS: SE		200 this		

1.5.4 STORAGE ST	ALL DATA-PROVI	IDED	
NAMENG STALL USE N'TWIFE	INNIONE EXALT COUNT.	HANNING STALL N	CONNECTS
TENANT			
FICEACE COMPARTMENT STALL FOTAL STORAGE STALLS 142	141	500.0%	



NO - 33373 | SOUTH FRASTR WAY, ARROTHORD NC VZ SIZE | GOLINGO 0577 | 410 - 5311 | 11th AFRON | 1 W, CALMAN AR | 720 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR | 750 (LIGH | 1827 91) 475 | 1 W | CALMAN AR



REISSUED FOR

NO. RISUF/REVISION DATE
1 USUED FOR DP 23-08-01
2 REGIVED FOR DP 23-09-27
3 REGIVED FOR DP 23-10-04

WESMONT EASTLEIGH APARTMENTS

20619 & 20629 EASTLEIGH CRESCENT

PROJECT #: 23.112 CITY FILE #



PROJECT DATA

SCA

1.6.0 GROSS FLOOR AREA (FSR) SUMMARY NOTES	1.6.2 FSR CALCULATION		
WHARRED TO DUTUD FALL OF SHEADING OF CONCEPTS CENTERING OF PARTY WALL & BUILD FALL OF CORROCALS WHIWAY	GROSS FLOOR AREA (PSR) SF	SITE AREA SE	risk
	J110085F	#01275F	2.77

LIVEL/AMEATYPE	AREA SF	AAEA m²	AREA 76	COMMENTS
STORAGE				
REPORT	1910	140.00 005	2.6%	STERAGE
2ND LEVIS.	569.94	AZ BB mil	2.5%	STDAABE
DED LEVEL	30K3 TF	190.00 44	10%	STEMAGE
4DLUEVO.	100357	100.49 es2	1.96	STORAGE
STH LEVEL	allegae	iso men	2.7%	SIDNASE
GTH (EVE)	a descript	100.35 m²	3.0%	STORAGE
	SA15 SF	CHE SE mA	54%	
SERVICE ROCKE/SHAFTS.				
LSY LEVEL	1470 SF	1363# nF	1.06	
290 16VII	36 56	3 57 m²	3.9%	
3RD (EVE)	38 5F	3.52 m².	30%	
STR LEVEL	28.25	4.62 m²	to other	
STH LEVEL	37.57	1.64 m²	2.0%	
eni ueve.	39 85	a 64 m²	0.0%	
	1462 14	154.41 m²	1.9%	
BESIDENING				
DITLOW	4045.57	370 Na e≕	1.696	
DING LEVEL	16613 5	1535 66 m ²	35 (%)	
SHE LEVEL	\$7990.59	1163.70 m²	35.1%	
4TH LEYEL	17903.5F	1663.2011	16.170	
STH LEVEL	14946-55	1394 53 m²	12.0%	
6TH UEVEL	14946.57	1395.53 m²	1159	
	86384 55	8025,35 m²	77,856	
INDOOR AMENITY				
250 16961	1650.6	151.75.00	1.0%	
	1650 SF	159.25 m ⁴	1.5%	
CIRCULATION				
10 UND	2550.50	24132161	2.9%	
ZNOTEVIL	2629 SF	34438 eF	2.65	
SKD LEVEL	JE355F	246.34 m²	1.0%	
ani upvo.	143638	220 34 et*	23%	
STHAEVE	2400 SF	727.65 (47	27%	
GTH CLYN	2400 SF	772.91 PF	2.7%	
	14897 SP	1583,75 m²	11.4%	
AREA GRAND TOTAL	11100m sp	10312.06 =4	100 0%	



100 - 33151 (SOUTH PRUSER WAY, ABROTSFORD BC VZS 282 (GOLESC 0577 410 - 363) (13th AVENUE SW, CALLMAN AB T20 (16) (627 391 4762 NECONIVETONIARIS CA



23-10-04

REISSUED FOR

NO. ISSUE/REVISION

DP

FSR COLOUR LEGEND

CIRCULATION
PARKADE RESIDENTIAL
SERVICE ROOMS/SEALIS
STORAGE

1 13SUED FOR DR 23-08-01 2 REGSUED FOR DP 23-09-27 3 REISSUED FOR DP

WESMONT EASTLEIGH **APARTMENTS**

20619 & 20629 EASTLEIGH CRESCENT. LANGLEY, B.C.

PROJECT # 23.112 CITY FILE #



FSR PLANS



SD1.13



1ST LEVEL



100 - 33151 (SOUTH PRUSER WAY, ABROTSFORD BC VZS 282 (GOLESC 0577 410 - 363) (13th AVENUE SW, CALLMAN AB T20 (16) (627 391 4762 NECONIVETONIARIS CA





REISSUED FOR

DP

NO. ISSUE/REVISION

1 ISSUED FOR DP

2 REGSUED FOR DP 23-08-01 23-09-27 3 REISSUED FOR DP 23-10-04

WESMONT EASTLEIGH **APARTMENTS**

20619 & 20629 EASTLEIGH CREVORN-LANGLEY, B.C.

PROJECT #: 23.112 CITY FILE #



FSR PLANS



3RD/4TH LEVEL 1/16 1-0

7 HIST

FSR COLOUR LEGEND

CIRCULATION

RESIDENTIAL

INODOR AMENITY

OUTDOOR AMENITY

SERVICE HOOMS/SHAFTS STORAGE

RESIDENTIAL 2549 SF

INDOOR AMEN TY 1131 SF

STORAGE 303 SF

OUTDOOR AMENITY 3826 SF

INDOOR A

RESIDENTIAL

14093 SF

INDOOR AMENI

2ND LEVEL 1/16" / 1'40"

STORAG

266 SF



NECONIVETONIARIS CA





RESIDENTIAL 10041 SF

5TH LEVEL 1/16" - 1/16"

6TH LEVEL

RESIDENTIA 10041 SF

REISSUED FOR

NO. ISSUE/REVISION DATE
1 ISSUED FOR DP 23-08-91
2 REGSUED FOR DP 23-09-27
3 REISSUED FOR DP 23-10-04

WESMONT EASTLEIGH APARTMENTS

20619 & 20629 EASTLEIGH CRESCENT

PROJECT #: 23.112 CITY FILE #



FSR PLANS



DESIGN RATIONALE

SITE DESCRIPTION

THIS MULTIFAMITY DEVILOPMENT ALIGNS WITH THE CITY OF LANGLET VISION, PROVIDING HOLDING TO A DIVERSE AND INCLUSIVE DEVOCRAPHE, AND INCORPORATING EVINGOMENTAL SOLUTIONS AND A SIGNIFICANT CUTDOOR GEEN SPACE. THE PROJECT SITE IS LOCATED ON THE MOSTHERS HOS OF PASTLIGHT CRISCORT, ONE BLOCK FROM THE SLOWER ROAD INTERSECTION. CONSISTING OF SITES, THE ENSITING BUILDINGS IS AVECANT SENDICK CARE FACILITY THAT STERDOLES CARE FACILITY THAT STERDOLES OF TERMOLET SITE.

PROJECT DESCRIPTION

THE PROPOSED DEVELOPMENT IS A SIX STOREY. 36 LNIT, MULTI FAMILY RESIDENTIAL BUILDING CONGRETE PARKADE, ONE LEVEL OF REDUCE GRADE PARKING WITH GROUND LEVEL OF ABOVE GRADE PARKING WITH GROUND LEVEL UNITS FACE LAST LIEST CRESCENT AND S LEVELS OF WOOD FRAME RESIDENTIAL UNITS ALEVEL AND OF LIEST TO 3 BED UNITS SUPPORTS A VARIETY OF LIEST TO 3 SEED UNITS SUPPORTS A VARIETY OF INCOME LEVELS AND DEMOGRAPHES.

ENVIRONMENTAL SUSTAINABILITY

SUSTA NABILITY IS ADDRESSED THROUGH SEVERAL DESIGN STRATEGIES AND INTERVENTIONS.

• A MID-RISE BUILDING WITH A HIGH-DENSITY MOUSING COMPONENT MAKES MORE FEFTOENT USE OF MUNICIPAL SERVICES AND FACULTATES ECONOMIES OF SCALE IN THE DELIVERY OF MASS TRANST. DENSIFICATION IS AN IMPORTANT STRATEGY TO HELP REDUCE CARBON EMISSIONS

THE USE OF WOOD FRAME CONSTRUCTION HAS A LIGHTER CARBON FOOTPRINT THAN STEEL •NEW WATER EFFICIENT LANDSCAPING AND OUTDOOR AMENITY SPACES WILL AID IN STORM WATER MANAGEMENT.

• LIGHT POLLUTION REDUCTION BY MEANS OF DAKK SKY COMPLIANT EXTERIOR LIGHTING OFFICERS

 THE BALLONY DESIGN PROVIDES SOLAR SHAPING FOR MOST RESIDENTIAL UNITS, WITH PASSIVE YOUTLATION SUPPLIED THROUGH OPERABLE WINDOWS.

 FROVISION OF EV PARKING STALLS AND HEAT ISLAND EFFECT REDUCTION BY MINIMIZING EXPOSED EXTERIOR PARKING.

•GENEROUS BIKE STORAGE SUPPORTS ACTIVE TRANSPORTATION FOR RESIDENTS AND VISITORS

*STORAGE AND CULLECTION OF RECYCLABLES.



SOUTH/WEST CORNER OF DEVELOPMENT

MASSING, FORM & CHARACTER

THE EXTERIOR FORM AND CHARACTER MARRY A MODERN CONTEMPORARY VERNACULAR MASSING FROM THE NEW DEVILOPMENTS ON EASTLEIGH CRESCENT WITH THE INDUSTRIAL HERITAGE OF THE NEIGHBORHOOD.

THE PROBOSAL OF WALK OUT UNITS CONNECTING WITH THE PUBLIC SIDEWALE PROMOTES A PEDESTRIAN EXPERIENCE TO RESIDENTS, WHILE THE INTERNAL COURTAND IS A SAFE, WELCOMING, AND COMMALINAL GATHERING PLACE WITH A STRONG COMMUNITY ATMOSPIERE, RROMOTING SOCIAL CONNECTION AND OVERALL WELIBRING.

THE GROUND LEVEL IS SCALED WITH PLANTERS TO ALLOW FOR A STREET-FRENDLY AND INVITING CONNECTIVITY. THE BRICK VEHER ENHANCES A SENSE OF SECURITY AND STEPNOTH, WHILE BRINGING WARMTH AND CRAFTMANSHIP TO THE GROUND PLANE, BESIDES PROMOTING THE HERBARCHY OF ENTRANCE CANOPY. THE METAL HIGIBZDITAL FRAME PROVIDES WAPFILDING WITH SIGNAGE AND PROVIDES PRIVACY TO BALCONIES AGOVE THE WAIN ENTRY.

THE RESIDENTIAL LEVELS MAINLY CONSIST OF CERRIGISATE OF METAL CARDINES, AND TESTES OF CERUICAS AND TESTES OF CERUICAS AND TESTURES SPECIAL THE INDUSTRIAL PAST. THE LIGHTER CEMENT BOARD OF LEVEL 2 AND 6 OPTICALLY REDUCES THE OVERALL SCALE TO THE BUILDING AND ALLOWS THE HIGHT METAL FRAMED VICLIANES TO PREST, PLEAT AULCION PROJECTIONS AND CONTROL AND ALLOW A SPECIAL FOR ALLOW A SPECIAL PROJECT OF THE PREST, OPENIASS, AND LIVABILITY THROUGH THE DRIVELOPMENT, WITH ENVIANCED VERY ALLOWING SESSIONTS TO EXPLIENCE THE OUTDOORS WHILE THE PREST, AND ALLOWING SESSIONTS TO EXPLIENCE THE OUTDOORS WHILE THE PREST, AND ALLOWING SESSIONTS TO EXPLIENCE THE OUTDOORS WHILE THE RESIDENCE TO THE OUTDOORS WHILE THE PREST, AND ALLOWING SERVICE THE OUTDOORS WHILE THE RESIDENCE TO THE OUTDOORS WHILE THE PREST, AND ALLOWING SERVICE THE OUTDOORS WHILE THE RESIDENCE TO THE OUTDOORS WHILE THE RESIDENCE TO THE PROME THE PRO

CRIME PREVENTION

THE FOUR KEY PRINCIPLES OF CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED) ARE NATURAL SURVEILLANCE, ACCESS CONTROL, TERRIFORMALITY AND MANTENANCE & MANAGEMENT.

NATURAL SURVEILLANCE IS INCORPORATED THROUGHOUT THE BUILDING PERIMETER AND THE INTERIOR COURTYARD THROUGH THE INTRODUCTION OF CLEAR SIGHTLINES AND "EYES ON THE STREET" VIA RESIDENTIAL WINDOWS, AND PRINATE BALCONIES.

PRIMARY ENTRANCES ARE CLEARLY DEFINED AND GLAZED FOR HIGH WISBUILTY. THE INTERIOR OF THE PARKAGE IS WELL IF WITH WISTOR PARKING CLEARLY DESIGNATED. THE BUILDING LOBBY AND THE PARKADE ARE SUPPLIED WITH AN ELECTRONIC ACCESS CONTROL SYSTEM.

TERRITORIAL REINFORCEMENT IS PROVIDED THROUGH THE PAYING DESIGN THAT COMNECTS THE PUBLIC SIDEWALTET OTHE BUILDING ENTRANCES. RESIDENTIAL UNITS WITH GROUND FLOOR PATIOS OPEN DIRECTLY DINTO THE STREET BUT ARE RAISED WITH TIERED PLANTERS TO ESTABLISH A BUIFFER ZOUR BETWEEN COMMON AND PRIVATE PACKES.

ISSUES SUCH AS GRAFFITI CAN GIVE THE IMPRESSION THAT COWNERS DO NOT CARE ABOUT THEIR PROPERTY. KEEPING THE BUILDING WELL MANNAINED BRINSS A POSITIVE APPEARANCE TO THE NEIGHBOURHOOD.



MAIN ENTRANCE

A H C H J T E C T U H E XO 33331 | SOUTH RASK WAR, ABSOTS/ORD BC XX 303 | 404 BC/RY7 400 | 331 | 17³⁴ MWWG SU, CULCARY AB [73/141 | 57/374 4/38



REISSUED FOR

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-0
2	REISSUED FOR DP	23-09-7
2	DESCRIPTION DO	22.10.0

WESMONT EASTLEIGH APARTMENTS

20619 & 20629 EASTLEIGH CRESCENT. LANGLEY, B.C.

PROJECT # 23.117 CITY FILE #



DESIGN RATIONALE

SCAL



EASTLEIGH ELEVATION



OUTDOOR AMENITY LOOKING NORTH



OUTDOOR AMENITY LOOKING SOUTH

KEYSTONE

IGO - 33331 I SOUTH FRASER WAY, ABBOTSFORD BC. VSS 381 (GOALBOO) 577 410 - 533 I 11th AVENUE SW, CALGARY AB. TAY 114 I 567-391 AYOR INFORKEYSTON-ARCH, CA.



REISSUED FOR

NO. ISSUE/REVISION DATE
1 ISSUED FOR DP 23-08-01
2 REISSUED FOR DP 23-09-27
3 REISSUED FOR DP 23-10-04

WESMONT EASTLEIGH APARTMENTS

20619 & 20629 EASTLEIGH CRESCENT, LANGLEY, B.C.

PROJECT # 23.112 CITY FILE #



RENDERINGS

SCALE



1.9.0 GENERAL SITE NOTES TONE

REPER TO SITE CODE PLAN & SITE LAYOUT PLAN FOR MORE INFORMATION.

REFER TO CIVIL ENGINEER'S DRAWINGS FOR IS AREA BRAINAGE, SITE ILLIVATIONS, SANITARI SEWER LINES, EXTENT OR DEMO, NEW AND REPARRED PAVING, OTHER SERVICES, ETC.

ACCOMMEND MYSING, OTHER SERVICE, STEP.

3. VEREY ALL STEE INFORMATION, BUILDING AREA,
DIMENSIONS AND HEARBASS WITH LEGAL SURVEY
PLAN
A DISTRIPT TO LANDSCAPE DRAWINGS FOR ALL HARD
SORT LANDSCAPING.

E. TWITOP OF WALL TOCHTOP OF CURB SW-BOTTOM OF WALL BOC-BOTTOM OF CURB



1 4 5 4 1 7 7 5 7 0 4 7

NO - 38271 | SOUTH PRUSER VIAY, ABRIOTHORD NO VZS 288 (COURSE 0577 410 - 358 | 32th Avenue | W. Caleman Me 730 (164 | 587 391 4762

NFORKSYSTOMAKEN CA



REISSUED FOR DP

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-
2	REISSUED FOR DP	23-09-
3	REISSUED FOR DP	23-10-

WESMONT EASTLEIGH **APARTMENTS**

20619 & 20629 EASTLEIGH CRESCENT, LANGLEY, B.C.

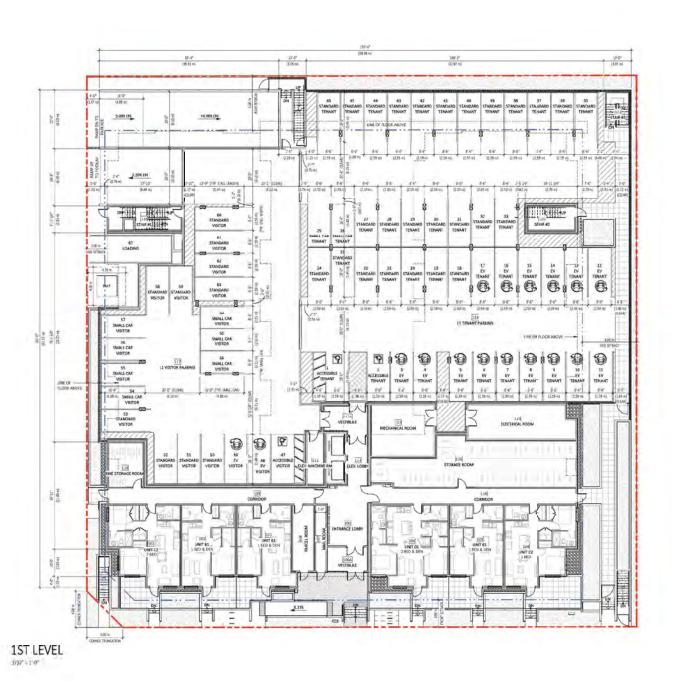
PROJECT # 23.112 CITY FILE #



SITE PLAN



SD2.01





NO - 38381 (SOUTH FRASER WAY, ABBOTSFORD BC VSC 583 (GOARSCOST) 410 - 83) (11th AVENUE SW, CALBARY AB TER ILL) 1627 391 4748 INFORMYSTOMARCH, CA



REISSUED FOR

NO.	ISSUE/REVISION	DATE
	ISSUED FOR DR	23-08-
2	REISSUED FOR DP	23-09-
3	REISSUED FOR DP	23-10-

WESMONT EASTLEIGH APARTMENTS

20619 & 20629 EASTLEIGH CRESCENT, LANGLEY, B.C.

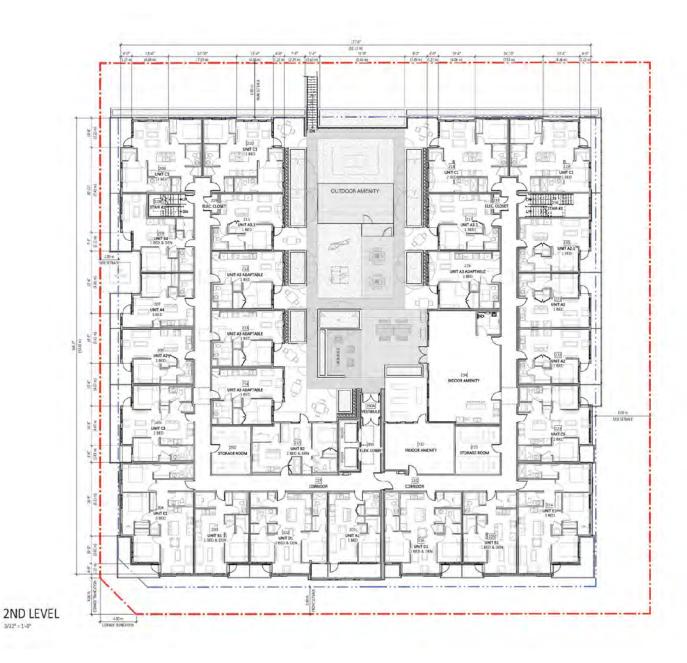
PROJECT # 23.112 CITY FILE #



1ST LEVEL PLAN



SD2.02



3/32" = 1'-0"

KEYSTONE A R C H I T F C T U E F

100 - 383/1 | SOUTH FRASER WAY, ABNOTSFORD BC VZS 283 (GOARSC 0577 410 - 363 | 13th AVENUE SW, CALLARY AB 130 (LG) | 537 391 4763 NFC/BKEYSTONEARCH CA



REISSUED FOR DP

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DR	23-08
2	REISSUED FOR DP	23-09
3	REISSLIED FOR DP	23-10

WESMONT **EASTLEIGH APARTMENTS**

20619 & 20629 EASTLEIGH CRESCENT. LANGLEY, B.C.

PROJECT # 23.112 CITY FILE #



2ND LEVEL PLAN





3/32" - 1:0"

KEYSTONE LACHITECTURE

NO - 383/1 | SOUTH PRUSER WAY, ABOUTSFORD BC VZS 283 (GOUSSIC 0577 410 - 35): 13th Avenue 5W, Calbary AB 130 (16) | 587 391 4763 NECONIVETONIARIS CA



REISSUED FOR DP

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

WESMONT **EASTLEIGH APARTMENTS**

20619 & 20629 EASTLEIGH CRESCENT. LANGLEY, B.C.

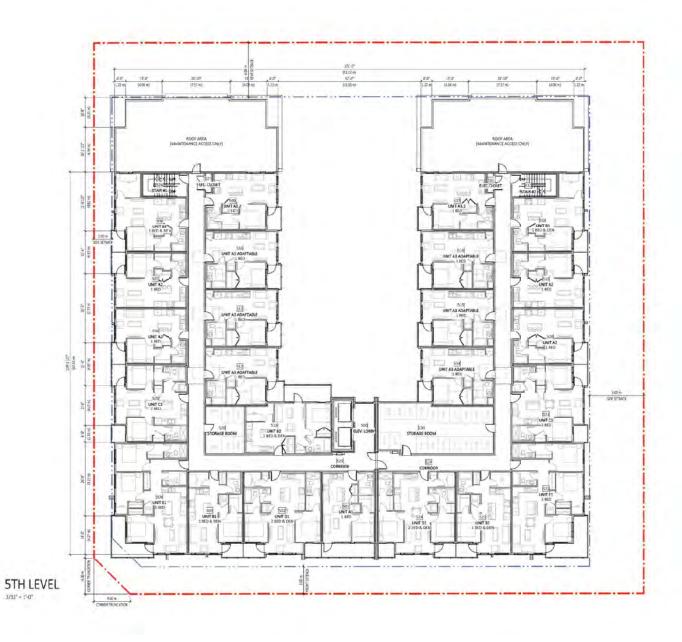
PROJECT # 23.112 CITY FILE #



3RD/4TH LEVEL PLAN



SD2.04





100 - 383/1 | SOUTH FRASER WAY, ABNOTSFORD BC VZS 283 (604850.057) 410 - 363 | 13th AVENUE SW, CALBARY AB 130 (16) | 537 391 4763

NECONIVETONIARIS CA



REISSUED FOR DP

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DR	23-08
2	REISSUED FOR DP	23-09
3	REISSUED FOR DP	23-10

WESMONT **EASTLEIGH APARTMENTS**

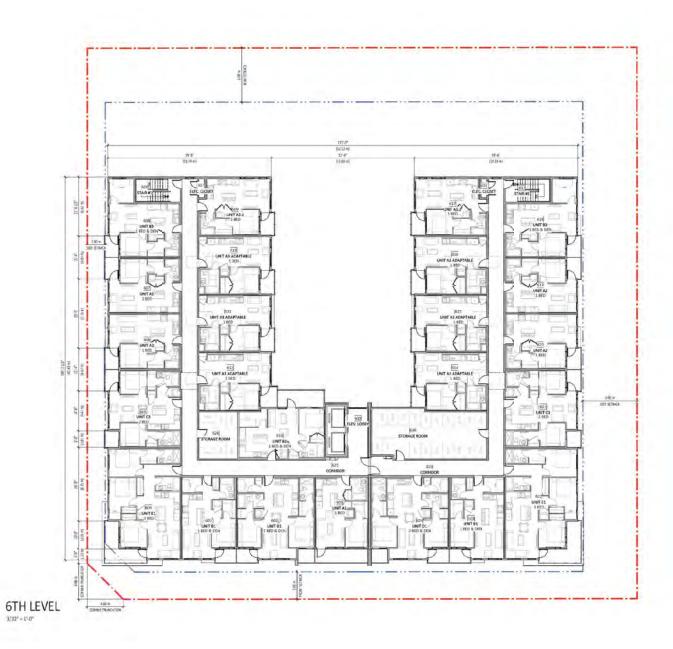
20619 & 20629 EASTLEIGH CRESCENT. LANGLEY, B.C.

PROJECT # 23.112 CITY FILE #



5TH LEVEL PLAN







NO - 38381 | SOUTH PRUSER WAY, ARROTSFORD BC VZS IBB. (DA-RISC DST? 430 - 1851 | 137" AVENIES W, CAURARY AB TOR ILLE | 567 991 4768 INCOMENTED MARCH, CA



REISSUED FOR

ISSUED FOR DR	
1330EU FOR UF	23-08-01
REISSUED FOR DP	23-09-27
REISSUED FOR DP	23-10-04

WESMONT EASTLEIGH APARTMENTS

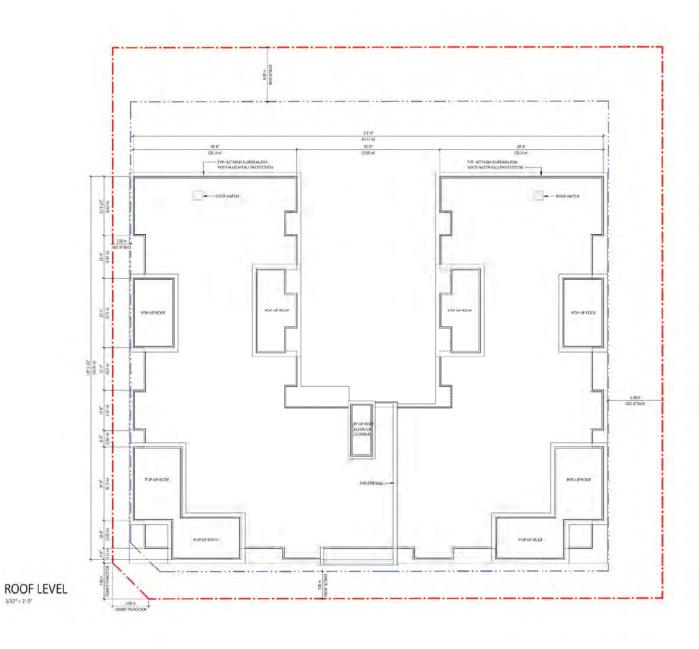
20619 & 20629 EASTLEIGH CRESCENT. LANGLEY, B.C.

PROJECT # 23.112 CITY FILE #



6TH LEVEL PLAN





KEYSTONE

NO - 3533 | SOUTH FRASIÈ WAY, ABROTSFORD BC VZ 383 - 60485C0577 432 - 351 | 13" APENDE SW, CALBARY AB 725 LLO 1637 914 556 NFCEKYSTONIARDI CA



REISSUED FOR

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

WESMONT EASTLEIGH APARTMENTS

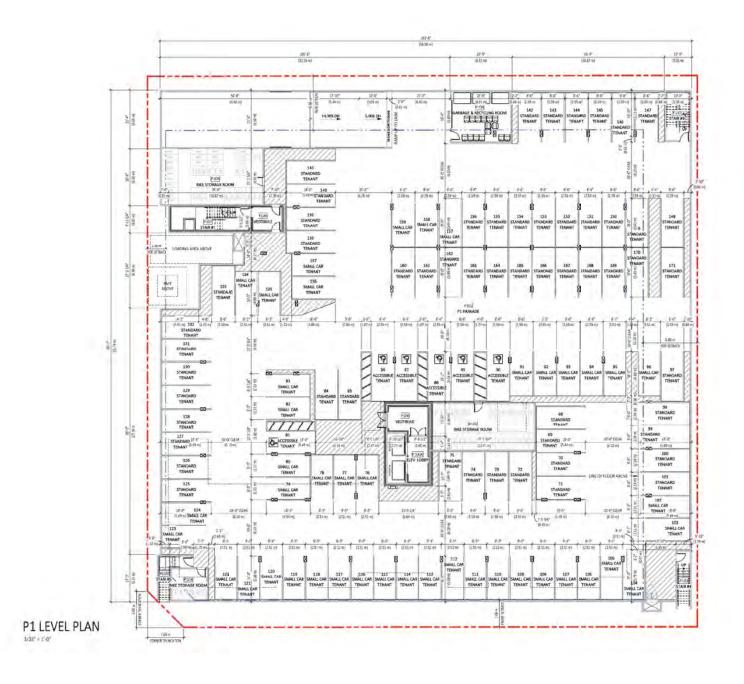
20619 & 20629 EASTLEIGH CRESCENT. LANGLEY, B.C.

PROJECT # 23.112 CITY FILE #



ROOF LEVEL PLAN







NO - 3325 | SOUTH FRASER WAY, ARROTSFORD IC: VZ 38a (604.800.0577 410 - 131 | 1.11** AYENDE SW, CAUSARY AB-T26 (16) | 547 991 4768 NOCEMENTONIARCH, CA



REISSUED FOR

1/7	ISSUE/REVISION	DATE
	ISSUED FOR DR	23-08-01
2	RESSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

WESMONT EASTLEIGH APARTMENTS

20619 & 20629 EASTLEIGH CREYCENT. LANGLEY, B.C.

PROJECT #: 23.112 CITY FILE #



P1 LEVEL PLAN





SOUTH ELEVATION



WEST ELEVATION

EXEVATORE

L B C H I T F C T U B F

NO - 5331 | SOUTH FRASH WALL ABIOTSFORD BC
VS 184 (60-85-057)

NO - 33331 (SOUTH FRASER WAY, ARROTSFORD BC VZ) RB. (604,806,0577 410 - 13) (12" APPENE SW, CALLARY AB TISE LLE) (567,901,4768 RFC-REVISTON-SACH, CA



REISSUED FOR

NO. ISSUE/REVISION DATE
1 ISSUED FOR DP 23-38-01
2 RESSUED FOR DP 23-09-27
3 REISSUED FOR DP 23-10-04

WESMONT EASTLEIGH APARTMENTS

20619 & 20629 EASTLEIGH CRESCENT, LANGLEY, B.C.

PROJECT # 23.112 CITY FILE #



BUILDING ELEVATIONS

SCALE 3/32" = 1'-0"

SD3.01



NORTH ELEVATION

3/37 - 1'47



EAST ELEVATION

3/32" = 1"-0"

KEYSTONE

NO - 33331 | SOUTH FRUSIK WAY, ARROTSFORD BC V25 RB - (COARSCIOST) 430 - 1631 | 137" ARROYD SW, CALBARY AB 126 LL9 | 567 991 4758 RFCARKYSTONARCH CA



REISSUED FOR

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

WESMONT EASTLEIGH APARTMENTS

20619 & 20629 EASTLEIGH CRESCENT. LANGLEY, B.C.

PROJECT # 23.112 CITY FILE #



BUILDING ELEVATIONS

SCALE 3/32"=1'-0"

SD3.02



PODIUM EAST ELEVATION

⊕ 61H | EVEL



PODIUM WEST ELEVATION 7/8" = 1" (1"

KEYSTONE A R C H I T F C T U H F

NO - 383/1 | SOUTH FRASER WAY, ABBOTSFORD BC VZS 288 (GOARSC 0577 410 - 35) | 11th AVENUE SW, CALBARY AB 130 116 | 547 391 4768 INFORKEYSTOMARCH CA



REISSUED FOR DP

NO. ISSUE/REVISION 1 ISSUED FOR DP 2 REGSUED FOR DP 23-08-91 23-09-27 3 REISSUED FOR DP 23-10-04

WESMONT EASTLEIGH **APARTMENTS**

20619 & 20629 EASTLEIGH CRESCENT. LANGLEY, B.C.

PROJECT # 23.112 CITY FILE #



BUILDING **ELEVATIONS**

SCALE 1/8" = 1'-0"

SD3.03





NO - 3328 | SOUTH FRASER WAY, ABBOTSFORD BC VZ 588 | GOABSC0577 427 - 553 | 137" AVENUE SW, CALBARY AB 126 LEP | 567 391 4768 RNCGBEYSTOMARCH CA



REISSUED FOR

NO	ISSUE/REVISION	DATE
	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

WESMONT EASTLEIGH APARTMENTS

20619 & 20629 EASTLEIGH CRESCENT.

PROJECT #: 23.112 CITY FILE #



MATERIAL BOARD

SCALE NITISE'-0"

SD4.01



KEYSTONE A R C H I Y F C T U E F

NO - 38311 | SOUTH PRASER WAY, ABNOTH-ORD SC VZS 283 (GAUSSIC 0577 410 - 363 | 13th AVENUE VW, CALLARY AS 130 (LG) | 537 391 4763 NECONIVETONIARIS CA



REISSUED FOR

NO. ISSUE/REVISION DATE
1 ISSUED FOR DP 23-08-01
2 REISSUED FOR DP 23-09-27

3 REISSUED FOR DP 23-10-04

EASTLEIGH CRESCENT STREETSCAPE

5/1/1 = 1/20



WESMONT EASTLEIGH **APARTMENTS**

20619 & 20629 EASTLEIGH CRESCENT. LANGLEY, B.C.

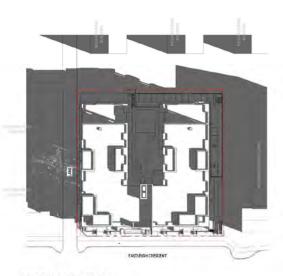
PROJECT # 23.112 CITY FILE #



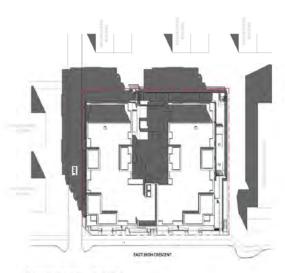
STREETSCAPES

SCALE 3/32" = 1'-0"

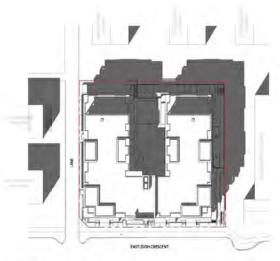
3/32" = 1"-0"



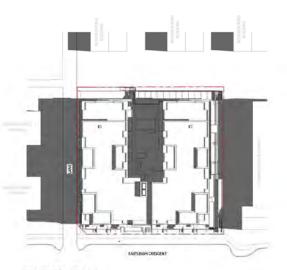
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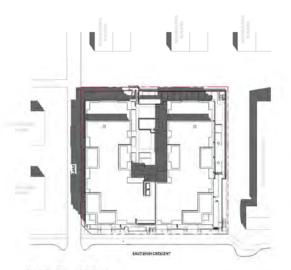
MARCH 21 - 12PM



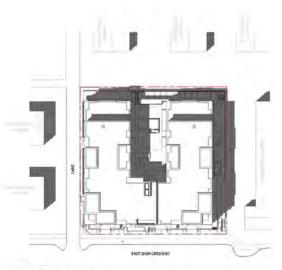
MARCH 21 - 3PM 11-4000



JUNE 21 - 9AM 1" = 40'-0"



JUNE 21 - 12PM 1" = 10".0"



JUNE 21 - 3PM 1"-40"-0"

KEYSTONE LACHITECTURE NO - 383/1 | SOUTH PRASER WAY, ABNOTSFORD BC VZS 288 (GOARSE 0577 410 - 35) | 11th AVENUE SW, CALBARY AB 138 116 | 547 391 4768 NFORKSYSTOMARCH CA



REISSUED FOR DP

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DR	23-08
2	REISSUED FOR DP	23-09
3	REISSUED FOR DP	23-10

WESMONT EASTLEIGH **APARTMENTS**

20619-8, 20629 EASTLEIGH CRESCENT. LANGLEY, B.C.

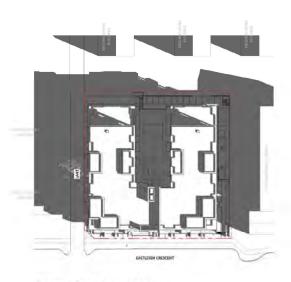
PROJECT # 23.112 CITY FILE #



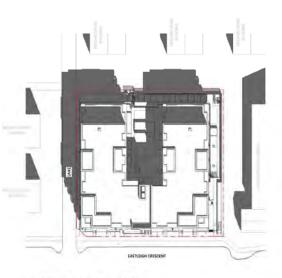
SHADOW STUDY



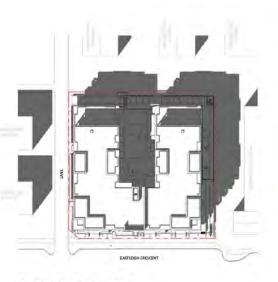
SD5.10



SEPTEMBER 21 - 9AM



SEPTEMBER 21 - 12PM



SEPTEMBER 21 - 3PM





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2	REISSUED FOR DP	23-09-
3	REISSLIED FOR DP	23-10-

WESMONT EASTLEIGH APARTMENTS

20619 & 20629 EASTLEIGH CRESCENT

PROJECT #: 23.112 CITY FILE #



SHADOW STUDY





100 - 383/1 | SOUTH FRASER WAY, ABNOTSFORD BC VZS 283 (GOARSC 0577 410 - 363 | 13th AVENUE SW, CALLARY AB 130 (LG) | 537 391 4763 NECONIVETONIARIS CA



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WESMONT EASTLEIGH

20619 & 20629 EASTLEIGH CRESCENT. LANGLEY, B.C.



APARTMENTS

PROJECT # 23.112

CITY FILE#

OCCUPANCY USE

GROUP C - RESIDENTIAL DWELLING UNIT

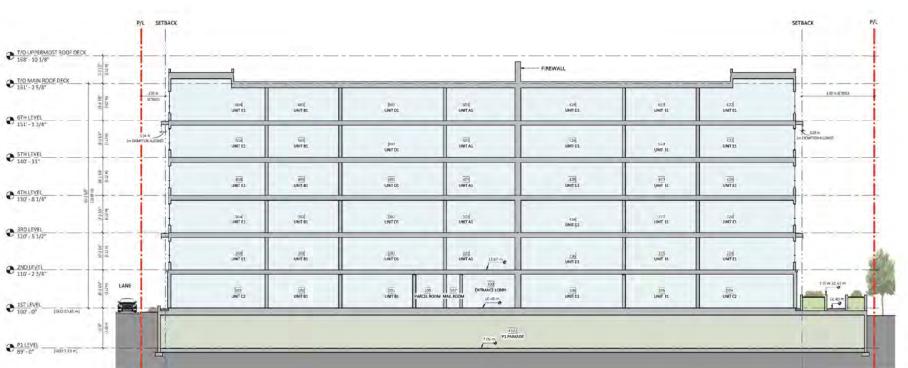
GROUP F3 - INDUSTRIAL STORAGE GARAGES



SITE SECTIONS

SCALE 1/8 = 1'41

SD6.01



NW/SE SECTION

IAP + P.C



NOT-38331 (SOUTH FRASSE WAY), ABSOTSFORD BC: VZS-383; 1 SOUTH FRASSE WAY, ABSOTSFORD BC: VZS-383; 1 SOUTH FRASSE WAY, ABSOTSFORD AND TASKS AND TA



REISSUED FOR

NO. ISSUE/REVISION DATE
1 ISSUED FOR DP 23-38-01
2 RESSUED FOR DP 23-09-27
3 RESSUED FOR DP 23-10-04

WESMONT EASTLEIGH APARTMENTS

20619 & 20629 EASTLEIGH CRESCENT.

PROJECT #: 23.112 CITY FILE #



SITE SECTIONS

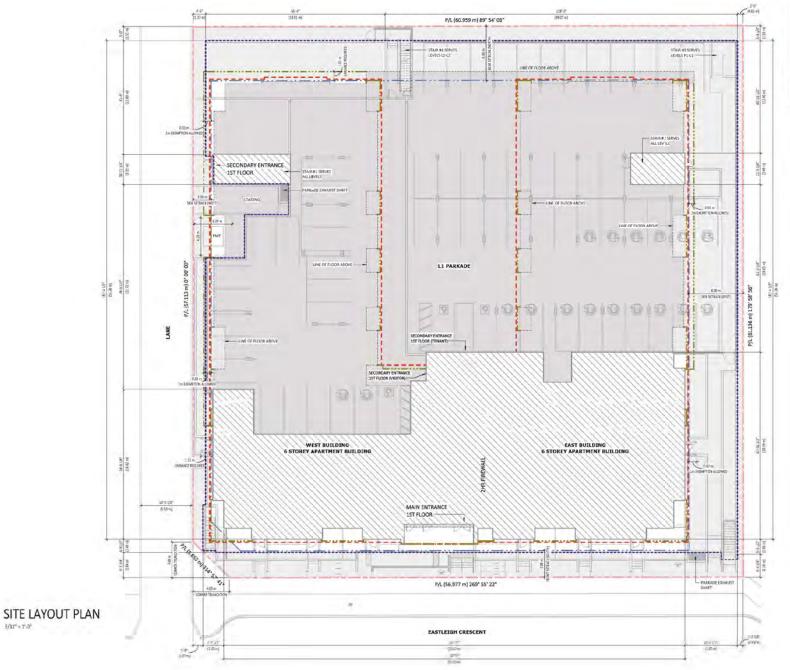




NE/SW SECTION

OCCUPANCY USE

GROUP C-RESIDENTIAL DWELLING UNIT
GROUP (13 - INDUSTRIAL STORAGE GAPAGES







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3	REISSUED FOR DP	23-10-04

WESMONT EASTLEIGH APARTMENTS

20619 & 20629 EASTLEIGH CRESCENT.

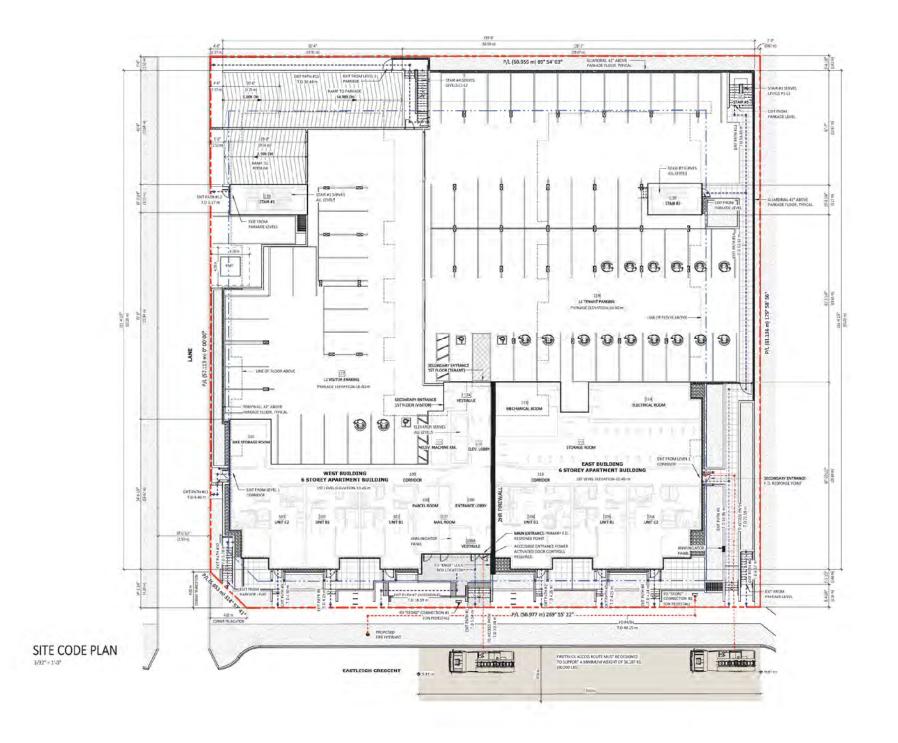
PROJECT # 23.112 CITY FILE #



SITE LAYOUT PLAN



SD7.01





NO -3331 (SOUTH PRUSIN WAY, ABROTSFORD BC VZS 283 (GOLBER, 0577 410 - 35) (11th Avenue SW, Calbary AB 128 (LG) (687 391 4768

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1	ISSUED FOR DR	23-08
2	REISSUED FOR DP	23-09
3	REISSUED FOR DP	23-10

WESMONT EASTLEIGH APARTMENTS

20619 & 20629 EASTLEIGH CRESCENT, LANGLEY, B.C.

PROJECT # 23.112 CITY FILE #



SITE CODE PLAN



SD7.02

WESMONT APARTMENTS EASTLEIGH, 20619 & 20629 EASTLEIGH CRESCENT, LANGLEY, BC



SHEET SCHEDULE

Sheet Number	Sheet Title
L-0.00	COVER SHEET
L-1.01	SITE PLAN
L-1.02	PODIUM PLAN
L-1.03	GRADING PLANS
L-1.04	OFF-SITE PLAN
L-2.00	PLANTING PRECEDENTS
1-2.01	SITE PLANTING PLAN
1.2.02	PODILIM PLANTING PLAN

DESIGN RATIONALE

THE LANDSCAPE OF WESMONT APARTMENTS ON EASTLEIGH IS DESIGNED TO REFLECT AN INDUSTRIAL, MODERN, AND SLEEK CHARACTER WITH BUIRSTS OF COLOUR ADDED THROUGH PLANT MATERIAL. THE SITE PLAN SHOWCASES APARTMENTS THAT HAVE A CONNECTION TO EASTLEIGH CRESCENT WITH A 4 ROSE DEFINED BY MOOTH PINISH CONCRETE WALLS WITH LANGE REVEALS THAT COMPLIMENT A DECORATIVE CABLE FENCING THAT VISUALLY SEPARATES PUBLIC AND PRIVATE SPACES. UNIT ADDRESSES AND ASSOCIATED LIGHTING WILL ALSO STRENGTHEN THE ORD FRONTAGE CONNECTION. FINALLY AN OFF-SET CANOPY OF TREES AND RAISED PLANTESS CONNECTS THE SURFACE PARENING LOT TO THE STREET.

THE OUTDOOR AMENITY SPACE CAN BE EXPLORED ON THE SECOND LEVEL WHERE STRONG CONNECTIONS HAVE BEEN MADE BETWEEN THE INDOOR AND OUTDOOR BANKINY SPACES WITH DOODS EXITING OUT TO AN OUTDOOR BBC AREA FROM THE INTERIOR XITONEN SPACE, AND ON OUTDOOR WISKOUT SPACE CONNECTED TO THE INDOOR SYM. ADDITIONAL MARNITES INCLIDE A CHILDREN'S PIAY AREA, A DOOR RUN, A FIRE PIT GATHERING SPACE, GAMES TABLES, AND FINALLY AN OPEN LAWN SPACE FOR PLAY AND GATHERING. DUE TO PRIMARILY A NORTHERN EXPOSITE, A STRONG EMPHASY WILL BE PUT ON ENHANCING THE SPACE WITH LUNGH, SHADEL-OUTING PLANTS THAT WILL MAKE THE SPACES FEEL INVITING AND INTERTIONAL.

WESMONT

111

111 - 23189 FRANCIS AVENUE LANGLEY, BC V1M 0G4



KEYSTONE

ARCHITECTURE

KEYSTONE ARCHITECTURE & PLANNING LTD.

T 604.850.0577 F 1.855.398.4578 T 587.391.4768

T 604.371.0250

300 - 33131 SOUTH FRASER WAY ABBOTSFORD, BC V2S 2B1 410 - 333 11TH AVENUE SW, CALGARY, AB T2R 119

E-MAIL: MAIL@KEYSTONEARCH.CA WEBSITE: KEYSTONEARCH.CA

LANDSCAPE ARCHITECTURE DIVISION

T 604.850.0577 EXT. 216

300 - 33131 SOUTH FRASER WAY ABBOTSFORD, BC VZS 2B1

E-MAIL: JENNIFER@KEYSTONEARCH.CA

A R C H J T E C T U H E 300-33331 | SOUTH FRASER WAY, ABBOTSFORD BC VIS 281, | 604 850.0517 FW, CALGARY AB 1278 119 | 1873 924 APR

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1	ISSUED FOR DP	07-28-2
2	RE-ISSUED FOR DP	09-26-2
3	RE-ISSUED FOR DP	10-05-2

WESMONT APARTMENTS EASTLEIGH

20619 & 20629 EASTLEIGH CRESCENT, LANGLEY, BC

PROJECT # 23112 CITY FILE #



COVER SHEET

SCALE

L-0.00



ŒΥ	DESCRIPTION
#	MAGUN 350 BKS RACK Colour: TBD Manufacturer: MAGUN SITE FURNISHINGS Supplier: MAGUN SITE FURNISHINGS Mount-SURFACE

KEY	DESCRIPTION
£	1.3m HIGH DECORATIVE CABLE FENC
	ARCHITECTURAL GUARDRAIL

GUAN BOTANICA: NAME COMMON NAME SIZE

8 Tilia condata "Summer Sprite" Summer Sprite Linden B+B; 6cm caliper

KEY	DESCRIPTION	
	CITYSCAPT MISSION Size: 111 x 223 x 60mm Colour: VIRONA Manufacturer: BASALITE	
	PLANK PAVER Size: 75 x 450 x 100mm Colour: NATURAL Manufacturer: IASALITI	
	CONCRETE SLAIS Size: 608 x 608 x 50mm Colour: TRADITIONAL DESERT Manufacturer: BASALITE	
	CONCRETE RETAINING WALL	-

KEY	DESCRIPTION
	SHRUB PLANTING GROWING MEDIUM: SHRUBS - 450mm MIN. DEPTH TREES - 900mm MIN. DEPTH
222	- GRANULAR DRIPSTRIP
222	
BAR	8

HARDSCAPE MATERIALS

BLI	DESCRIPTION
	CITYSCAPT MISSION Size: 111 x 223 x 60mm Colour: VIRIONA Manufacturer, BASALITE
	PLANK PAVER Sire: 75 x 450 x 100mm Colour: NATURAL Manufacturer: BASALITE
	CONCRETE SLAIS Size: 608 x 608 x 50mm Colour: TRADITIONAL DESERT Minufacturie: BASALITE
	CONCRETE RETAINING WALL

SOFTSCAPE MATERIALS

KEY	DESCRIPTION
	SHRUB PLANTING GROWING MEDIUM: SHRUBS - 450mm MIN. DEPTH TREES - 900mm MIN. DEPTH
8883	- GRANULAR DRIFSTRIP
33.5	
RED	4

WESMONT **APARTMENTS EASTLEIGH**

20619 & 20629 EASTLEIGH CRESCENT, LANGLEY, BC

KEYSTONE

300 - 33231 | SOUTH FRASER WAY, ABBOTSFORD BC V25 281 | 604 850 0577 410 - 333 | 12m AVENUE SW, CALGARY AB 13R 319 | 587 391 4768

JENNIFER WAL 626

LANDSCAPE ARCHITECTURE DIVISION

07-28-23

09-26-23

ISSUED FOR

NO. ISSUE/REVISION 1 ISSUED FOR DP

2 RE-ISSUED FOR DP

3 RE-ISSUED FOR DP 10-05-23

DEVELOPMENT PERMIT

INFO@KEYSTONEARCH.CA





SITE PLAN





HARDSCAPE MATERIALS

KEY	DESCRIPTION
	OT/SCAPE MISSION Size: 111 v 228 x 60mm Colour: VERONA Manufacturer: BASALITE
1=0=0=0=0=0	WOOD GRAIN PAVER Size 148 x 448 x 60mm Manufacturer; BASALITE
	PLANK PAVER Size: 75 x 450 x 300mm Colour NATURAL Manufacturer: BASALITE
	CONCRETE SIZES Side: 608 x 608 x 50mm Colour: TRADITIONAL DISERT Manufacturer: BASALITE
	RUBBER PLAYTEES Colour-50% GREEN Manufacturer: DINFLEX Supplier: HABITAT SYSTEMS
	CONCRETE RETAINING WALL

SOFTSCAPE MATERIALS

DESCRIPTION
SHRUB PLANTING GROWING MEDIUM: SHRUBS - 450mm MIN-DEPTH TREES - 900mm MIN-DEPTH
SANO
- GRANDAR DRIPSTRIP
500
WOOD MULCH

SITE FURNISHINGS

KEY	DESCRIPTION	
	MAGUN LEXICON 4" TABLE Colour: 180 Manufacturer: MAGUN SITE FURNISHINGS Supplier: MAGUN SITE FURNISHINGS Mount: SURFACE	
A	MAGUN 720 CHAIR Colour: T80 Manufacturer: MAGUN SITE FURNISHINGS Supplier: MAGUN SITE FURNISHINGS Mount: SUBFACE	

FENCING

I SIM HISH PENCE ARCHITECTURAL QUARDIAN	KEY	DESCRIPTION
		1.5m HIGH FENCE
I See Brack Using Colonia (MP		ARCHITECTURAL GUARDRAIL
		1.2m BLACK VINYL CHAIN LINE



田

EASTLEIGH CRESCENT















1:150 0 2m 4 6 8 10 12 14 15 18 20 25



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3	REJISSUED FOR DR	10.05.7

WESMONT **APARTMENTS** EASTLEIGH

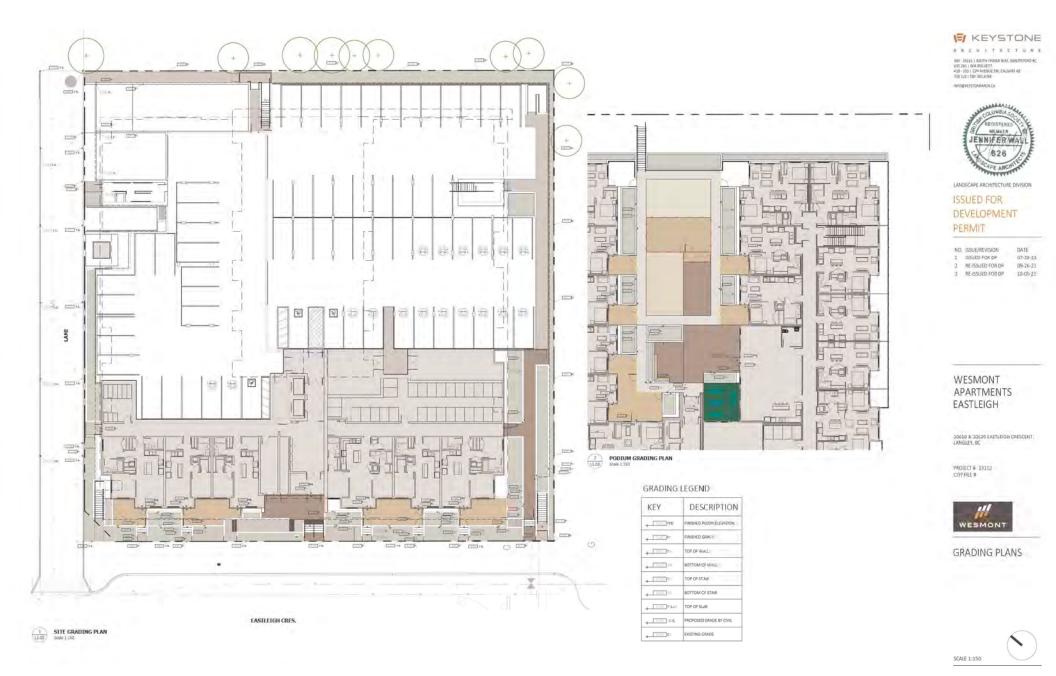
20619 & 20629 EASTLEIGH CRESCENT, LANGLEY, BC

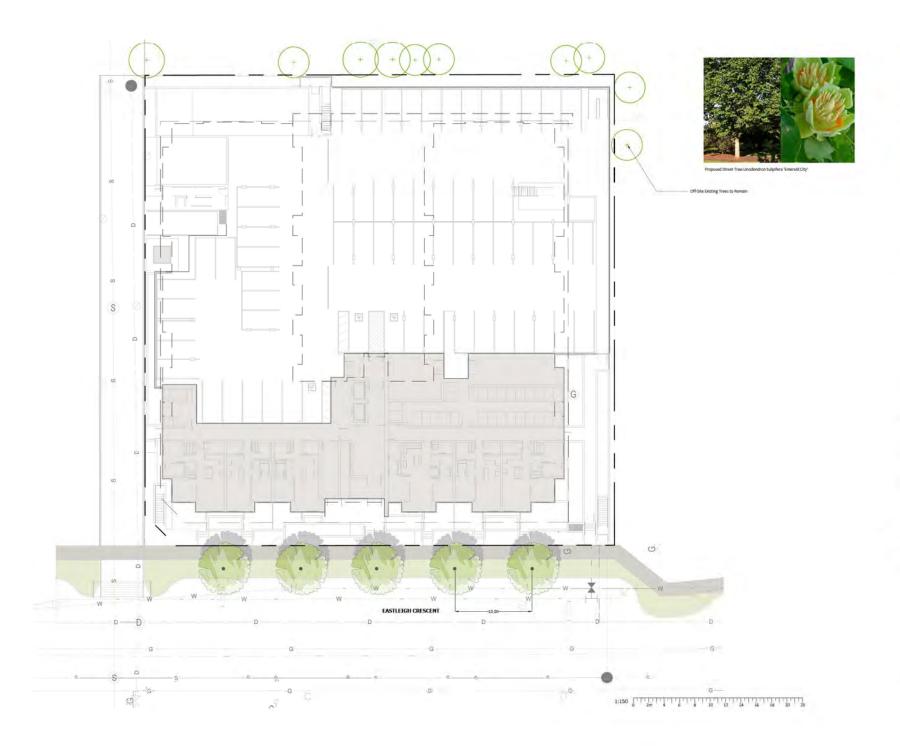
PROJECT # 23112 CITY FILE #





L-1.02







300 - 33331 | SOUTH FRASER WAY, ABBOTSFORD BC V2S 2B1 | 604 850.0577 410 - 3331 | 12" AVENUE 5W, CALGARY AB T2R 119 | 887.314 AVEN INFORMERYSTONEARCH CA



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RE-ISSUED FOR DP	09-26-23
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WESMONT APARTMENTS EASTLEIGH

20619 & 20629 EASTLEIGH CRESCENT, LANGLEY, BC

PROJECT # 23112 CITY FILE #

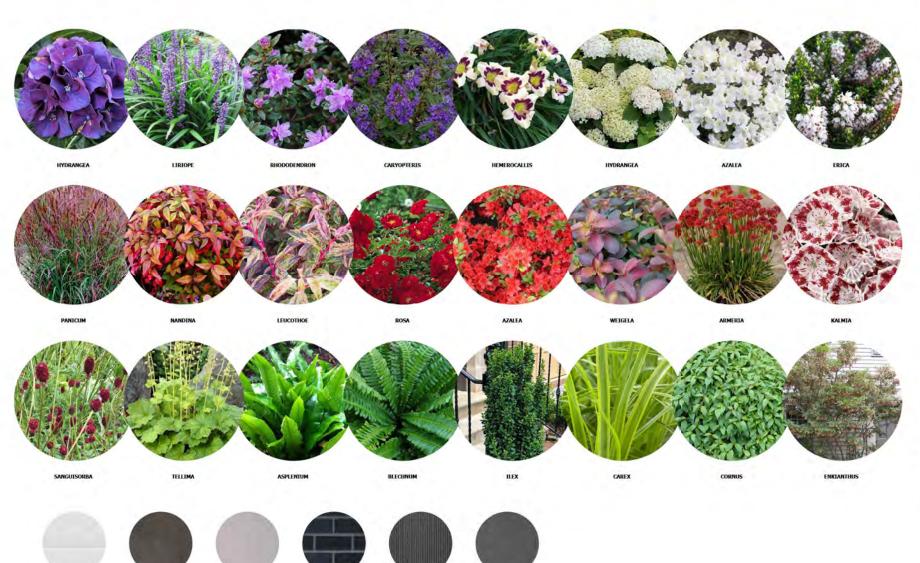


OFF-SITE PLAN



SCALE 1:150

L-1.04



ARCHITECTURAL PALETTE



300 - 33131 | SOUTH PRASER WAY, ABBUTSFORD BC VZS 281 | SOL 850.0577 410 - 333 | 1214 AVENUE SW, CALGARY AB 178 119 | 587.391.4748

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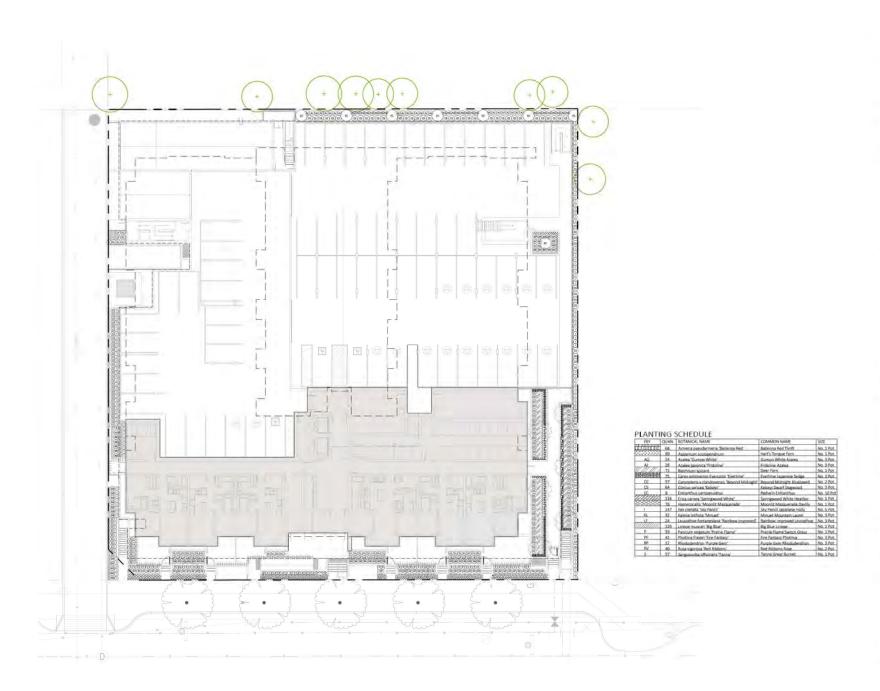
20619 & 20629 EASTLEIGH CRESCENT, LANGLEY, BC

PROJECT # 23112 CITY FILE #



PLANTING PRECEDENTS

SCALE N.T.S.





300 - 31331 | SOUTH FRASER WAY, ABBOTSFORD BC V2S 281 | 604 850.0577 410 - 333 | 11th AVENUE 5W, CALGARY AB 173 319 | 547 731 4 768 INFOGRESSYDONEARCH CA



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WESMONT APARTMENTS EASTLEIGH

20619 & 20629 EASTLEIGH CRESCENT, LANGLEY, BC

PROJECT # 23112 CITY FILE #



SITE PLANTING PLAN





PLANTING SCHEDULE

ITY QUAN [807AMCK NAME]

SET QUANTING SCHEDULE

ITY QUANTING SCHEDULE

ITY QUANTING SCHEDULE

Set Schedule Schedule

Set S PLANTING SCHEDULE

F KEYSTONE 300 - 33231 | SOUTH FRASER WAY, ABBOTSFORD BC V25 281 | 604 850 IS77 410 - 333 | 12th AVENUE SW, CALGARY AB 12A 319 | 587 391 4768

INFO@KEYSTONEARCH CA

REGISTERE MEMBER JENNIFER WAL 626

APE ARC LANDSCAPE ARCHITECTURE DIVISION

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NO. ISSUE/REVISION

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WESMONT **APARTMENTS** EASTLEIGH

20629 & 20629 EASTLEIGH CRESCENT, LANGLEY, BC

PROJECT # 23112 CITY FILE #



PODIUM PLANTING PLAN







ADVISORY DESIGN PANEL REPORT

To: Advisory Design Panel

Subject: Development Permit Application DP 08-22

Rezoning Application RZ 05-22

(4503 & 4513 200 Street)

From: Anton Metalnikov, RPP, MCIP

Planner

Date: October 4, 2023

File #: 6620.00

Bylaw #: 3260

Doc #:

RECOMMENDATION:

THAT this report be received for information.

PURPOSE OF REPORT:

To consider Development Permit and Zoning Bylaw amendment applications by Navreet Mann for a 14-unit townhome development at 4503 & 4513 200 Street.

POLICY:

The subject properties are currently zoned RS1 Single Family Residential in Zoning Bylaw No. 2100 and designated "Ground Oriented Residential" in the Official Community Plan Land Use map. All lands designated for multi-unit residential use are subject to a Development Permit (DP) to address building form and character.



To: Advisory Design Panel Date: October 4, 2023

Subject: Development Permit Application DP 08-22 & Rezoning Application RZ 05-22

Page 2

COMMENTS/ANALYSIS:

Background Information:

 Applicant:
 1328986 B.C. Ltd.

 Owner:
 1328986 B.C. Ltd.

Civic Addresses: 4503 & 4513 200 Street

Legal Description: Lot 253, Section 34, Township 7, New

Westminster District, Plan 45033;

Parcel "C" (Explanatory Plan 10176), North Half Lot 3, Block 2, Section 34, Township 7, New Westminster District, Plan 1783

Site Area: 2,440 m² (0.6 acres)

Number of Units: 14 townhomes

Unit Density: 57 units/hectare (23 units/acre)

Gross Floor Area: 2,823.1 m² (30,384 ft²)

Floor Area Ratio: 1.157 Lot Coverage: 48%

Total Parking Required: 31 spaces (including 1 h/c space)

Parking Provided:

Resident28 spacesVisitor3 spaces

Total31 spaces (including 1 h/c space)OCP Designation:Ground Oriented ResidentialExisting Zoning:RS1 Single Family Residential

Proposed Zoning: RM1 Multiple Residential Low Density

Variances Requested: 48% lot coverage (max. 35%)

3 storey height (max. 2 storeys) 3m front setback (min. 7.5m) 3m rear setback (min. 7.5m)

4.5m interior setbacks (min. 7.5m)

Development Cost Charges: \$334,940.00 (City - \$166,224.00, GVS&DD

- \$62,952.00, GVWD - \$66,360.00, SD35 -

\$10,600.00, TransLink - \$28,804.00)

Community Amenity

Contributions (CACs): \$56,000.00



Subject: Development Permit Application DP 08-22 & Rezoning Application RZ 05-22

Page 3

Discussion:

1. Context

The applicant is proposing to develop a 14-unit townhome complex on the site of two single-detached lots at 4503 & 4513 200 Street. This site is located in an area of single-detached homes, where the properties along 200 Street, including the subject site, have been designated as Ground Oriented Residential in the City's Official Community Plan. This designation allows for townhome and plexhome development of up to 3 storeys in height and a Floor Area Ratio (FAR) density of up to 1.2, and was introduced to provide a broader range of family-oriented housing options in the neighbourhood and near Alice Brown Elementary School, support future frequent transit service, provide an upgraded streetscape along 200 Street, and improve traffic safety by removing driveways on 200 Street.

The subject site is located mid-block, with its frontage formed on the east by 200 Street, an arterial road forming part of TransLink's Major Road Network that provides regional connections into Langley City. To the north and south, the site is bordered by single-detached homes which, like the properties across 200 Street to the east, share the same Ground Oriented Residential OCP designation. To the west, the site is neighboured by single-detached homes designated in the OCP as Suburban, which maintains these properties' existing single-detached home character, densities, and lot patterns.



Site context



To: Advisory Design Panel Date: October 4, 2023

Subject: Development Permit Application DP 08-22 & Rezoning Application RZ 05-22

Page 4

The site is located in a distinctly residential area but has convenient walking connections to key amenities including:

- Two transit routes (directly adjacent);
- Alice Brown Elementary School (few-minutes' walk); and
- Hunter Park (few-minute's walk).

2. Proposed Rezoning and the Official Community Plan (OCP)

The site is designated Ground Oriented Residential in the City's OCP, which allows for townhome and plex-home development of up to 3 storeys in height and a Floor Area Ratio (FAR) density of up to 1.2.

The application's density is consistent with the existing Zoning Bylaw's RM1 Multiple Residential Low Density Zone and the subject properties are proposed to be rezoned to this zone to avoid the use of a site-specific Comprehensive Development (CD) Zone. This requires several variances to address discrepancies between the existing RM1 Zone's requirements and the preliminary draft new requirements being considered for the new Zoning Bylaw currently in development to better implement the City's OCP, including a new townhome zone associated with the Ground Oriented Residential designation. The subject application complies with these draft requirements, and further details are outlined in the Variances section in this report.

Although the application was made before the adoption of the City's Townhome & Plex-Home Best Practices Guide ("the Guide"), the development's design is consistent with the Guide's guidelines. This includes using a rear lane to separate 3-storey townhomes from adjacent properties designated Suburban in the OCP and facing balconies away from them, using peaked roofs, providing over one on-site tree per unit, and providing fewer than 50% of units with tandem parking.

3. Design

The applicant is proposing a 2-block, 3-storey townhome complex oriented east-west in response to the site's deep and relatively narrow dimensions. The two blocks are composed of 7 units each (4 with side-by-side garages and 3 with tandem garages) and face each other across an internal lane. This private lane runs perpendicular to and connects to a new lane to be dedicated to the City at the rear (west) of the property and to 200 Street to the east. The 200 Street connection is temporary and will be made emergency-only (bollarded) once the new City lane to the west is extended to 45A Avenue and southward as part of the future redevelopment of the properties to the north and south. This layout is consistent with OCP policies on Ground Oriented Residential development, which require new rear lanes to be constructed as part of development to improve arterial road safety by removing driveways, while permitting temporary accesses



To: Advisory Design Panel Date: October 4, 2023

Subject: Development Permit Application DP 08-22 & Rezoning Application RZ 05-22

Page 5

from 200 Street to allow development to proceed on mid-block sites. Given that the City lane segment will not be connected to 45A Avenue as a part of this application (but this lane will be connected to 45A Avenue as a part of the future redevelopment of the properties immediately to the north), the applicant will be required to provide a temporary vehicle turnaround and lane use plan as a part of the Servicing Agreement.

The 200 Street frontage is acknowledged through the end units' design with walk-out front doors, along with gated internal sidewalks running the length of the site on its north and south edges to provide pedestrian access to each unit. This frontage is also enhanced through on-site landscaping, including four trees. The development has also been designed to be able to retain three mature trees (two Douglas Firs and one Western Red Cedar) on the site's southeast corner, subject to civil design confirming whether planned street improvements such as an expanded sidewalk and boulevard, can be integrated successfully with these trees. The rear lane includes a sidewalk and three visitor parking spaces, which result in a total distance of 11 metres between the townhomes and the Suburbandesignated properties with single-detached homes to the west.

The proposed design incorporates white and grey tones in a variety of material treatments, including brick on the ground floor and above the entry doors facing 200 Street. Hardie board and batten and Hardie horizontal siding are used on the upper two floors, with stained cedar balconies on the second floors facing north and south toward properties with townhome development potential. No balconies face west to the adjacent Suburban-designated single-detached homes The townhome blocks are proposed at a three-storey height, with a varied peaked roof line to provide a front-facing appearance on all elevations. Vent grilles and spandrel glass are used on the block ends for additional ornamentation.

The project's landscaping uses a variety of shrub species to line the perimeter of the site, with 6-foot-high wood fencing on the north and south property lines and a shorter black aluminum fence facing 200 Street. Shrubs are also used to line the interior lane between garages. Every unit patio is separated from the internal sidewalks with wood picket fencing and a double row of shrub and grass plantings, with a tree in each unit's row. Trees are also provided at the rear lane and the 200 Street frontage, for a total of 18 new trees on-site. In addition to the three off-site trees in the southeast corner, one off-site Douglas Fir tree is proposed for retention on an adjacent property to the north, and staff is currently working with the applicant to determine whether the civil design can allow the retention of more trees beside it. Project hardscaping includes stamped concrete to delineate the rear lane sidewalk and visitor parking spots, and concrete paver bands at the rear lane and 200 Street entrances into the private interior lane to highlight the entrances into the townhome complex.



Subject: Development Permit Application DP 08-22 & Rezoning Application RZ 05-22

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Pedestrian access is provided into the units from the public sidewalk for the 200 Street end units and from private walkways for the remaining units. Vehicle parking meets Zoning Bylaw requirements, including 2.0 resident spaces per unit (total of 28 spaces) and 0.2 visitor spaces per unit (total of 3 spaces). This parking approach is also consistent with the Guide which encourages a mix of side-by-side and tandem parking units while limiting tandem garages to less than 50%. The application includes 8 side-by-side units and 6 tandem units, for a total tandem unit share of 43%. The development consists of 6 three-bedroom units and 8 four-bedroom units, and all units have ground-level patios and balconies.

4. Sustainability

The proposal incorporates several sustainable development features, including:

- Using construction techniques that minimize site disturbance and protect air quality;
- Incorporating the use of recycled building materials;
- Achieving an EnerGuide for New Houses rating of 80 or over, and an energy performance of 25% better than the current Model National Energy Code for multi-unit buildings;
- Using non-water dependent and drought-tolerant materials in the landscape design served by an irrigation system with central control and rain sensors;
- Using water-conserving toilets; and
- Providing all garages with Level II electric vehicle (EV) chargers.

5. CPTED

The applicant's proposal benefited from a comprehensive Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

6. Variances

The applicant has requested the following variances from RM1 zoning provisions:

- Front setback reduction to 3 metres (7.5 metres minimum)
- Rear setback reduction to 3 metres (7.5 metres minimum)
- Interior (side) setback reduction to 4.5 metres (7.5 metres minimum)
- Height increase to 3 storeys (2 storeys maximum)
- Lot coverage increase to 48% (35% maximum)

These variances are requested in recognition of the changes being considered to current requirements by staff for the new Zoning Bylaw, which is currently in development to help implement the City's Official Community Plan (OCP). The



To: Advisory Design Panel Date: October 4, 2023

Subject: Development Permit Application DP 08-22 & Rezoning Application RZ 05-22

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proposal is consistent with the OCP, as well as with the City's Townhome and Plex-Home Best Practices Guide.

The requested setback variances are consistent with the setbacks staff are considering for the new townhome zone in the new Zoning Bylaw to implement the Ground Oriented Residential OCP designation within which this site is included. Reduced setbacks adjacent to streets and lanes allow buildings to engage with the public realm more closely, respond to constrained sites, and take advantage of the spacing streets and lanes offer to maintain separation from other buildings. 4.5-metre side setbacks maintain the 9-metre separation between townhomes as required in the OCP's Development Permit Area quidelines where streets and lanes are not present.

The requested height variance to 3 storeys reflects contemporary townhome design practices and is consistent with the OCP's maximum height for the Ground Oriented Residential designation. It is also consistent with the Guide, which allows for 3-storey buildings to be used beside single-detached designated properties in the OCP if over 8 metres of separation is provided, which is provided on this site by the rear lane.

The requested lot coverage variance is slightly above the draft new maximum being considered for the new townhome zone in the new Zoning Bylaw of 45%. However, staff support this variance in recognition of the large road dedications required of 8 metres for the rear lane (to create an alternative access route to 200 Street in accordance with OCP policy) and 5 metres for 200 Street (to provide the necessary right-of-way width to accommodate the street design envisioned in the City's Design Criteria Manual). As lot coverage is calculated on the ultimate site area post-dedication, these significant dedications (464.9 m², or 19% of the original site; lot coverage on the original site would be 39%) reduce the available buildable area, with the higher lot coverage allowing the development to reach the site's density potential under the OCP while maintaining adequate open space by conforming to required setbacks and building separation distances.

Based on the above commentary and analysis, staff support these variances.

7. Summary

The proposed development is consistent with the City's OCP, Development Permit Area guidelines, and Townhome & Plex-Home Best Practices Guide and provides family-oriented homes near transit, parks, and an elementary school.



Subject: Development Permit Application DP 08-22 & Rezoning Application RZ 05-22

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Engineering Requirements:

PRELIMINARY ONLY

Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents. All work to be done to the City of Langley's Design Criteria Manual (DCM).

All work to be done to the City of Langley's Design Criteria Manual (DCM), and the City's Subdivision and Development Servicing Bylaw (SDSB).

Per the City's DCM requirement, the developer and their consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Commitment by Owner and Consulting Engineer) prior to starting their design works.

Per the City's Watercourse Protection Bylaw No. 3152, the developer's consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Confirmation of Commitment by Qualified Environmental Professional - QEP) prior to starting their site monitoring works.

These requirements have been issued to reflect the application for development for a proposed 14-Unit Townhome Development located at 4503 & 4513 200 Street.

These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

- A) The Developer is responsible for the following work which shall be designed by a Professional Engineer:
 - A Qualified Environmental Professional (QEP) must be engaged to implement erosion and sediment control in accordance with the City of Langley Watercourse Protection Bylaw #3152, as amended.
 - II. On-site stormwater management plans for each lot are required. Rainwater management measures used shall be designed to contain and infiltrate the 100-year event on-site to mitigate flooding and environmental impacts as detailed in the City's DCM.
 - III. All existing services shall be capped at the main by the City, at the Developer's expense prior to applying for a Demolition permit.



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- IV. New water, and sanitary sewer service connections are required. All pertinent pipe design calculations shall be submitted in spreadsheet format and shall include all formulas for review by the City. The Developer's engineer will determine the appropriate main tie-in locations and size the connections for the necessary capacity.
- V. The capacity of the existing water and sanitary sewer mains shall be assessed through hydraulic modeling performed by the City's hydraulic modeling consultant at the Developer's expense.
 - a. Any upgrade requirement for either sanitary or water mains not covered under the City's DCC bylaw shall be designed and installed by the Developer at the Developer's expense.
 - b. At the Developer's expense, the City's hydraulic modeling consultant shall conduct a fire hydrant flow test to be used in the City's water modeling to determine if the existing water network is adequate for fire flows (based on architectural data supplied by the Developer's Architect). Upgrading of the existing watermain(s) may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995."
- VI. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be approved by the City of Langley Fire Rescue Service.
- VII. A property dedication of approximately 5m will be required on the 200th Street frontage of the proposed project to provide a ROW of 30m. Exact dedication to be determined by a legal land surveyor.
- VIII. An 8 m land dedication along the west side of the property is required, as outlined already by the City's Development Services Department and discussed with the Developer for a future access road to 45 A Ave. The temporary/interim access to 200 Street will be revoked and will only be used for fire truck emergency access only once the full access road to 45 A Ave. is established. This interim west lane shall be fenced with a 6-foot-high wood, composite, or aluminum fence along its north, west, and south boundaries.
- IX. New sidewalk, barrier curb, gutter will be required along the entire project frontage as per the City's DCM (SS-R01A) standard, complete with boulevard trees and a planting strip as per the City's DCM (SECTION 11.0) standard.
- X. At the Developer's expense, a Traffic Impact Assessment (TIA) will be completed per DCM Section 8.21. The proposed development plan and statistics, once ready, should be forwarded to the City Engineer to develop the scope of this traffic study. TIA reports must be approved by the City Engineer prior to taking the application to Council. The TIA completion timing must be prior to the holding of a Public Hearing.



- XI. The condition of the existing pavement along the proposed project's frontages shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate, it shall be remediated at the developer's cost.
- XII. The site layout shall be designed by a civil engineer to ensure that the parking and access layout meets minimum design standards, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls and drive-aisles are accessible by the design vehicle.
- XIII. Existing and proposed street lighting along the entire project frontage shall be reviewed by a qualified lighting consultant to ensure street lighting and lighting levels meet the City's DCM standards. Any required upgrades will be at the Developer's expense.
- XIV. Eliminate the existing overhead telecommunication wiring and poles along the development's 200 St. frontage project frontage by replacing with underground infrastructure.

B) The Developer is required to deposit the following bonding and fees:

- I. The City will require a Security Deposit based on the estimated construction costs of installing civil works, as approved by the City Engineer.
- II. The City will require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A General Requirement GR5.1 for details).
- III. A deposit for a storm, sanitary and water services is required, which will be determined by City staff after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
- IV. The City will require a \$3,000 bond for the installation of each water meter to current standards.
- V. A signed and sealed pavement cut form (Form F-2 of the City's DCM) shall be completed by the developer's consulting engineer. Upon the review and approval of the City Engineer of the submitted form, the corresponding Permanent pavement cut reinstatement and degradation fees shall be paid by the Developer.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the



Subject: Development Permit Application DP 08-22 & Rezoning Application RZ 05-22

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developer with an estimate of connections costs, and the Developer will declare in writing that the estimate is acceptable.

C) The Developer is required to adhere to the following conditions:

- I. Unless otherwise specified, all engineering works shall be designed based on the City's DCM specifications in accordance with the City's Subdivision and Development Servicing Bylaw 2021, No. 3126
- II. Undergrounding of hydro, telecommunication to the development site is required, complete with underground or at-grade transformer
- III. Transformers servicing developments are to be located on private property with maintenance access located on private property. All transformers to be wrapped upon installation by the Developer.
- IV. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner. Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.
- V. A water meter is required to be installed on private property, preferably in the mechanical room, in accordance to the City's DCM standards at the Developer's cost.
- VI. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
- VII. A *Stormceptor* or equivalent oil separator is required to treat site surface drainage.
- VIII. A complete set of record drawings (as-built), service record cards, a completed tangible capital asset form (TCA) all sealed by a Professional Engineer shall be submitted to the City within 60 days of the substantial completion date. Digital drawing files in .pdf and .dwg formats shall also be submitted. All the drawing submissions shall:
 - a. Use City's General Note Sheet and Title Block; and
 - b. Closely follow the format and sequence outlined in the City's DCM that will be provided to the Developer's Consulting Engineer.
- IX. The selection, location and spacing of street trees and landscaping are subject to the approval of the City Engineer. Please refer to the City's DCM for more details.
- X. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
- XI. If applicable, garbage and recycling enclosures shall accommodate on the site and be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update." Please refer to the



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City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.

Fire Department Comments:

Fire department access for the whole project was reviewed to ensure adequate access was in place. An 8-metre laneway will need to be provided for access on the west side of the property. A construction fire safety plan shall be completed. A lockbox will need to be provided, location to be determined at a later date.

Advisory Design Panel:

In accordance with Development Application Procedures Bylaw No. 2488, the subject Zoning Bylaw amendment and Development Permit application will be reviewed by the Advisory Design Panel (ADP) at the October 18, 2023 meeting.

According to the Council-approved ADP Terms of Reference, the ADP is to provide form and character and urban design-related advice and recommendations for Council's consideration. ADP recommendations will be presented to Council through the ADP meeting minutes and, if applicable, through an additional City staff report, prior to Council consideration of the proposed Zoning Bylaw amendment and Development Permit Applications.

A copy of the ADP minutes will be presented to Langley City Council at a future Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$166,224.00 to City Development Cost Charge accounts and \$56,000.00 in Community Amenity Contributions.

Prepared by:

Anton Metalnikov, RPP, MCIP

Planner



To: Advisory Design Panel Date: October 4, 2023

Subject: Development Permit Application DP 08-22 & Rezoning Application RZ 05-22

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Concurrence:

Roy M. Beddow, RPP, MCIP

Deputy Director of Development Services

Concurrence:

Carl Johannsen, RPP, MCIP

Director of Development Services

Concurrence:

Hirod Gill

Manager of Engineering Services

Attachments

Concurrence:

Scott Kennedy

Fire Chief



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DEVELOPMENT PERMIT APPLICATION DP 08-22 REZONING APPLICATION RZ 05-22

Civic Addresses: 4503 & 4513 200 Street

Legal Description: Lot 253, Section 34, Township 7, New Westminster

District, Plan 45033; Parcel "C" (Explanatory Plan 10176), North Half Lot 3, Block 2, Section 34, Township 7, New Westminster District, Plan 1783

Applicant: 1328986 B.C. Ltd. Owner: 1328986 B.C. Ltd.





14 UNIT TOWNHOUSE DEVELOPMENT

4503, 4513 200 STREET, LANGLEY



LIST OF DRAWINGS:

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MASSING, FORM AND CHARACTER

A-1.9 DESIGN RATIONALE- LIVIBILITY, ENERGY SAVING

AND GREEN MEASURES

A-1.10 DESIGN RATIONALE- CPTED

A-1.11 EXTERIOR FINISH

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A-2.3 BLOCK 2 FLOOR PLANS (1ST & 2ND FLOOR PLANS)

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BLOCK 1 SECTIONS

A-4.2 BLOCK 2 SECTIONS

COLORED PLAN 10

L1 TREE PLAN

SHRUB PLAN L2

LANDSCAPE DETAILS L3

LANDSCAPE SPECIFICATIONS

CONTACT LIST:

DEVELOPER:

LEONE HOMES INC. 238-13986 CAMBIE ROAD RICHMOND, B.C. V6V 2K3 TEL: 604 418 8678 EMAIL : manny@leonehomes.ca

ARCHITECT:

F. ADAB ARCHITECTS INC. 130 - 1000 ROOSEVELT CRESCENT NORTH VANCOUVER, B.C. V7P 3R4

TEL: 604 987 3003 EMAIL: azar@multigonfadab.com

SURVEYOR:

SOUTH FRASER LAND SURVEYING LTD

202-19292, 60TH AVE. TEL: 604 599 1886

EMAIL : kuljinder@southfrasersurvey.ca

CIVIL ENGINEER:

CENTRAS ENGINEERING LTD

216-2630 CROYDON DR. SURREY, B.C. V3S 6T3 TEL: 604 782 6927 EMAIL : steve@centras.ca

LANDSCAPE ARCHITECT:

M2 LANDSCAPE ARCHITECTURE 220-26 LORNE MEWS.

NEW WESTMINSTER, B.C. V3M 3L7 TEL: 604 553 0044 EMAIL: meredith.mitchell@m2la.com

CPTED CONSULTANT:

LIAHONA SECURITY P.O. BOX 88, MILL BAY, B.C. VOR 2P0 TEL 250 743 8948

EMAIL : liahonasecurity@shaw.ca

ELECTRICAL:

PRIMARY ENGINEERING 209 - 8327 EASTLAKE DRIVE, BURNABY

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2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING
NO.	DATE	REVISION / ISSUED

PROJECT TITLE: TOWNHOUSE DEVELOPMENT

4503, 4513 - 200 STREET, LANGLEY, BC.

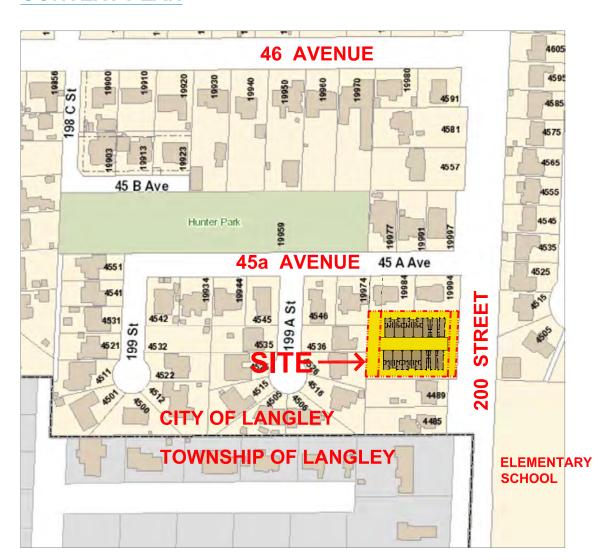
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CONTEXT PLAN







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TOWNHOUSE
DEVELOPMENT

4503, 4513 - 200 STREET, LANGLEY, BC.

FOR:

LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND, B.C. V6V 2K3

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AERIAL MAP

















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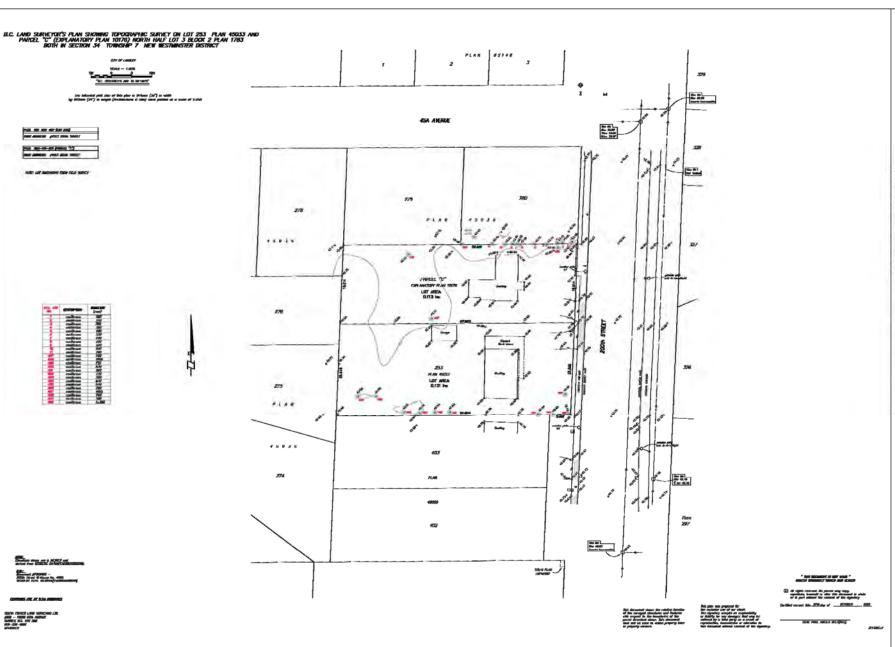
TOWNHOUSE DEVELOPMENT 4503, 4513 - 200 STREET, LANGLEY, BC.

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AERIAL MAP AND CONTEXT PHOTOS

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TOWNHOUSE DEVELOPMENT 4503, 4513 - 200 STREET, LANGLEY, BC.

LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND, B.C. V6V 2K3

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SURVEY PLAN

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STATISTICS:

CIVIC ADDRESS:

4503 & 4513, 200 STREET, LANGLEY, BC.

LEGAL DESCRIPTION:

LOT 253, PLAN 45033 AND PARCEL "C" (EXPLANATORY PLAN 10176) NORTH HALF LOT 3, BLOCK 2, PLAN 1783 BOTH IN SECTION 34, TOWNSHIP 7, NEW WESTMINSTER DISTRICT

ZONING:

EXISTING: RS1 PROPOSED: CD

SITE AREA:

BEFORE DEDICATION : 26265 SQ.FT.=2440.0 m² : 0.60 ACRE (0.242 HA.)
AFTER DEDICATION : 21261 SQ.FT. = 1975.1 m² : 0.488 ACRE (0.197 HA.)

FLOOR AREA:

BLOCK 1:

FIRST FLOOR: 4939 SQ.FT. SECOND FLOOR: 5126 SQ.FT. THIRD FLOOR: 5126 SQ.FT. TOTAL AREA: 15191 SQ.FT.

BLOCK 2:

FIRST FLOOR: 4941 SQ.FT. SECOND FLOOR: 5126 SQ.FT. THIRD FLOOR: 5126 SQ.FT. TOTAL AREA: 15195 SQ.FT.

TOTAL AREA OF TWO BLOCKS:

30384 SQ.FT. = 2823.1 m²

FSR:

ALLOWED: 1.2

PROVIDED: 30384 / 26265 = 1.15

SITE COVERAGE:

ALLOWED: 45%

PROVIDED: 10252/26265 = 39%

DENSITY:

PROPOSED: 0.242(HA) / 14 = 57.8 UNIT / HECTAR

HEIGHT:

ALLOWED: 11m.

PROPOSED: 30'=9.1m. (3 STOREYS)

SETBACKS:

	MIN.REQUIRED	PROVIDED
EAST (200 ST.)	: 3m.(9'-10")	3m.(9'-10")
NORTH	: 4.5m.(14'-9")	4.5m (14'-9")
SOUTH	: 4.5m (14'-9")	4.5m (14'-9")
WEST	: 3m.(9'-10")	3m (9'-10")

PARKING:

 REQUIRED
 PROVIDED

 2 STALLS / UNIT
 : 2X14 = 28
 28

 VISITORS : 0.2/UNIT
 : 02X14=2.8
 3

 (INCLUDING ONE ACCESSIBLE)

	UNIT MIX				
UNIT TYPE	NO. OF BED RM.	NO. OF UNITS	AREA (SQ.FT.)	TOTAL AREA (SQ.FT.)	
Α	4	6	2390	14340	
A-s	4	2	2390	4780	
B1	3	2	1853	3706	
B2	3	2	1814	3628	
В3	3	1	1965	1965	
B4	3	1	1965	1965	
TOTAL		14		30384	



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4503, 4513 - 200 STREET, LANGLEY, BC.

FOR:

LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND, B.C. V6V 2K3

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2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING
NO.	DATE	REVISION / ISSUED
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PROJECT TITLE:

TOWNHOUSE DEVELOPMENT 4503, 4513 - 200 STREET, LANGLEY, BC.

LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND, B.C. V6V 2K3

DRAWING TITLE:

PERSPECTIVE VIEW FROM 200 STREET

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BLOCK 1 NORTH ELEVATION



BLOCK 2 NORTH ELEVATION



F. ADAB **ARCHITECTS** INC.



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PROJECT TITLE:

TOWNHOUSE DEVELOPMENT 4503, 4513 - 200 STREET, LANGLEY, BC.

FOR:

LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND, B.C. V6V 2K3

DRAWING TITLE:

COLORED ELEVATIONS

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Design Rationale / Statement of Intent

4503 - 4513 200 Street, Langley, BC

Introduction

This Design Rationale is to be read as part of a rezoning and development application for a 14-unit townhome development at 4503 and 4513, 200 Street, Langley.

For detailed information refer to the architectural, landscape, civil drawings, rendering and other related documents.

Site Characteristics, History and Context

This development proposal would occupy two single family lots with an area of 2,440 sqm or 0.6 acres and faces 200 Street to the east. The site is almost flat with a very little slope from west to east.

There is 5.0 meter dedication along 200 Street and a 8-meter future lane dedication on the west side. The future lane dedication will be connected to 45a Avenue to the north and should pass through the neighbouring property. This is contingent on the two properties to the north being assembled and developed in the future. The purpose of proposing this lane is to provide vehicular access to the site and close off the temporary access from 200 Street.

The proposed development seeks rezoning from RS1 to CD (Townhouse) and consists of two separate building blocks. Each building contains of three 3 bedrooms units and four 4 bedroom units. Each building contains 3 tandem car parking garages and 4 double care garages. The average size of the unit ranges from 1,360 to 1,985 sq.ft.

Orientation, Massing, Form and Character

The Buildings orientation responds to the size and shape of the site. The access to the units are provided through a pedestrian walkway off 200 Street. Low aluminum fence and gates are introduced along the street providing a safe and pleasant pedestrian routs to the entries of the units.

From massing point of view, the buildings have been designed to create visually appealing character by variations on the roof lines with combination of shed roof and high pitch gables. Some of the units have vaulted ceiling and taller windows.

Architectural expression and finishing material demonstrate an urban character with emphasis on creating tall projected bay element with architectural articulations and detailing. The façade elements include repetitive bay windows, high pitched roof lines and a combination of gables / shed roofs.

Typical approach toward the design is accommodating a guest room at ground floor, open concept kitchen, dining and living on the 2nd floor and 3 bedrooms on the 3rd floor. The upper floors have high vaulted ceilings and tall windows in order to introduce a farm house style architecture with identifiable bays and raised gables.

Spandrel glass between the windows is introduced to further emphasis on tall gables farm house style.

Three visitor parking are provided at the rear of the site, male box and signage are proposed along 200 Street.



F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT NORTH VANCOUVER, BC V7P 3R4 TEL: (604) 987-3003 FAX: (604) 987-3033

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PROJECT TITLE:
TOWNHOUSE
DEVELOPMENT

4503, 4513 - 200 STREET, LANGLEY, BC.

FOR:

LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND. B.C. V6V 2K3

RAWING TITLE:

DESIGN RATIONALE SITE CHARACTERISTICS, FORM MASSING AND ORIENTATION

DATE:	Sep 2021	SHEET NO:
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Livability, Energy Saving and Green Measures

Many green building strategies have been incorporated into the project design including the following items:

- The building envelope, glazing, and mechanical system will be design based on the 2018 code and in compliance with ASHRE 90, 2010
- Selection of the material is based on the use of low / non-toxic, low-maintenance, durable and sustainable products. Low emission adhesives paint and flooring will also be used throughout the units
- Water efficient fixtures, energy efficient appliances and drought tolerance plants will be used to minimize the use of potable water
- All units have private patios at grade and also decks on the 2nd floor contributing to livability of the units and creating a family oriented environment
- The water consumption strategy in enforced through the use of alternate solution for sprinkler system by utilizing the domestic cold water system instead of a separate sprinkler line.
- Mechanical system is equipped with heat pump system providing both cool and hot air as well as heat recovery system 'HRV" for recycling the heat energy.

All garages are equipped with electric chargers.



200 ST. STREETSCAPE



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PROJECT TITLE: TOWNHOUSE DEVELOPMENT

4503, 4513 - 200 STREET,

FOR:

LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND. B.C. V6V 2K3

RAWING TITLE:

DESIGN RATIONALE LIVABILITY, ENERGY SAVING AND GREEN MEASURES

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Crime Prevention Through Environmental Design. "CPTED"

The criteria of a safe and secure environment have been discussed with Liahona Security and a CPTED report has been prepared and submitted to the City of Langley and the owners for implementation.

The rationale behind the CPTED strategy takes into account the standard measures as well as items specifically related to this development. These provisions are aimed to enhance safety and strengthen the perception of security.

The proposed CPTED measure fall into the following categories:

Provision of identifiable territoriality
Provision of natural surveillance
Defining the hierarchy of space
Provision of access and perimeter control

- The windows and balconies along the streets ensure the outdoor presence of the people, which provide "eyes on the street" and security for the private and public spaces
- Lights would be installed on both sides of the home entries and garage doors illuminating the entire buildings and internal road. Outdoor lights are regulated by photo cell system
- The simplicity of the massing and its orientation creates an open space environment visible from every angle with no enclave or semi enclosed spaces for strangers and wandering people
- The access control is achieved by ensuring visible entrances overlooked by windows and balconies as well as defining the entrance ways and controlling the point of access to the site
- Brick has been introduced at the base of the building presenting a durable and high quality base free of graffiti
- Landscaping, plants, and fences are designed to prevent hidden spaces and secure residents control. The Strata Corporation should implement a maintenance manual.



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Exterior Finishes and Colour

The selection of the exterior finishes is based on enhanced durability / longevity of the construction materials as part of a sustainable approach.

A variety of building materials are used with emphasis on brick, prefabricated board and batten panels and hardy siding. No vinyl siding is introduced on any facades of the buildings.

The colours are selected with emphasis on creating moderate contrast by using grey brick at the base and combination of grey and white sidings and board and batten. Widows, roof, privacy screens and railings are black.

Metal shed roof is proposed over the entry canopies and some of the windows on 2nd floor. Natural wood colour for brackets and balcony decks are proposed at the base of the building.



6

EXTERIOR FINISH COLOUR SCHEME



ASPHALT SHINGLE:
DRIFTWOOD - BY CERTAINTEED



BRICK:
ONYX-IRONSPOT BY I.X.L



3 METAL ROOF VW 6515 TWILIGHT BLUE BY VICWEST



4
HARDIE BOARD & BATTEN &
6" HORIZONTAL HARDIE SIDING
SW 7757 REFLECTIVE WHITE
BY SHERWIN WILLIAMS



5 6" HORIZONTAL HARDIE SIDING SW 7019 GAUNTLET GRAY BY SHERWIN WILLIAMS



6
CEDAR WOOD:
CLEAR STAINED



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LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND, B.C. V6V 2K3

DRAWING TITLE:

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Landscape design rationale

The landscape design proposes a soft urban edgeto the townhouse development with unique paving identifying unit entrances and row of plantings at street and fence frontages. Each residence enjoys a private patio garden with room for furnishings by the homeowner.

Planting includes trees and a wide variety of native and seasonably interesting shrubs, ground covers, and perennials and will provide passive shading to the southern exposure of the units. Trees offer contextual beauty to the walkways in front of units and enhances wildlife habitat.

The current site layout provides for safe onsite circulation for vehicles and pedestrian traffic with convenient access to all building entries. There are additional visitor parking stalls onsite.

We believe the proposed design maximizes the potential of the site while providing many sustainability attributes and promoting a form and character that is suited to the local neighbourhood.



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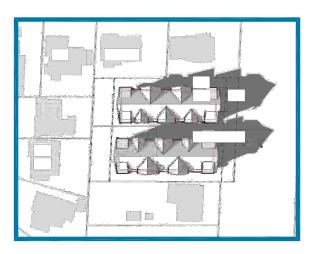
SHADOW ANALYSIS



MARCH 21 - 9 AM



MARCH 21 - 12 PM



MARCH 21 - 3 PM



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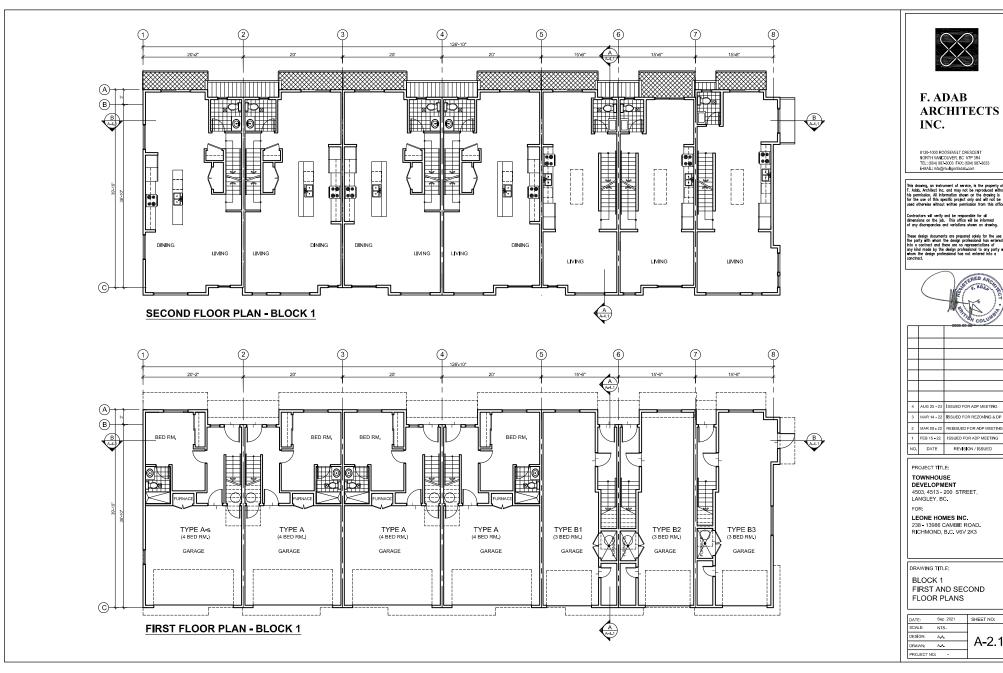
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SHADOW ANALYSIS

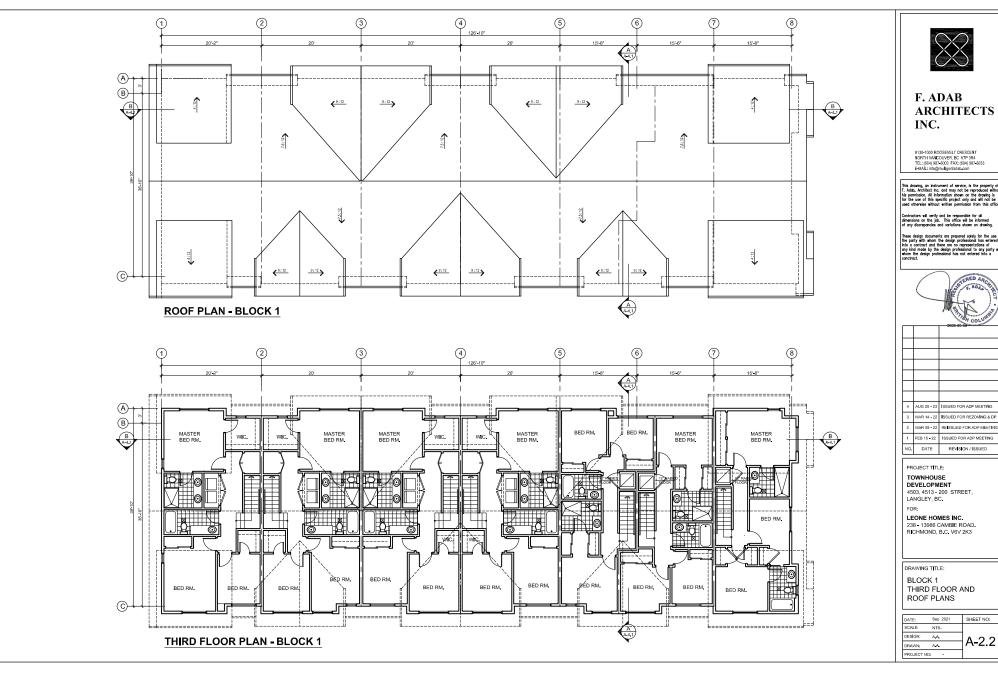
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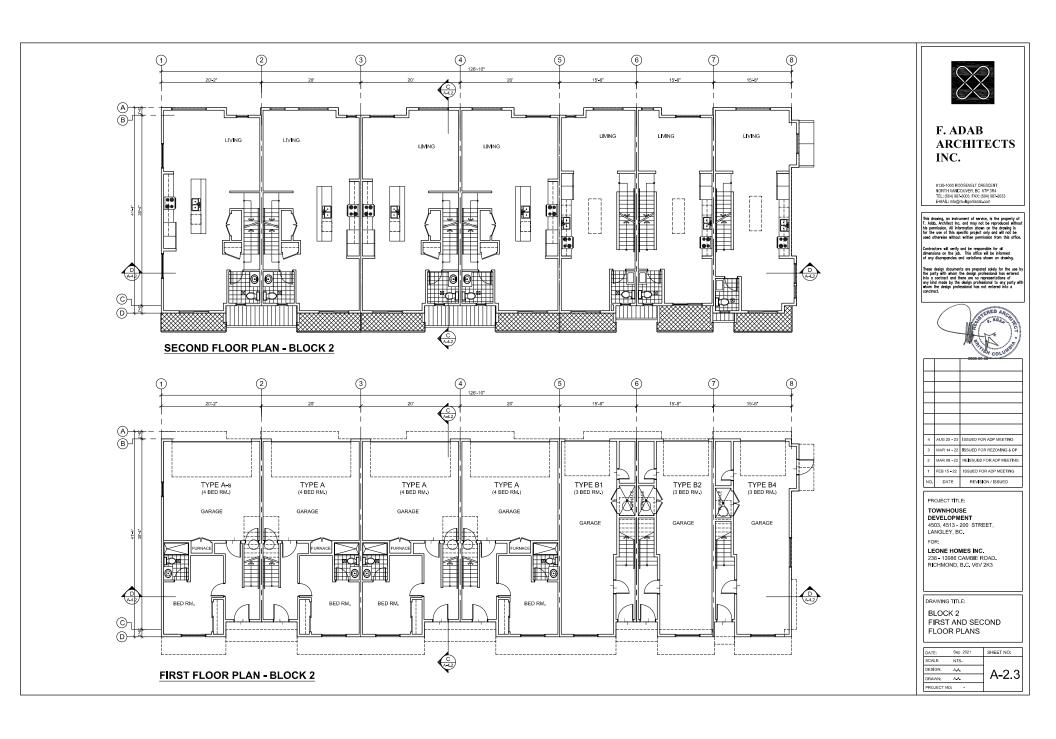
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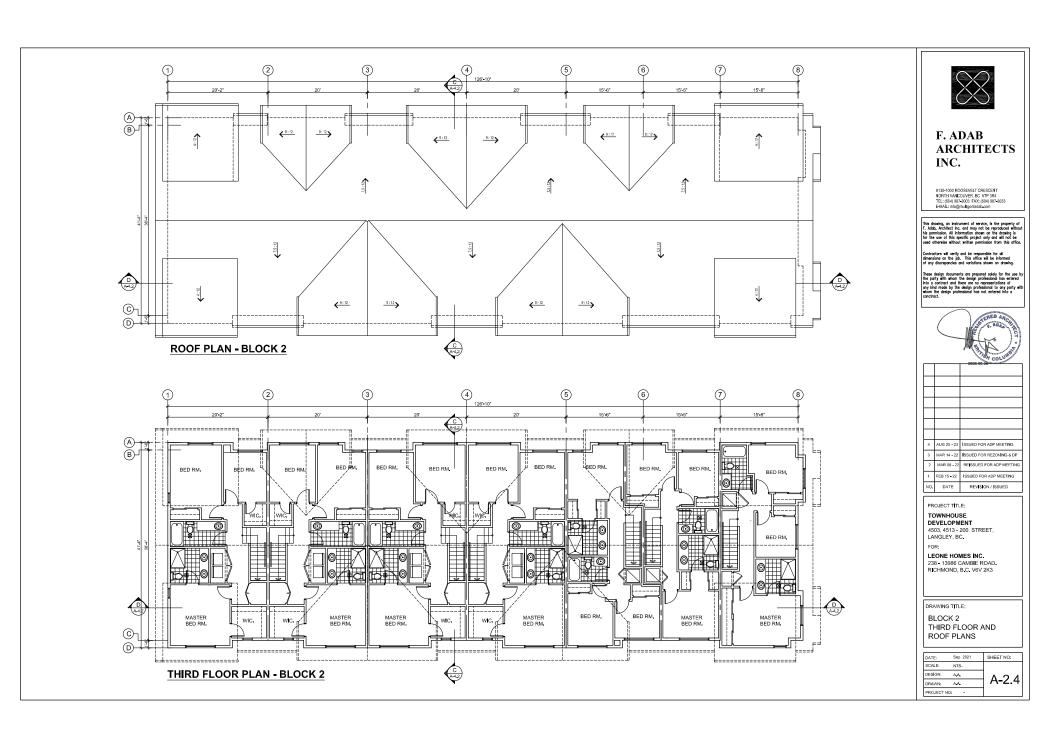


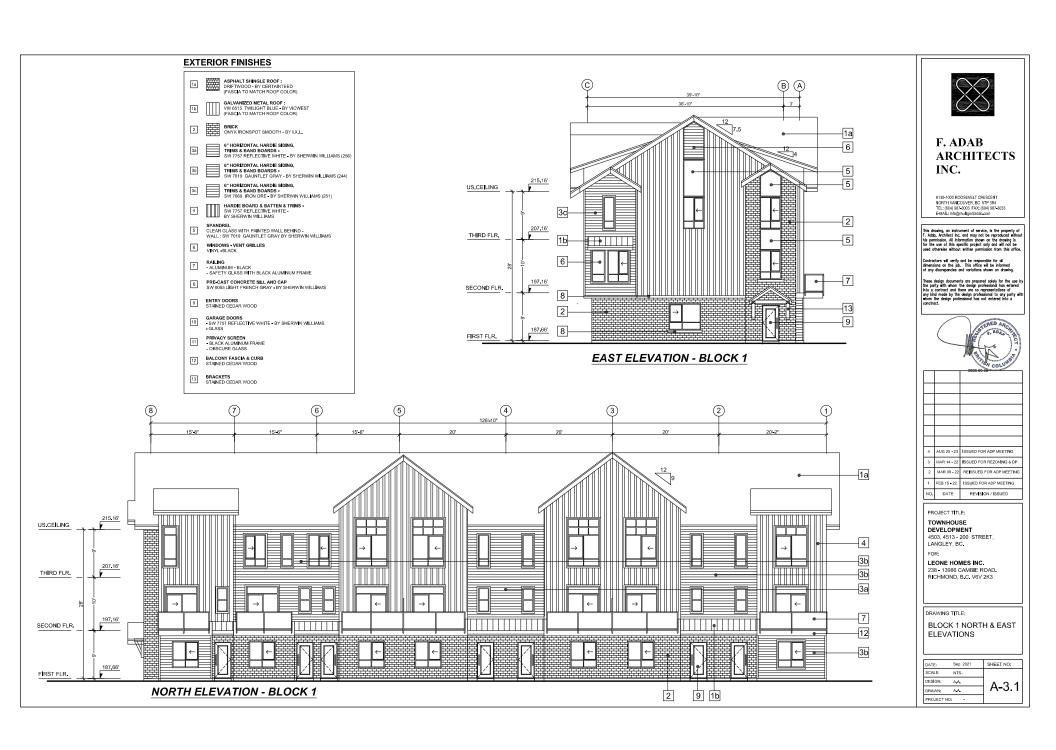


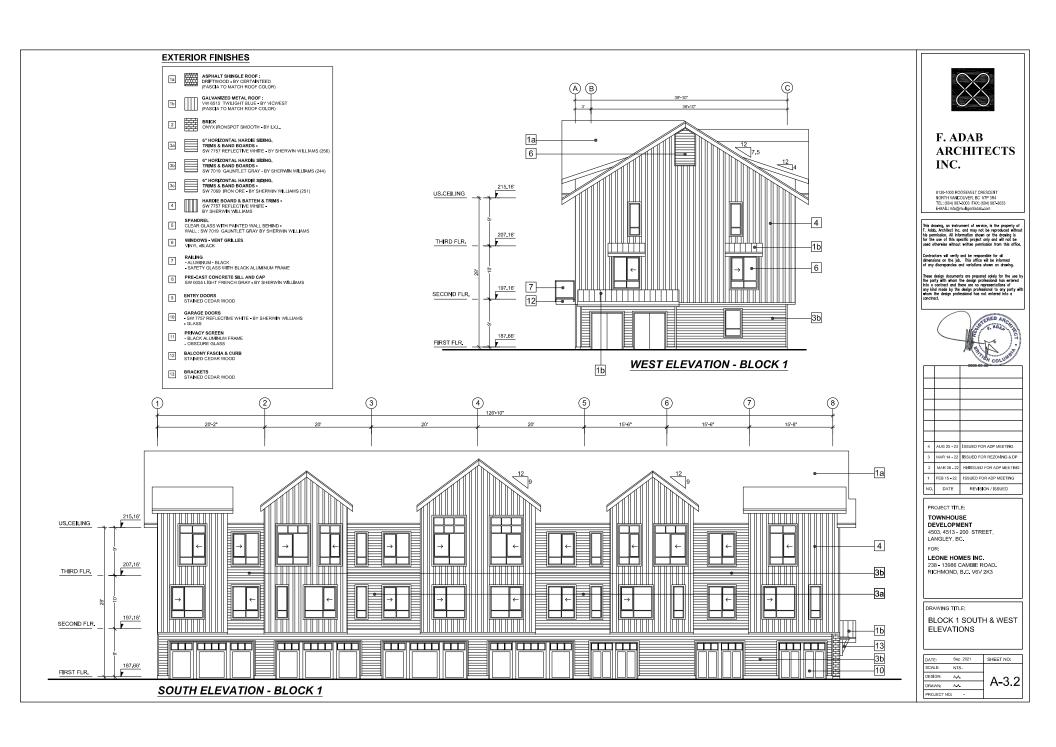
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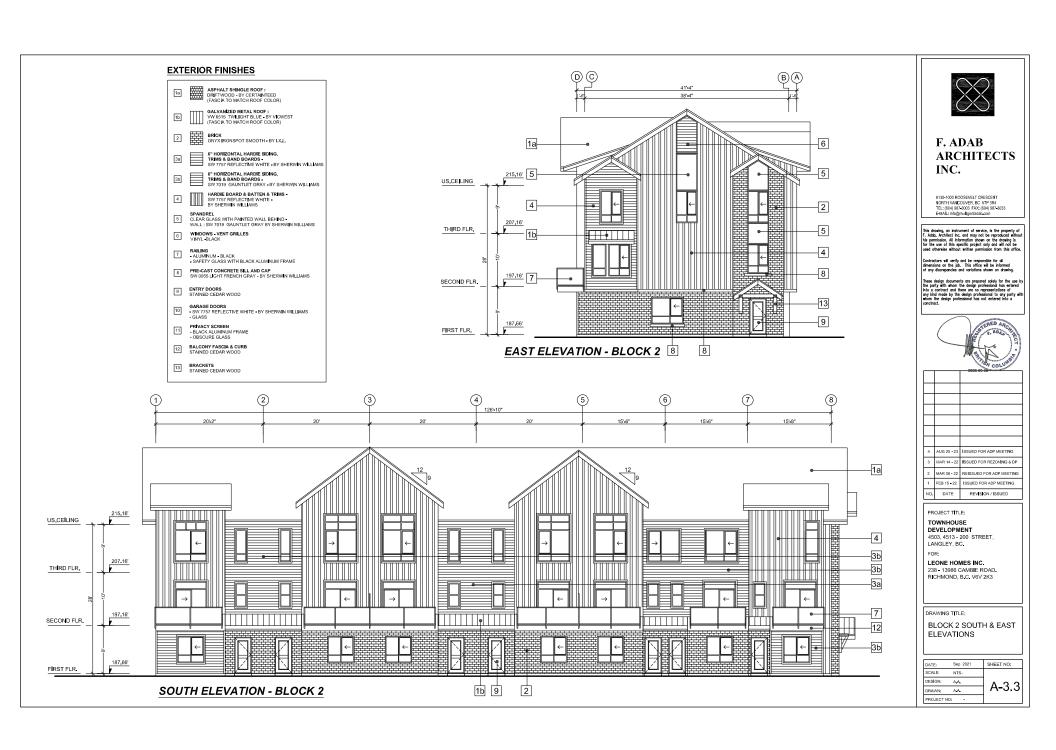
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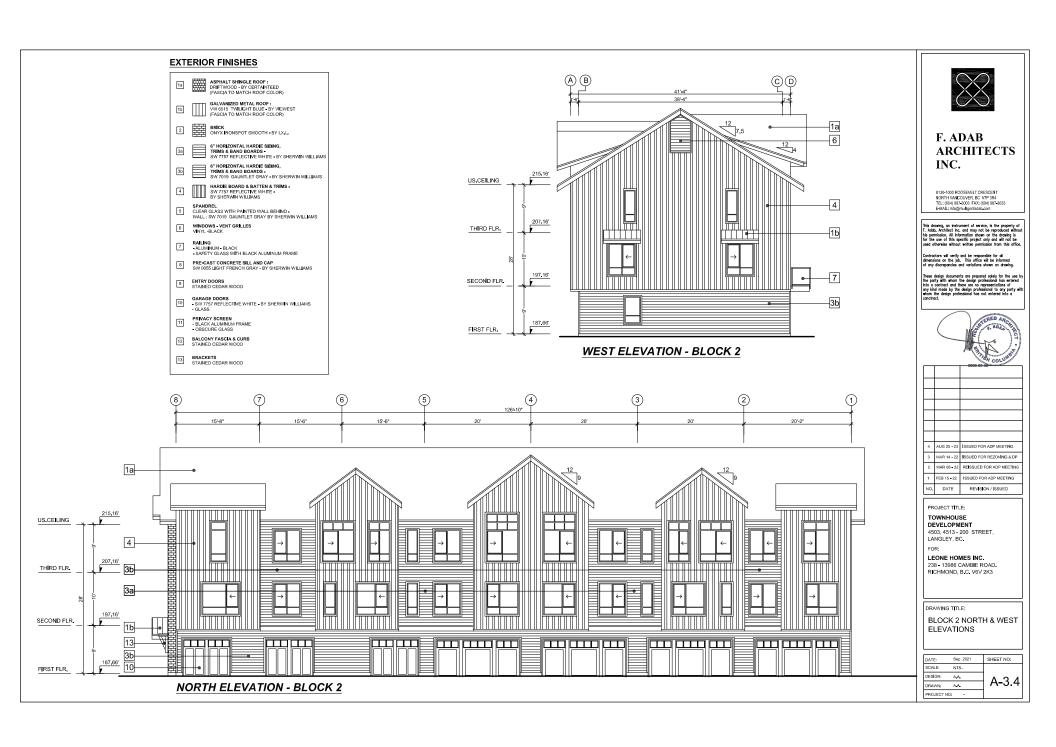


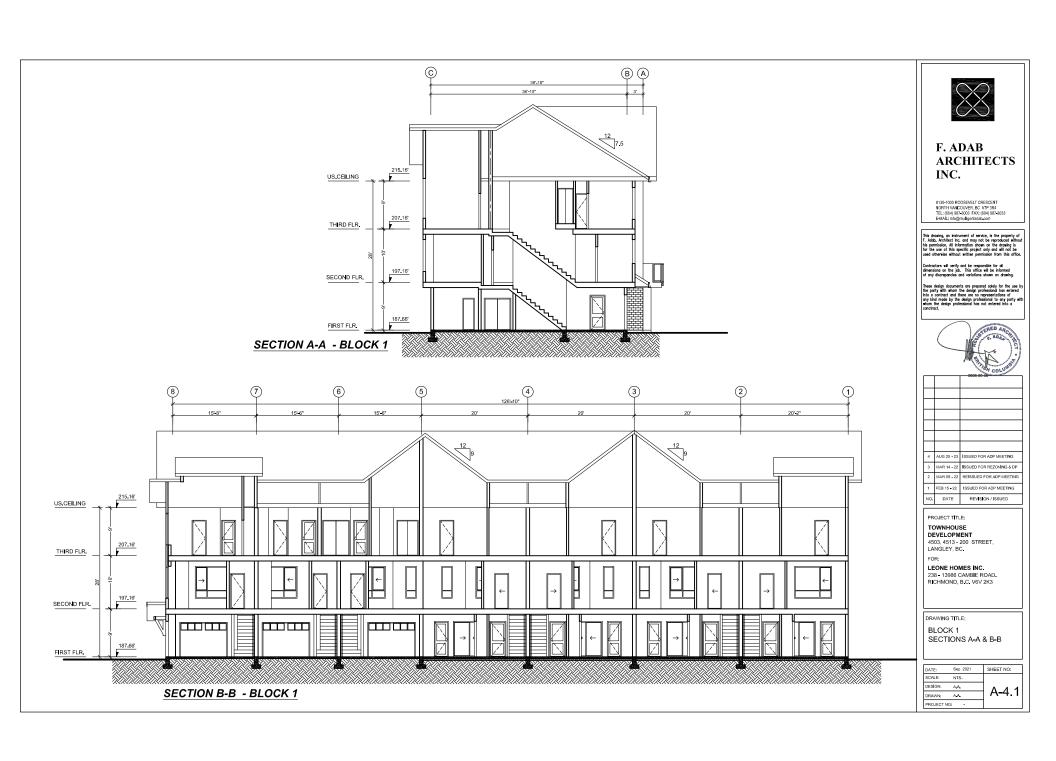


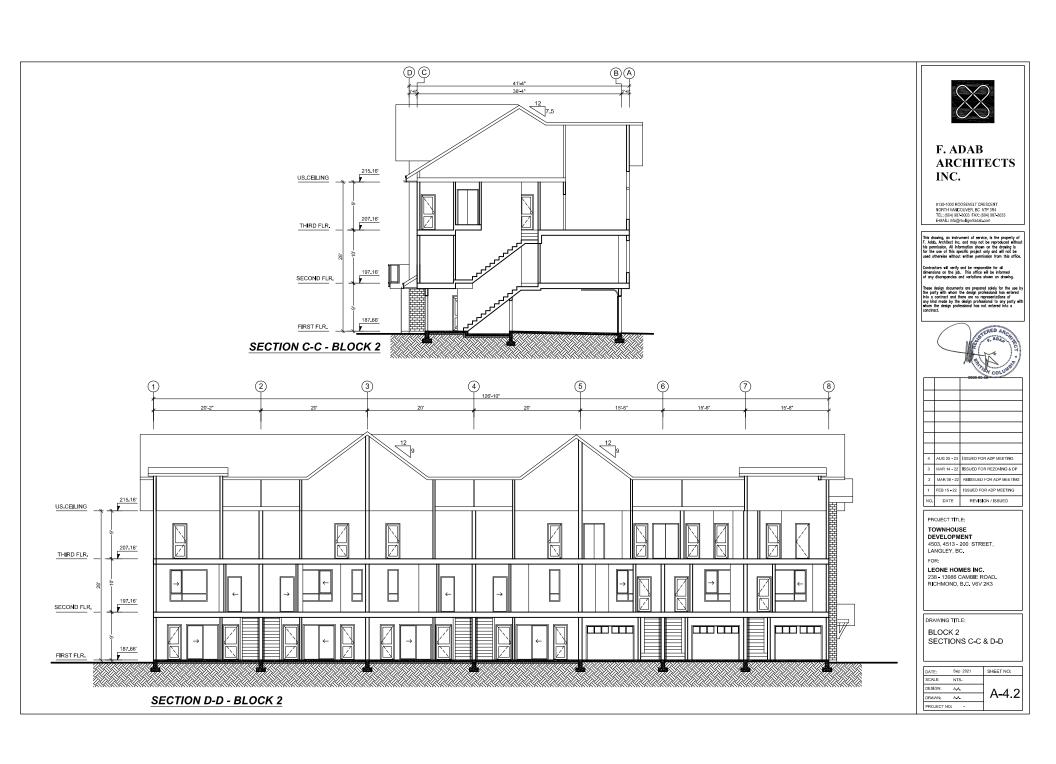




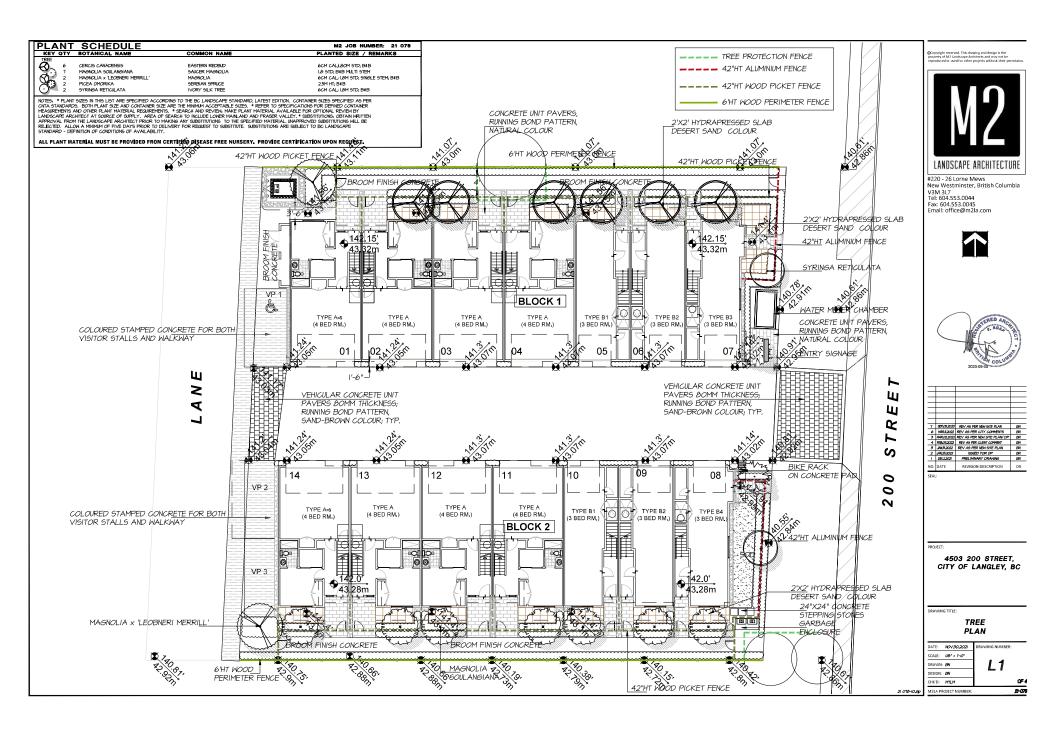


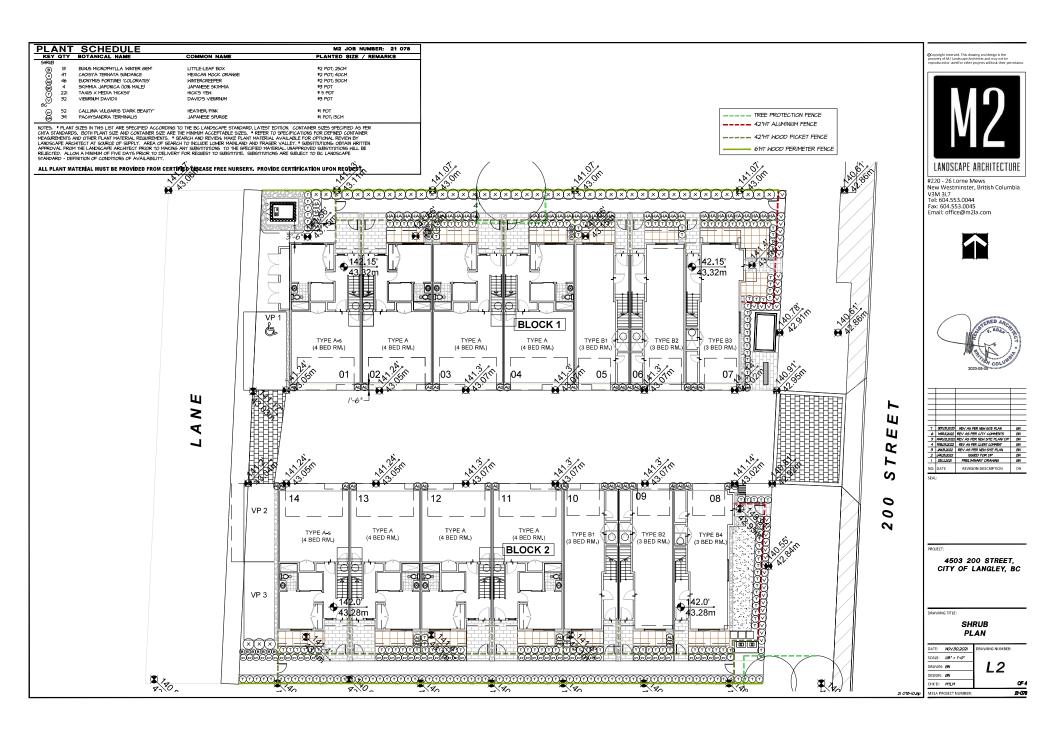


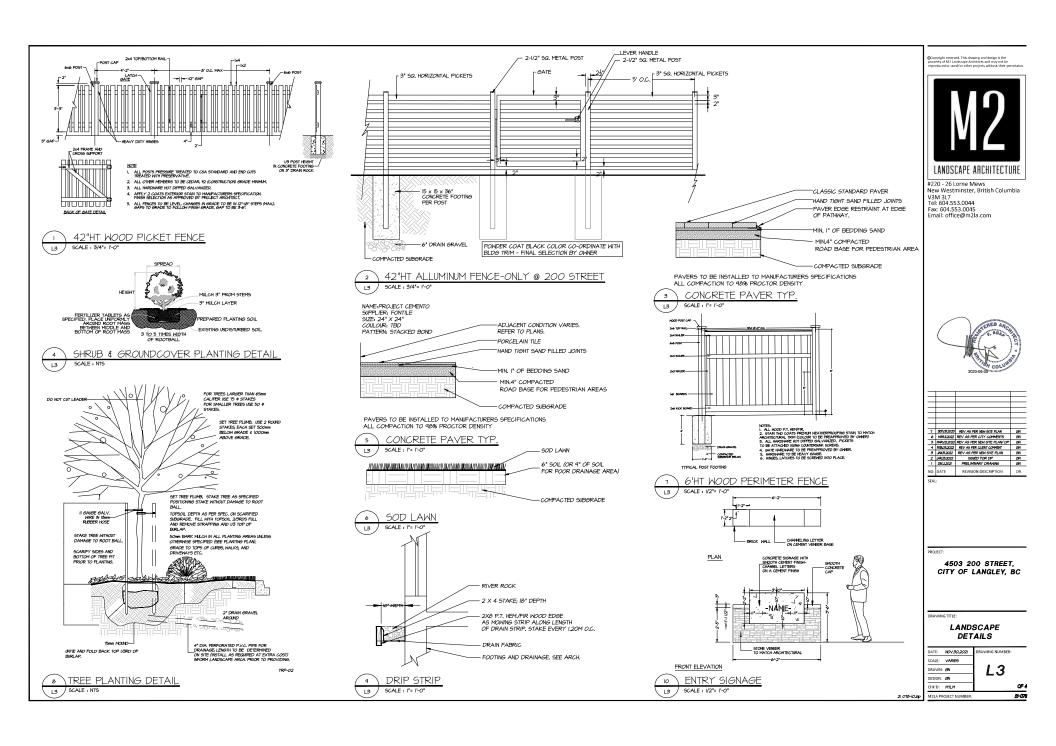












PART ONE GENERAL REQUIREMENTS PART THREE SOFT LANDSCAPE DEVELOPMENT Il RETEXTION OF DOSTING INSES: If his is vary work on Sile - probect individual trees or plant groupings indicated as relatined on tandscape plans as vagatation releasible meas. If his ness inclusions the Landscape Architect will hap frees or areas to remain. Discuss tree releasing oncess all a start-up meeting with the Landscape. .1 CCDC Dec 2 LATEST EDITION Carply with all articles in the Gen 2 A physical barrier must be installed to delineate clearing boundaries. Refer to physical barrier detail. If detail not provide 2 B.C. Landscape Standard, LATEST EDITION, prepared by the B.C. Society of Landscape Architects and the B.C. Landscape & Nursery Association, junity, All work and mater shall men's standards as set out in this B.C. Landscape Standard unless supersaided by this specification or as directed by Landscape Architect with written instruction. 3. No markine travel through or within progration reduction proper or under crowns of trees to be retained is allowed A Do not stockable soil, construction materials, or excavated materials within veseration retention areas. 5 Do not park, fuel or service webides within wegetation retention areas. A STANDARD FOR LANDSCAPE IRRIGATION SYSTEM, LATEST EDITION-Propaged by the brigation industry Association of British Columbia. No debris fires, clearing fires or trash burning shall be pensitted within segetation refertion areas 5 HANCOPAL BYLANS AND ENGINEERING SPECIFICATIONS WHERE NOTED. 7. We exceptions, drain or service irrecties nor any other disruption shall be permitted within vegetation retention areas without a review of the participant which are shall be a service of the permitted within vegetation retention areas without a review of the permitted within vegetation retention areas without a review of the permitted within vegetation retention areas without a review of the permitted within vegetation retention areas without a review of the permitted within vegetation retention areas without a review of the permitted within vegetation retention areas without a review of the permitted within vegetation retention areas without a review of the permitted within vegetation retention areas without a review of the permitted within vegetation retention areas without a review of the permitted within vegetation retention areas without a review of the permitted within vegetation retention. 3. A current foot over than one month heat for all growing nection to be used on this site in required. Provide and pay for testilally an independent heating facility per-approved by the Lankscope Architect. Believe growing nection tested to Lankscope Architect for review and approved prior to planament. Series is Section 3.4 Grawing fields in facility for expense. Any denote he existing vegetation intended for preservation will be subject to evaluation by an LS.A. Certified Arbonict using the "Guide for Plant MIDN 2 Owner reserves the right to test or re-test materials. Contractor responsible to pay for testing if materials do not meet apolification EEFINE. 3.3 Replacement planting of equivalent value to the disturbance will be required. The cost of the evaluation and of the replacement planting will be recovered and or the personal respectible for the disturbance. Any alternate products differing from that contained in the contract documents must be pre-approved by the Landscape Architect. .13 In sunicipalities with specific tree referition/replacement bulaws en 2 Submittals to consist of product sample or manufacturer's product description. .11 In situations where required construction may disturb existing vegetation intended for preservation, contact Landscape Architect for review prior SIT EXTEXY 3. Use the terms of the Landscape Architect's Central with the bone and where the Landscape Architect is the designated reviewer, the Landscape Architect is the designated reviewer, the Landscape Architect will describe the contentions an in accessary as their opinion to central content and the appropriate the content of the company of the described as positive to the fact of the latted is the facility of the content of the appropriate the content of the GARGES. I Ensure subgrade is prepared to conform to depths specified in Section 35, Growing Medius Supply, below. Where planting is indicated close to eath sufficient specified property of the standing popularity for material indicated on the standing plant. Stands subgrade to eliminate free standing value and conform to the sith exaction. 2 On slapes in excess of 31 french subgrade across slape to 150mm (61) minimum at 1.5m (5 ft.) intervals minimum. numper represents. Sent Up Sile Heeling, Lankscape Contract if separatel: At the start of work with Owner's Representative, Sile Separablement and Lankscape Contractor; a meeting is to 6d to review exacted work and to verify the acceptability of the substrate and control the conditions to the Lankscape Contractor, Provide proving medium best results. 3 Scarify the entire subgrade immediately prior to placing growing medium. Re-cultivate where vehicular traffic results in compaction during the configuration that all calarities areas are smoothly continued after light connection to finished explan. For Tax Indians, 1997, 1 A. Blainists standing water from all. Risished grades. Provide a smooth, firm and even surface and conform to grades shown on the Lendscape Drawil maximum and minimum gradests defined by the B.C. Landscape Standard. 5 Construct swales from to liter and crade, smooth and from of sales or high points. Minimum sloce 2%, expirum side sloces 12%. Assure positive dr A Slope not to exceed the following maximums: Bough Grass 34, Lawn 44, Landscape plantings 24. B Inform Landscape Architect of completion of finish grade prior to placement of seed, sed, plants or mulch. LANDSCAPE (PRAINAGE .1. Related Morks Growing medium and Finish Grading, Grass areas, Trees Strubs and Groundcroeers, Planters, Crib Walls. 3. Unless otherwise instructed in the Contract Documents, the preparation of the subgrade shall be the responsibility of the General Contractor. Placement of growing needless accordingly to the process of the indexed by the landscape Contractor. Ever indexed the process of the indexed process of t 2. Were included: Shy fishing paging and parties or paging, institution of any oraling systems of stable on incolorage plans. Note: Left to believe two conditions and, confers some of very page or to Mic. 2. Where the page of the page of the Mic. 2. Where the page of the page of the Mic. 2. Where the page of the page of the Mic. 3. Where the page of the page of the Mic. 3. Where the page of the page of the Mic. 3. Where the page of the Mic. 4. Where the Mic. 4. Where the page of the Mic. 5. Where the Mic. 5. 2. All work and superinherators shall be performed by personnel skilled in Landscape contracting, in addition, all personnel applying herbiddes entitive pestidies shall hald a contract items issued by the appropriate authorities. 3 A site visit is required to become familiar with site conditions before bidding and before start of worl 4. Confirm location of all survices before proceeding with any work. 3. Exercises 3.10 for Percenting and backfilling in accordance with engineering details and specifications. 3.2 Lay draws on propered bed, from in like and grade with inverts association and free of page or high points. Consume barrol of each pipe in in contact 3.2 Lay draws on propered bed, from in like and grade with inverts association and refer of page or high points. Consume barrol of each pipe in in contact 3.2 Lay draws on propered bed, from in like and grade with inverts association and refer on page 1. 5 Bottly Landscape Architect of any discrepancies. Notain approval from Landscape Architect prior to deviating from the plans. Legy. 3. Generating high give of white and process in sportness describe. 3. Leg perfected plays with preferred in Sport days process. 3. Leg perfected plays with preferred in Sport days process. 3. They perfect the first in construct with manufacture of vederation. 5. They perfect the first in construct with manufacture of vederation of the segmental polymer. 3. They see the original process of process of the second construction of the second Fromental damage. Do not dump any washe materials into water bodies. Conform with all federal, provincial and local statutes and 3 Callect and dispuse of all debris and/or excess naterial from landscape operations. Keep paved surfaces clean and repair damage resulting from landscape war and to be received and from the final parameters. .8 Where new work connects with existing, and where existing work is attered, make good to match existing undisturbed condition 130 Cover draft rock with new-ve311 Assure positive drainage. 312 Back fill remainder of french as indicated. 313 Protect subdrains fron flustration during installation. .1 Guarantee all materials and workmanship for a minimum period of one full year from the date of Certificate of Congletion. 2 Refer to individual sections for specific warranties. Name (MEAN TITM). Some improved this sease of young action proposed for use on this project in an independent taberatory. Provide text results in Landscape Sease in Care and the Sease is a Sease of young action of the Sease in Care and Sease in PART TWO SCOPE OF WORK 1 SCOPE OF WORK J. Other conditions of Contract may apply. Confirm Scope of Work at time of tender. arben/Mitregoliced. EMBINN SPPLY AND PLACEMENT works all srevins, median required for the performance of the Contract. On not load, transport or spread growing median when it is so well that it are the contract of the special spec Nicrk includes supply of all related items and performing all aperations necessary to complete the work in eccordance with the drawings and speciocosists of the following. 23 Sherisin of Leisking Frees shere sheen on droulings. 21 Invited Services of Leisking Trees sheen on droulings. 21 Invited Services of Drougs. 21 Invited Services of Drougs. 23 Leisking simple regions and self-or list legals. 23 Leisking simple regions on districts in some regionseries of self-leisking simple self-or leisking nedium administres as required by the soil test. Amended growing medium must meet the specification for growing medium as o various ireas. 21 Thereoglity nic required amendments into the full depth of the growing medium. 22 Special mixes may be required for various situations. Refer to drawing notes for instructions. Place the amended growing median in all grass and planning areas. Spread growing median in uniform layers not exceeding 6" (ISOnn), over unfree sharefore valver. 3-Daile 5-Daile 5-Daile 5-Daile 7-Daile 7-Daile 17-Daile 18-Daile TABLE ONE: PROPERTIES OF GROWING MEDIUM FOR LEVEL 2 GROOMED AND LEVEL 3 MODERATE AREAS Canadian System of Soil Classification Textural Class "Lewny Sand" to "Sandy Lewn". Low Traffic Areas. Trees and Large Shrubs ercent Of Dry Weight of Total Growing He 5 Hawaii v savaat eroolin median/stantiin soll arount evittiin trees, struks and etstaries 0 - 1% 0 - 1% 0 - 1% .6 In perimeter seeded crass areas, feather crowing medium out to nothing at edges and blend into existing grades. 0 - 5% 0 - 5X 0 - 5% Finished grades shall conform to the elevations shown on Landscape and site plans. Weight of Growing Medius 40 - 80% Theograin flough grass areas are noted on the drawings as "flough Grass". Treat all areas defined as rough grass between all property lines of the boulerand happing or roods and larges. 50 - 40% 10 - 90% Proparation of Serbases: To B.C. Landscape Standard Class 3 Areas Rhooph grassl Section 7.113 Clean existing sail by mechanical means of debris over Stann in any dimension. Rhoophy grade surfaces to eality-fig 10 - 25% 3. The of Seeding-Seed from early spring Igenerally, April to late full (September With) of each year. Further entigodetic may be obtained on or Clay: smaller than 0.002mm 0 - 25% 0 - 15% 0 - 25% A. Seet Supply & Testing: All seed near the obtained from a recognitive and solid to Mp. A Spins minute delivered in containers bearing 3.5 - Analysis of this seed minutes. A.2 - Percentage of each seed type A.2 - Percentage of each seed type Organic Content (coast): Organic Content (interior): 3 - 18% 3 - 5% 3 - 5% 3 - 5% 10 - 20% 15 - 20% 5 Seed Michae All varieties shall be rated as strong performers in the Ppoliti Mor 10% Creeping Red Frescue 20% Johnson Type 30% Galant Personal Rye 30% Bankey Reguege Common Seed Red Red Red Red Red For Wild College Areas use a minimum plantifationers with hinst Fescues Chemistry 3 Line: Ground paricultural linestone. Meet requirements of the B.C. Landscape Standar 6. Fertilizer-Mechanical segiling hope): a complete spethetic sinu-release fertilizer with maximum 35% vater soluble nitrogen and a sulphur urea coated. 33 Int Fried Michael screil using a mechanical spreader. 4. Organic Additive Connectal compost product to the requirements of the 8.f. Landscape Standard, LATEST EDITION and pre-approved by the Landscape Architect. Recommended suppliers: Yardworks, The Anover Gordon Products, Fraser Richmond Sols & Fibre, Stream Grganics Management. Acceptance: Provide adequate protection of the seeded areas until conditions of acceptance have been net. Congly with Section 3.7 Hydroseeding. 5. Comparied Bark Match: 19sm (3/47) minus Fir/Tension bark thips and files, free of clustes and stricts, dark brown in colour and free of all soil, stames, noots or other cetrascours matter. Fresh energy in colour both will be rejected. J. Renbicides and Positicides. If used, must conform to all federal, provincial and local statutes. Appliers must hold current till the area. .8 Filter Fabric: A rea bioday-adulte blanked or other filtering sentence that will allow the passage of water but not fine set particles. (Such as MRRF) NO NIL, GEOLONING OR MRRT SUSS or alternate product pre-approved by the Limitospe Architect I 3 Proporation and Growing Medium. 3.1 is areas of Rough Grass. Comply with Section Tel-Byogh Grass. 3.2 Where approved for use in areas of Iawn, comply with Section 3.8 Lawn Areas Sodding.

.9 Drainage Piping If required-Schedule 49 PVC mental sizes.

.10 Drain Rick: Clean, round, inert, durable, and have a maximum size of 19nn and containing no material smaller than 19ns.

.14 Histellaneous. Any other material necessary to complete the project as shown on the drawings and described herein.

.11. Plant Material: To the requirements of the B.C. Landscape Standard. Parter to 3.9, Plants and Planting. All plant material must be provided from a marsey. Provide pred of certification.

.3 Supplier and installars of segmental black units to provide emphasized drawings for all valls, signed and sealed drawings for all valls, inhibitabily, in excess of 12m, or contamines of walls collectively in excess of 12m, installarities must be reviewed and signed off by Certified Protessional Engineer; bicode cost of engineering services in leaster arise.

PART THREE SOFT LANDSCAPE DEVELOPMENT 31 RETENTIAN OF DASTING SPEES	PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT
 Prior to any work on site - protect infinitial trees or plant groupings indicated as retained on landscape plans as week allow retention areas. In some instances the Landscape Architect will tag trees or areas to remail. Discuss tree retention areas at a start-up meeting with the Landscape Architect. 	A1 Seed Statute 104 key/ss (25 lbs/sere) A2 feet lights (105 lbs/sere)
 A physical barrier must be installed to delineate clearing boundaries. Refer to physical barrier detail. If detail not provided, comply with local municipal requirements. 	A3 Coastal Military Nic Where specified apply IS the/arrel It/4 to 1th of grass seed! A4 Notes:
 No nachine travel through or within negetation refeation areas or under covers of trees to be relatined is allowed. Do not shoulpile soil, construction makerials, or excerabled naterials within regulation retertion areas. 	ALI Al Tel trade i cent product product control in a component or in an propositioning main, recently, user etc. comparent recent. 4.12 Fortillo trade if a real modyle in a workful, comply with results. 5.22 Level their phylosocologic is proved, comply, all and plus reconnectations.
A Do not straipple sol, construction materials, or excessive naterials within regelation retention areas. 5 Do not park, dust or service webbles within regelation retention areas.	3.1.22 Lave Where hydrosooting is approved, comply and soil analysis recommendations.
A No debris fires, clearing fires or trush burning shall be geralited within segritation referition areas.	5. According researce the quantities of each of the natives's Elemanurpai into the test either by sept-off by a commenty accepted system of near-calibrated values encouraged. The earliering has been been subject to the late of the best wide in the best inches in the late of the systems of the superior sept furtilities. The recognity and this a homogeneous searry. After catering, and one water or after earlied in the effect. One that each beauty the late of some that facilities are the facilities and the subject to the subject to the superior search each test that the subject to the
 No occurations, drain or service treathes nor any other disruption shall be permitted within vegetation retention areas without a review of the proposed ecrossoment by the Landscape Architect. 	Arrier cranging, doe no water or other maneria, to me nature. Up not cause sturning in the regarder more than may not mounts. 18 - (Surribute sharry uniformly were the surface of the area to be hadroscoleds-filled application into previous goodstrives and existing cross areas to form uniform surfaces.
the Landscape Architect. 3. Do not cut branches or routs of retained trees without the approval of the Landscape Architect.	JI Class up: Remove all materials and other debris resulting frage-debug operations from the job site.
A to not our another or must at released more virtual the approach on the consistent process. 3. Any demage he existing vegetation intended for preservation will be subject to evaluation by an U.S.A. Certified Arberist using the "Guide for Plant Approximat", LATEST EXTRAD.	.12 Maintenance: Begin maintenance immediately affor Seeding and continue for 60 days after Substantial Completion and until accepted by the Owner. Re-seed at three week
EXTIDE. 3.3 Replacement glanting of equivalent value to the disturbance will be required. The cost of the evaluation and of the replacement planting will be the responsibility of the General Contractor and or the personal responsible for the disturbance.	25 Statemen: Begin antiferrous mentalizing player-forming and continue for all to put the Statement Companies Statement and Continues Statement Companies Statement Statement Companies Co
	B. Accordance of the Security Course Proper parents and its specified proces species is the recognitibility of the Landscape Contractor. The probability of the Landscape Contractor.
.10 In molicipalities with specific tree ordernion/replacement bytes ensure conglisme to bytes11 In strations where required construction may disher leviating negotials intended for preservation, central Landscape Architect for noise prior to commencing international confidence or an extra confidence or an	3) Long leves i prima passa kreas freepe personne al specifie pera specia in trespeciality of the Londons celeration. The physical transmosty and calculated free personne and the prima passa speciality of the prima passa special passa speciality of the prima passa speciality of the prima passa special passa speciality of the prima pas
controller.	perforg season, provided that the above conditions for acceptance are fulfilled. The Labora Lafface, comment
 If finance subgrade is prepared to conform to depths specified in Section 33. Growing Medius Supply, below. Where planting is indicated conce to entirely press, prepare suitable planting pockets for material indicated on the planting plan. Shape subgrade to eliminate free standing water and conform to the eithe grading and drahoge plan. 	1. Seneral: Trool all areas defined as laws areas on the Landscare rise between all recognity lines of the resisted includes all budgesets to other of reads and laws.
2 On slapes in excess of 31 trench subgrade across slape to 150em (61) minimum at 1.5m (6 ft.) intervals minimum.	 Growing Medium: Condity with Section 2.23, Growing Medium. Prior to sadding, request an inspection of the finished grade, and digith and condition of growing medium by the Landacepe Architect.
3 Scarify the entire subgrade immediately prior to placing growing medium. Re-cull leafe where vehicular traffic results in compaction during the construction procedures. Ensure that all planning areas are assentity contoured after light compaction to Enhance grades.	.3 Title of Solding: Soil from April 1st to October 1st. Further extensions may be obtained on concurrence of the Landscape Architect.
	A Sed Supply. Conform to all conditions of B.C. Landscape Standard, Section 8, B.C. Standard for Turfgrass Sed.
A Climinate standing water from all fitished grades. Pravide a smooth, firm and even surface and conform to grades shown on the Landscape Drawings. Do not exceed nazimum and minimum gradients defined by the B.C. Landscape Standard.	.5 Specified Turfigness by area. Refer to Table 2 below.
5 Construct swales true to like and grade, smooth and free of sags or high points. Minimum slope 2%, maximum size stoges 12%. Assure positive drainage to collection points.	TABLE 2 SPECIFIED THREGRASS BY AREA
A Stope not to exceed the following medinums-Bough Grass 34, Liven 6.4, Landscape plantings 24.	Area Description Ouality Grade Major Species (LASS 1 Lever, all areas nated on drawings as tave in urban Mr. 1 Prenium Mentudy Base for sun, festures for shade
.7 Finished sol/midch deration at building to comply with municipal requirements. 3 Inform Landscape Architect of completion of finish grade prior to placement of send, sod, plants or midch.	CLASS 1 Law, 32 areas rated on drawings as Law in artism Mr. 1 Premium Fectivally Blass for sun, Fectives for shake development of the Modeling business of years of the Mr. 2 Standard Same Greek, and the Mr. 2 Standard Same Greek, and the Mr. 2 Standard Same Greek, and Mr. 2 Sta
3 International production of companion or many grade prior to published or seed, seed, plants or match.	CLASS 3 Rough Grass see hydrosecting SPECIAL
33 LIADSCAPE DRAMAGE 1. Related Works Grounding median and Finish Grounding, Grass areas, Trees Strubs and Groundceners, Planters, Crib Walls.	Line: The line shall be as defined in Section 223, Materials. Apply at rates recommended in required soil test. Refer to Section 3.6 for method.
2. Were include: She finish grading set series challen, institution of any challen grades on facilities and except charge grade and series of the conditional and confirmation of the property of the confirmation of the confi	
 Coordinate all landscape drainage work with rest of site drainage, Refer to engineering drawings and specifications for connections and other drainage work. Determine exact lesstline of all existing stillies and structures and underground stillies prior to commencing work, which may not be located on drawings and conduct work. 	 Fertilizer: Refer to Section 222 Potentás. Apply specified fertilizer at nates shown in the required soit test. Apply with a mechanical spreader. Cutivate into growing median 48 hours prior to sociding. Apply separately from line.
	 Fookbilly: Proper a search, Time, even surface for laying sed. Lay soci staggered with sections closely betted, without overlapping or gaps, search and even with adjaining areas and not lightly. Water to obtain weather penetration of 10 to 1° 0 - 10cd., Comply with requirements of 60 Landscape Standard Section 8, 80 Standard Sec Tor Typess Sed.
3 Canceline 3.1 On trending and backfilling in accordance with engineering details and operfications. 3.2 Lay arise on compreher lock, three is like and grade with invertis search and fire of sage or high points. Circums barrel of each pipe is in contact with beef throughout full.	Sec
3.2 Lay drains on prepared bed, true to like and grade with kiner's smooth and free of sags or high points. Ensure barrel of each pipe is in contact with bed throughout full length.	3. Nationarco logic authension invasifiely after coding and continue for 64 again the Substitution continue and according to the own. Protect solded areas from Gauga with suppose the continue of the continue and according to the continue according to the contin
3.3 Connecte Laying pipe at outlet and proceed in upstream direction. 3.4 Lay perforated pipes with perferations at 8pn and 4pn positions.	intervals necessary to market neutroom grown. Acong glass on at mager or between 1-1/2" work and 2" 150%, Provide adequate principle of social agest stated on the state of th
.35 Make joints tight in accordance with monufacturer's directions. 36 Do not allow water to flow through the pipes during construction except as approved by Engineer.	18 Accordance of Laver Asset: The fact shall be reasonable well established, with no accorded dead souts or bore south and whill be reasonably free of weeds to BC.
3.7 Have valueringst connections to existing grains, new or existing mannals or carcinoses where indicated or as directed by Landscape wherefer. 3.8 Ray opstream ends of gipe with waterlight dean out caps.	38 Acceptance of Lavin Access: The fart shall be reasonably well established, with no appointed deed spalls or barre sports and shall be reasonably free of weeds the B.C. Landscape Sharder, Scalin Distributionable Country (2) Supposessor). Use introduced in accessary for weed removal unless other conditions of contract forbid their sea. After the lawn has been and of a last shirt, accessor packing the country to the Outer.
segis. 3.1 General sping give a skell and promote in opinione direction. 3.2 Mean in the principle of skell and promote in opinione direction. 3.5 Mean in the spin of spin in considerar of the section of the spin opinione in opinione. 3.6 Mean in the spin of the spin opinione in opinione in opinione in opinione. 3.7 Mean and spin opinione in observable gives, one or easiling mean for or excludes where indicated or an infectively turnione involved. 3.6 Mean and spin opinione in observable gives in opinione in op	
331 Assure positive divisions. 3.0 Bods ill encaded or thresh as indicated. 3.0 Protect subdivino from Insalation during instalation.	33 PLANTS AND PLANTING 3. Cenform to gloring Lyyest as shows on Landscape Plans.
3.4 GROWING MEDIUM TESTING	2 Optain approvix of Landscape Architect for Layout and preparation of planning prior to commencement of planning operations.
.1 Submit representative sample of growing modium proposed for use on this project to an independent laboratory. Provide test results to Landscape Architect prior to placing. Test results to include	3 Make edge of bods with smooth clean defined lines.
Addity Pil and quantities of line or suppur required to trap within specified range. Notified lines of suppur required to trap within specified range.	A. Tire of Plenting
34 deband Constitution 1 34 deband Constitution begins of pushing sedies proposed are as in this purigin to an independent absurings. Provide tool results in Landscape Architect price in 1 35 major despression. Naturated of push and, will, this, and respects. 31 Major despression. Naturated of push and, will, this, and respects to the push of pushing the constitution push. 32 Major despression. Naturated pushing and the pushing constitution pushing the constitution pushing the constitution of the pushing the pushing the constitution of the pushing the constitution of the pushing the constitution of the pushing the pushing the constitution of the pushing	 The of Periods The of the production of
 Supply all growing medium required for the performance of the Contract. On not load, transport or spread growing medium when it is so well think its structure in likely to be designed. 	5. Disordes 5. State of the control and control to the represents of the SL Landage Chronic, LUTS LETION, usins second by drawing Plant Contain en This sportfaction, 5.11 Again to SLC Landages Chronic Cartier Plants and Plants and parts action. SLCIAMS Statemet for Centure Grown Plants for advision as stated, 5.12 Plant makerial deviated for sportfact and control the best and only interpolement. 5.2 Plant makerial deviated from area with less sower disords confidents shall be great to within late the air Cartier.
	5.11 Parfor to B.C. Landscape Standard, Section 9, Plants and Planting and in Section 12, BCLNA Standard for Container Grown Plants for minimum standards. 5.12 Refor to Plant Schedule for specific plant and container sizes and comply with requirements.
 Single, all priving mation administs as required by the soil heat. Amended yearing medium and meet the specification for graving medium as defined in Table the for the specific area. Thermolyly nic required amendments between the field adjust of the graving medium. Thermolyly nic required amendments are the field adjust on the graving medium. Special mice supple representer services between the field. 	5.2 Plant material obtained from areas with less severe climatic conditions shall be grown to withstand the site climate.
	A. Review A.1 Bestine at the source of supply and/or collection point does not provent subsequent rejection of any or all planting stock at the site.
 Place the attended growing median is all grass and planting areas. Spread growing nedium in uniform layers not exceeding 0" (ISDand, over unfreade subgrade free of standing valet. 	Assistablity A
A. Hishan deaths of produce melan placed and compared in NEG. 1.4 The Symmetric extension beam. 1.5 Things 1.2 Things and contract beam. 1.5 Things 1.3 Things are contract beam. 1.5 Things 1.4 Things placed beam to produce you. The produce of place. 1.5 Things are contract beam to place of place. 1.5 Things are you only in the place of place. 1.5 Things are you only in 1.6 Things are you only in 1.7 Things are you only in 1.7 Things are you only in 1.7 Things are you on	.12 Supply grood of the availability of the specified plant material within 30 days of the award of the Contract.
A.3 [Seeder for credital later. 5" [Michae] A.2 [Seeding for credital later. 5" [Widne] A.3 [Seeding for only later (specified on plan	5 Controllater. 1.2 data with approad of the Lineacque Architect prior to making any substitutions in the specified naturals. Non-approad substitutions will be rejected. 1.2 these animate of Superport to believe for regard to substitute or substitutions. 1.2 the substitute of Superport or Superport or Superport or Superport of Superport or Sup
A.1.3 Groundcover only areas, IT defined on plan	. AZ - Make a minimum of 5 days princ to delivery for request to substitute. ### 2 Substitutions are subject to BX Landscape Standard - definition of Conditions of Analability.
A 20-Sub	 Plant Species & Location: Triants shall be trea to name and of the height, calliper and size of neel hall as shown on the landscape/alle plan plant schedule. Caliper of frees is to be folion 6' (Son) above notes:
A22 Grean(treer areas 12° 1900ee) A23 Lavy vilhert advoratic iniciative 22° 1900ee)	32 Flort all specified species in the location as shown on the londscape drawings. Natify Landscape Architect if conflicting rock or underground/overhead services are
A 2.1 Strap & groundcreer press 5" (900mm) A 2.5 Traces and specimen shrubsu 10" (900mm) over columns and/or edge of slab (serify column localisms on-site for tree locations.)	essentered. 33 Deviation of given planting location will only be allowed after review of the proposed deviation by the Landscape Architect.
A.2.6 Depth noted includes 1" to 2" IZS-50ant land over filter fabric A.2.7 Maximum 11" depth growing medium except where mounded far frees over calcum points.	.10 Exception18.1 Treat and large shrubs: Exception a spacer shaped tree pit for the depth of the restball and to all least twite the width of the restball. Assers that finished grade is at the religind space the first was great at.
A.15 The Use got minight	the original grade the free was grown at.
.6 In perimeter seeded grass areas, feether growing medium out to nothing at edges and blend into existing grades.	 Designed if bothing bits. Profession of Leading and American States of the Conditions and the side of the planting pile or plant piles of the condition, must be read for radia the restablishment of professions (specific and professions).
.7 Finished grades shall conform to the elevations shown on Landscape and site plans. 28-02329 GRASS ASEA - SEEDING	to raise the rustical above inpervises typer. Notify the Landscape Architect where the drainage of planting thinks is limited. 12. Plantine and furtilision throughout.
The DESIGN (DASS AREA - SEEDING 3. The Design through years were are noted on the drawings as "Rough Grass". Treat all areas defined as rough gross between all properly lines of the project including all business of reads and lareas.	.12 Plasting and Fertilizing Procedures: -12.7 Plast all frees and armous with the revols placed in their natural growing position. Il burslapped, losses around the lay of the build and cut away or failureder. Do not pull burslap from worther the skil. Exercise processes containers without in jurice; the restricted in place, cut holie. For which business, dip and remove top three reas of
2 Presentation of Surfaces: To BC Landscape Standard Class 3 Arress Rough press) Section 7.513	being the under this SL. Certifying review continent within 2 playing the restlicts. After writted bytes, cut had, for why bearing still produce the produce of the continent to
Proparation of SurThaus; To R.C. Luelscape Standard Class 3 Areas Rhoph gread Section 7:113 Clase existing solid yn addressje dineses of derich over Shann is any dimension. Rhophing yn derivincies to a Early	grade. Leave no air volds. When 2/3 of the hopsel has been placed, apply fertiliber as recommended by the required soil test air the specified rates. 12.3 Where planting is indicated adjacent to exist ling trees, use special care to avoid disturbance of the root system or natural grades of such trees.
 The of Seeding-Seed from early spring igenerably April to late fall September 18th of each year. Further entegodints may be obtained on concurrence of the Landscape Architect. 	32.4 Where trees are it laws areas, provide a dean cut midded 900em (8 ft.) diameter circle contened on the tree.
	3. Soling Trans. 3. Use the Trans Conflict Section Security and Section Sect
A Seed Supply & Testing: All seed must be ablished from a recognized used supplier and shall be by. Pg'ass motives delivered in containers bearing the following information: A.3. Participate of the seed minite: A.2. Proceedings of each seed pipe:	333 Tie with pre-approach commercial, flat weren polygregylane fabric bolt, minimum width films (S/4*). Approved product Anton Tie - evaluation from Despitent. 33. Tie with pre-approach commercial, flat weren polygregylane fabric bolt, minimum width films (S/4*). Approved product Anton Tie - evaluation from Despitent. 33. Tie with pre-approach commercial, flat weren polygregylane fabric bolt, minimum width films (S/4*). Approved product Anton Tie - evaluation from Despitent. 33. Tie with pre-approach commercial, flat weren polygregylane fabric bolt, minimum width films (S/4*). Approved product Anton Tie - evaluation from Despitent. 33. Tie with pre-approach commercial, flat weren polygregylane fabric bolt, minimum width films (S/4*). Approved product Anton Tie - evaluation from Despitent.
5 Seed Michael All varieties shall be rated as strong conference in the Pacific Northwest authors publics to Givet approach.	.135 Trees 6 ft on Yould or Connects Deciss. Guy as above using three deadner link. Z'xZ"xX" buried to the nanhum possible depth instead of stakes. 136 Mark all guy when with visible flagging naterial.
S Seed Marker All werkes shad be releaf as strong performers in the further following about adopted as completed format and completed for Skiteckey Design	3. Prehis
SK Salum Perential Rye SN Kenhocky Bluegrass	3.4 Purples. 3.4.1 List graving in the minimum excessary to reason dead or injured branches. Preserve the solard character of the plants, do not cut the leader. Use only clean, sharp tools. Note oil cuts deem and cut to the branch collar leaving no shales. Shape affected areas so as not to rebide vater. Peasone danaged material.
For Wildflower Areas use a minure staffidflowers with liter Fescus (Terrailla Coastal Wildflowers) with Hard Fescus of per-approved all emails.	
A Fertilizer-Nectunical segulary logoly a complete spetheric sion-release fertilizer with maximum 35% valver soluble nitrogen and a Swendining ratio of 18-38-39 - 50% salphur urrer control, 753-657-615000 soluble using a mechanical spreader.	 Muckelay. Muckelay American Service of Muckey Committee of Muckey American Service of Muchine processor of Muchine resolution of Committee of Committee of Committee and Committee of Commi
3 Seeding Apply seed at a rate of 100/th 100ths /acrel with a mechanical spreader. Incorporate seed into the top 1/4" (see) of sell and lightly compact.	.16 Acceptance .16.1 The establishment of all plant material is the responsibility of the Landscape Centractor.
Acceptance Provide adequate prelection of the seeded areas until conditions of acceptance have been neel. Comply with Section 3.7 Hydroseeding.	3. That floared Members 1. That floared Members 1. Variety (Arter of Control of Contro
37 THIS COSCIONS 1. No. 70 Provide in millionate to exclusive descript in rapping years areas. 2. No. 70 Provide in the special Control Cont	3/2 reserves as pears maneral ner out days after landscape work has received a Certificate of Completion. 3/2 Valenting Conform in BLC, Landscape Standard, Section B32 - Watering and generally as follows: 1/21 United Conform in BLC, Landscape Standard, Section B32 - Watering and generally as follows:
	The Charter to suppressent matures are minute sout that the sout near the south of the root core each time. The Charter is responsible to supply water at the extent cost to the Contract. Confirm source of water prior to beginning with. 17.1 Like approximate processor to contract another cost to the Contract. Confirm source of water prior to beginning with an administration of a minute source of the contract and middless for the contract and middless
3 Preparation and Groundy Medium:	JTA. Flant material which fails to survive shall be replaced in the next appropriate season as determined by the Landscape Architect. JTS. Right free quarts, thinks, and gay writes, when necessary.
3 Propuration and Growing Review. 31 In year and People Growing with Section 7% Report Forests. 22 Western agreement for seath names of them, comply with Section 39 Learn Arcess Southing.	315 Maint ain area relatively weet free. (Appearance level 7, R.C. Landscape Standard, Chapter CS, 313 Maint ain mulch in specified digiths.
A Freierline: Ensure that fertilizer is solution does not come in control TRAILIN (sliding of payrifies, drivals, or other escapsible application. De not spray seed or multi-on objects of capsed for pay spray. Frei cit childry is de explored, review, indigenating reference points, somments, entirers and structures from denage. Where contamination source, reviewers destination and produce produces and structures from denage. Where contamination source, reviewers destination and produces and structures from denage. Where	.34 Plant Warranty
conhumination occurs, remove seeding starry to satisfaction of and by means experied by life transposage Architect	20.3 regrace as unsatisfactory plant natorial except those designated "Specimen" for a period of one I'll year offer the Certificate of Completion. Replace all unsatisfactory plant material designated "Specimen" for a period of two III years after the Certificate of Completion. Replace all unsatisfactory trees and strudy and continue to replace
 Mach shall comité et virgin vond libr er recysted pages filed Teologies for Injensifs meding and open Tomass est examinaring application. It using recysted pages materials for used filtre abuilt into use 155% by usight (. est/gam*0.5.), canadrough sealered for male receptioners. 	times were time operation in contract and substitute and substitute and acceptance to the confined and approved as specified for the original planting, and shall not constitute an extent in the Confract. 18.7 Thous Plantin Medicine is harder within one wave of the Constitute and Planting and American State of Medicine and American State
A Water Shall be free of any inqualities that may have an injurious effect on the success of seeding or may be harmful to the confidences.	the Landscape Contractive which are follow through below normal temperatures theirs the severage of the culteres minimum temperatures officially recorded in the area concurred, in the last 10 worst, will not be realized of throat cost of replacement born be the Dunner.
7. Equipment: Use juddiffy standard hydraulic seeder/multier equipment with the tank values certified by an identification plate or strikes afficed linguistics on the equipment. Derflythadic seeder/multier shall be capable of sufficient agitation to nix the naterial into a homeopowas starry and to maintain the starry in a homeopowas state.	1. That starting designation plan sharid a regal from things and "Sporter" to a paried of on 15 per offer the Central of Complete, before all carefuling plant and complete (Sporter 1) to paried in 1-10 per offer the Central of Logardan. Aligned as caterificing how see the host and combine to register and complete (Sporter 1) to paried in 1-10 per offer the Central offer the Sporter 1) to paried the second from the Sporter 2 per offer 2 per offer the Sporter
unit ATC applied. The discharge names and our nazzles shall be capable of applying the majorials uniformly over the designated area.	i 1

So. In the part metal, inclinate problem in many thing is based to Central in reproduct product product product in the part of the central inclination in the central inclination in the part of the part of the part of the central inclination in the central inclination

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

O NOTALING LANGUAGE ON CIGHTINGS

2 Coordinate werk with construction of planters and planter drainage.
2.1 Verify that planter drains are in place and positive drainage to roof drains is present prior to placing any drain rook or soil.

Provide clear out at all through-slab drain locations . Use 300mn min. dia. PVC Pipe filled with drain rock unless specific drawing detail show

A install drain rock everly to a minimum depth of 4" (Münnior alternate sheet drain it specified, install sheet drain as per monal 5. Gever drain rook for alternate sheet drain if specified on drawing details! with filter fabric lapping 6" (Siland at all edges. Obtain approval of drainage system prior to placing grawing medium.

Race greating neckan to depths specified in Section 3.5 shows for various surface treatments. Refer to the wing details for any light weight filter required in aller grade.
 Use Symphoto Nation and control without to previde smooth surface transition at edges. But each piece lightly logather and cover with filter filters to prevent soil from rightness grade grade exercises.

II ESTABLISHMENT MAINTENANCE (Provide a separate price for this section)

1. Intent. The hield of "cristationer" is advisored by profes striffed one to novel position part and the a cristalion part profes of the in essure or horses this large has account for a cristalion part profes of the in essure or horses this large has account for a planning. We deplicate the advisorities of participated the participate of participated participated and participated particip

B Related Standards and Legislation: B.C. Landscape Standard, Latest edition; Fertilizer Code, B.C. Pesticide Control Act.

A. She Review in addition to the inspections at substantial conjutrities, at final progress draw application, and at the end of the guarantee period, there should be filter reviews during the 12 meeths attended by the Centractive and a designated representative of the Guner. Haintain a logical and representative and substantial to the designated representative.

5. Scheduling: Pregare a schedule of anticipated visits and submit to designated representative at start-up. Maintenance operations shall be corried wit pred the growing season between Harch but and Nevember 30th Insector visits at other times of the year may be required.

6 Maintenance Level: Comply with B. C. Landscape Standard, Section 13, Table 7, Haintenance Level. "Medium".

3 Materials: Compty with Part Two of this specification.
33 Fertilizers: To the requirements of the B.f. Landscape Standard Formulations and rates as required by soil testing.

P. Fert Monte Colonbases.
1. Sections Survey Sur

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3. Marting to be some problement in problement in the problement of t

equilibration is a similar benichis in the west populism common III beneated or with or it is all hand whether westign greates are dispose more. This application sink makes a first of the property of the pr

1 SEP.05.2025 REV AS PER NEW SITE PLAN BN
6 MARJ.2022 REV AS PER CITY COMMENTS BN 5 MAR.(2),2022 REV AS PER NEW SITE PLANV DP BN

2 JAICE-2022 ISSUED FOR DP BN 1 DEGL2021 PRELIMINARY DRAWING BN

LANDSCAPE ARCHITECTURE

New Westminster, British Columbia

#220 - 26 Lorne Mews

Email: office@m2la.com

Tel: 604.553.0044

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CITY OF LANGLEY, BC

DRAWING TITLE:

LANDSCAPE SPECIFICATION

SCALE: • DRAWN: BN DESIGN: BN CHK'D: MILM

M2LA PROJECT NUMBER:

21 010-10 zp

NO. DATE REVISION DESCRIPTION DR.

4503 200 STREET.

DATE: NOV.30.2021 DRAWING NUMBER: L4

21-078