



## **ADVISORY DESIGN PANEL**

**WEDNESDAY, OCTOBER 18, 2023 AT 7:00 PM**

**Council Chambers  
Langley City Hall  
(In-Person Meeting)**

## **A G E N D A**

**1) AGENDA**

Adoption of the October 18, 2023 agenda.

**2) MINUTES**

Adoption of minutes from the July 19, 2023 meeting.

**3) DEVELOPMENT PERMIT APPLICATION DP 08-23  
ZONING BYLAW AMENDMENT APPLICATION RZ 07-23**

6-storey, 136-unit apartment building at 20619 & 20629 Eastleigh Crescent.

**4) DEVELOPMENT PERMIT APPLICATION DP 08-22  
ZONING BYLAW AMENDMENT APPLICATION RZ 05-22**

14-unit townhome complex at 4503 & 4513 200 Street.

**5) NEXT MEETING**

November 8, 15, or 22 (subject to Panel availability).

**6) ADJOURNMENT**



**MINUTES OF THE  
ADVISORY DESIGN PANEL**

**HELD IN COUNCIL CHAMBERS,  
LANGLEY CITY HALL**

**WEDNESDAY, JULY 19, 2023  
AT 7:04 PM**

Present:

Councillor Paul Albrecht (Chair)  
Mayor Nathan Pachal  
Matt Hassett  
Leslie Koole  
Johnnie Kuo  
Blair Arbuthnot  
Chad Neufeld  
Tony Osborn  
Scott Thompson

Absent:

Ella van Enter  
Cst. Peter Mann

Staff:

C. Johannsen, Director of Development Services  
A. Metalnikov, Planner  
P. Kusack, Deputy Corporate Officer

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Chair Albrecht began by acknowledging that the land on which we gather is on the traditional unceded territory of the Katzie, Kwantlen, Matsqui and Semiahmoo First Nations.

**1) AGENDA**

Adoption of the July 19, 2023 agenda.

It was MOVED and SECONDED

THAT the agenda for the July 19, 2023 Advisory Design Panel be approved.

CARRIED

## **2) MINUTES**

Adoption of minutes from the July 5, 2023 meeting.

It was MOVED and SECONDED

THAT the minutes of the July 5, 2023 Advisory Design Panel meeting be approved as circulated.

CARRIED

## **3) DEVELOPMENT PERMIT APPLICATION DP 06-23**

Proposed 6-storey, 126-unit apartment development at 19948 55A Avenue.

Mr. Anton Metalnikov, Planner, spoke to the staff report dated July 13, 2023 and provided a brief overview of the Development Permit application which included the following:

- The application is for a 6-storey, 126-unit apartment
- A previous application for a 4-story building on this site did not move forward, leaving a vacant site
- The area is in the latter stages of transitioning to a multifamily neighbourhood
- The application is consistent with the Official Community Plan and the City's envisioned land use for the site and the surrounding area
- A comprehensive development zone is needed to accommodate the proposed development

In response to an inquiry, staff noted that the two residential sites west of the subject site are large enough to accommodate another development.

The Applicant team entered the meeting:

- Andrew Cheung, Architect, Andrew Cheung Architects Inc.
- Cat Kuang, Project Designer/Project Manager, Andrew Cheung Architects Inc.
- Tim Chen, Developer

Mr. Cheung presented the application, providing an overview of the development with details on the following:

- Site location
- Site context
- Project description
- Individual floor plans, including 25 accessible units
- Building amenities (indoor and outdoor)
- Loading area and garbage/recycling areas

- Residential and visitor parking
- CPTED principles / security / cameras
- Storage
- Shadow studies, noting the design minimizes adverse effects on neighbouring properties
- Design principles
- Siting and building design
- Massing, top floor set back.
- Entrances
- Project renderings
- Colour palette and building materials
- Elevations
- Sustainability elements

An overview of the landscape design elements was provided for the following areas:

- Amenity spaces
- Playground
- Passive sitting areas
- Vegetation privacy screen
- Gardens, including an undercover rock garden

It was noted that:

- Trees are provided for shade
- Entry area is barrier free and accessible
- Landscape lighting was designed considering CPTED principles
- Some landscaping provides permeable storm water benefits

Panel members provided feedback on the form and character of the development and discussion took place regarding the following:

- In consideration of the planned fire pit amenity, it was noted that it would require placement on a hard surface to meet building requirements / receive approval.
- Consider using paving stones on the second floor amenity area so the fire pit would meet requirements
- Consider providing an accessible parking stall with an EV charger
- All parking spaces are roughed in for EV chargers
- Move drive aisle in underground parkade to avoid accessible parking space users needing to cross it to access the elevators
- Bike storage
- Improvements to the children's playground (very small) or consider eliminating
- Common outdoor green space is lacking. Consider changes that would increase use for all residents rather than benefiting only the few units with large patios



- Storm water management. Not utilizing all surfaces as much as possible, consider permeable parking surface.
- Consider using more actual brick instead of using brick-coloured materials
- Provide extra sound attenuation for units that have shared walls between bedrooms and living rooms
- Incorporate substantial outdoor lighting in landscape, rock garden and at entrance areas
- Improve garden amenity area by moving the play structure to the first floor creating more usable space
- Add vertical features/design elements within the two-storey outdoor amenity area (ie: two-storey glazing, utilizing height/open space)
- Move visitor bicycle spaces to the top of the parkade podium and replace with extended planters
- Consider making better use of second floor amenity area. Change layout so that access is not through the gym and has a clear corridor to access
- Fire wall up to the roof could disrupt steam roof vents – staff review needed
- The current loading zone area will be difficult for truck access and asphalt surface is unsightly. There is an opportunity for additional landscape screening to enhance the pedestrian experience.
- Include more screening around the loading area and PMT
- Consider different surface treatment to grass between sidewalk and building area as the grass doesn't survive there.
- Consider more durable privacy screens between units and look at an alternative to wood.
- Consider maintenance access to south landscaping strip
- Include fencing to the west and south to prevent headlight glare into neighbouring properties
- Consider a bike maintenance area
- Use Canada Post standard mail room equipment
- Ensure appliances in the accessible suites are accessible (ie: not stacking laundry units etc)

The applicant team left the meeting at 8:17pm.

Discussion continued about the amenity areas regarding size, usability, functionality, usefulness.

Staff will work with the applicant to reconfigure the space for better usage.

The Panel compiled a list of recommendations for the applicant.

It was MOVED and SECONDED

THAT:

1. The ADP receive the staff report for information; and

2. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
- a. Provide one accessible stall with a Level II EV charger
  - b. Move drive aisle in underground parkade to avoid accessible parking space users having to cross it to the elevator vestibule
  - c. Look to reconfigure amenity space for usability, including either providing a larger children's play area (potentially at ground floor) or removing it, providing more community garden plots (including in private patios, with hose bibbs and drains, especially on south-facing units), and providing more functional indoor amenity spaces (consolidation, uses, and direct access from corridors to outdoor areas)
  - d. Consider opportunities to incorporate more greenery and permeability on the site (i.e. parkade frontage, east loading zone/garbage/PMT area, raised parking area, etc.)
  - e. Move visitor bicycle spaces on top of the parkade podium and replace with extended planters
  - f. Consider incorporating more brick into the façade treatments
  - g. Provide lighting at ground-floor unit entrance stairs and entry rock gardens
  - h. Consider additional sound attenuation measures for units with bedroom-to-living room interfaces
  - i. Update floor plans to ensure all units have doors
  - j. Make use of high-quality pavers in shared and private patios, and provide more design attention to these surface treatments
  - k. Consider greater use of vertical features within the second-floor outdoor amenity (i.e. hops, vines, non-vegetation elements)
  - l. Update plans, elevations, and renderings to show true colours, soffit treatments, fire wall, and loading/garbage area
  - m. Revise design of loading zone to ensure maneuverability, safety, and prevent users from driving over sidewalk to reach it
  - n. Provide more durable and privacy-supporting balcony screens (i.e. wood alternative) and provide more detail on their design and appearance, while avoiding an excessive feeling of enclosure
  - o. Provide more information on maintenance access to south landscaping strip
  - p. Ensure opaque fencing is provided to west and south to prevent headlight glare into neighbouring properties
  - q. Consider providing a bicycle maintenance area
  - r. Incorporate Canada Post standard equipment into mail room design
  - s. Ensure appliances in adaptable units are accessible
  - t. Review alternative to grass cover in City boulevard, in coordination with City's Engineering Department.

CARRIED

**4) NEXT MEETING**

September, TBD

**5) ADJOURNMENT**

It was MOVED and SECONDED

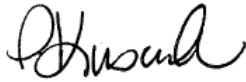
THAT the meeting adjourn at 8:45pm.

CARRIED



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**ADVISORY DESIGN PANEL CHAIR**



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**DEPUTY CORPORATE OFFICER**



# ADVISORY DESIGN PANEL REPORT

To: **Advisory Design Panel**

Subject: **Development Permit Application DP 08-23  
Rezoning Application RZ 07-23  
(20619 & 20629 Eastleigh Crescent)**

From: **Anton Metalnikov, RPP, MCIP  
Planner**

File #: 6620.00  
Bylaw #: 3261

Doc #:

Date: October 6, 2023

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## RECOMMENDATION:

THAT this report be received for information.

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## PURPOSE OF REPORT:

To consider Development Permit and Zoning Bylaw amendment applications by Sean Tilstra for a 6-storey, 136-unit apartment building at 20619 & 20629 Eastleigh Crescent.

## POLICY:

The subject properties are currently zoned P2 Private Institutional/Recreation Zone in Zoning Bylaw No. 2100 and designated "Transit-Oriented Residential" in the Official Community Plan Land Use map. All lands designated for multi-unit residential use are subject to a Development Permit (DP) to address building form and character.

The density of the proposed development complies with the Official Community Plan but exceeds the parameters in the current Zoning Bylaw. As such, a Comprehensive Development Zone is proposed to accommodate it.

## COMMENTS/ANALYSIS:

### Background Information:

<b>Applicant:</b>	Sean Tilstra
<b>Owner:</b>	Highland Lodge Ltd.
<b>Civic Addresses:</b>	20619 & 20629 Eastleigh Crescent
<b>Legal Description:</b>	Lots 39 & 40, District Lot 37, Group 2, New Westminster District, Plan 34280
<b>Site Area:</b>	3,719 m <sup>2</sup> (0.92 acres)
<b>Number of Units:</b>	136 apartments
<b>Gross Floor Area:</b>	10,313 m <sup>2</sup> (111,008 ft <sup>2</sup> )
<b>Floor Area Ratio:</b>	2.773
<b>Lot Coverage:</b>	54.33%
<b>Building Height:</b>	6 Storeys
<b>Total Parking Required:</b>	203 spaces (including 10 h/c spaces) <i>*RM3 requirement</i>
<b>Parking Provided:</b>	
<b>Resident</b>	149 spaces
<b><u>Visitor</u></b>	<u>20 spaces</u>
<b>Total</b>	169 spaces (including 9 h/c spaces)
<b>OCP Designation:</b>	Low Rise Residential
<b>Existing Zoning:</b>	P2 Private Institutional/Recreation
<b>Proposed Zoning:</b>	CD92 Comprehensive Development
<b>Variances Requested:</b>	20 visitor parking spaces (28 required) 5.5 m long accessible parking spaces (5.8 m required) <i>Note a resident parking variance is not required due to the use of CD Zone – see staff commentary in Variances section of this report for further details and rationale</i>
<b>Development Cost Charges:</b>	\$2,751,688.00 (City - \$1,298,664.00, GVS&DD - \$580,584.00, GVWD - \$579,496.00, SD35 - \$81,600.00, TransLink - \$211,344.00)
<b>Community Amenity Contributions (CACs):</b>	\$557,000.00

## **Discussion:**

### 1. Context

The applicant is proposing to develop a 6-storey, 136-unit apartment building on a site consisting of two properties currently sharing the former Highland Lodge/Arbutus Place seniors care facility, which is now vacant. The site is located in an established higher-density residential area which has seen significant recent development interest resulting in an ongoing transition in line with the City's Official Community Plan (OCP), with several recently developed and under-construction projects nearby, among other townhomes and apartment buildings of various ages.

The site's primary frontage is formed on its south by Eastleigh Crescent, a local road across from which sit a small commercial building currently used by Foundry (a youth services organization) and Rosewood Manor, a 3-storey apartment building developed in 1972. The site is also bounded by a City lane to its west, which separates it from an older townhome complex. The site's northern boundary abuts Wyndham Lane, a 3-storey townhome complex built in 2007, and its eastern boundary is shared with Centennial Manor, a 4-storey non-market apartment building for seniors and families completed in 1993.



*Site context*

The site is well positioned with connections to retail, service and post-secondary educational destinations, with Downtown and Kwantlen Polytechnic University (KPU) located within a few minutes' walk. It also benefits from proximity to key neighbourhood amenities, including:

- Dumais Park (5-to-10-minute walk);
- Timms Community Centre (10-minute walk); and
- Douglas Park Elementary School (10-to-15-minute walk).

The site is also located near several transportation services, including:

- The frequent service 503 Fraser Highway Express (5-minute walk);
- The Langley Centre transit exchange and the fifteen bus routes it serves (5-minute walk); and
- The planned 203 Street SkyTrain station and its associated transit exchange (10-minute walk).

## 2. Proposed Rezoning and the Official Community Plan (OCP)

The site is designated Transit-Oriented Residential in the City's OCP, which allows for apartment development of up to 15 storeys in height, subject to the federal Airport Zoning Regulation, and a Floor Area Ratio (FAR) of up to 4.5.

The subject properties are proposed to be rezoned to a site-specific Comprehensive Development (CD) Zone as no existing zones adequately accommodate the Transit-Oriented Residential designation. A new Zoning Bylaw is currently in development and the project was designed to conform to the preliminary draft zoning regulations associated with this designation. Should the CD rezoning be adopted it is anticipated that, as part of adopting the new Zoning Bylaw, the City will rezone this site from its CD Zone to the new zone created to implement the Transit-Oriented Residential designation.

## 3. Design

The applicant is proposing a 6-storey U-shaped building wrapping around a central courtyard open to the northeast to maximize efficiency on this high density designated site within a wood-frame form and address the street while reducing massing against the townhome complex to the north. The distance between the two building wings on the east and west of the courtyard is 15.85 metres, which meets the City's Development Permit Area guidelines of a minimum 10-12 metre separation between buildings faces. The building sits on a parkade accessed from two driveway entrances – one leading underground to a resident parking area and one rising slightly to a surface visitor parking area and additional resident parking. This surface parking area is screened by the building's first floor at the front of the site on Eastleigh Crescent, and is covered by the second level courtyard and upper five building storeys.



Toward the rear property line, the building steps down from 6 storeys to a 4-storey height, as required in Appendix B: District Policies of the City's Official Community Plan (OCP), to provide an upper-floor rear setback of over 14 metres and provide a more gradual transition to the townhomes neighbouring the site to the north. To further support this transition, the parkade is set back at the rear to preserve the existing trees on the townhome property lining the property line between them, as informed by a Certified Arborist's report. Additional landscaping is planted on the eastern half of this rear property line, and fencing is provided on the edge of the surface parking area to maintain privacy and prevent headlight glare from vehicles using the raised parking area.

The building meets the street with planter boxes delineating the ground-floor units, which have walk-out connections to the sidewalk and private patios. The planter boxes are painted in a dark grey colour to match the brick cladding of the first floor and the double-height entrance feature in the middle of the building. A white metal panel frame extends from this entrance feature to the building roof. The same material is used with charcoal corrugated metal on the central three floors, which is accented by lighter grey cement board panel siding on the floors below and above, along with black aluminum soffits and balcony railings.

The proposal's landscaping makes use of planters to line the outside edges of the site as well as the inside perimeter of the courtyard to provide separation between the private unit patios and the shared outdoor amenity area. In addition to the existing trees being retained on the neighbouring properties, the development includes 8 trees at grade at the street front and 8 trees in the courtyard, for a total of 16 trees on the site. The courtyard's hardscaping employs several paver types, sod, wood mulch, and sand to demarcate its various activity spaces and support its function as an outdoor amenity area.

The building's unit type distribution includes 91 one-bedroom units, 35 two-bedroom units, and 10 three-bedroom units. 28 (21%) of the units are adaptable. Storage lockers are provided in shared rooms on all floors. 508 m<sup>2</sup> (5,468 ft<sup>2</sup>) of total amenity space is provided, including 153 m<sup>2</sup> (1,647 ft<sup>2</sup>) of indoor amenity space and 355 m<sup>2</sup> (3,821 ft<sup>2</sup>) of outdoor amenity space. The outdoor amenity space includes an outdoor workout area, a dog run, dining and lounge areas, and a children's play space. A two-elevator core serves the building.

#### 4. Sustainability

The proposal incorporates several sustainable development features, including:

- Using construction techniques that minimize site disturbance and protect air quality;



- Using lighting systems meeting ground-level and dark skies light pollution reduction principles;
- Incorporating a construction recycling plan;
- Reducing the heat island effect by use of landscaping and a courtyard amenity area;
- Using non-water dependent and drought-tolerant materials in the landscape design served by an irrigation system with central control and rain sensors;
- Providing 22 (32%) more bicycle parking spaces than required;
- Providing plugs for e-bikes in bicycle rooms; and
- Providing 15 resident parking stalls with Level II electric vehicle (EV) chargers, with the remaining resident spaces pre-wired and visitor spaces pre-ducted for future installation.

## 5. CPTED

The applicant's proposal benefited from a comprehensive Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

## 6. Variances

As noted above, the applicant's proposed development is generally consistent with the draft apartment building zoning regulations that are being considered for the new Zoning Bylaw to implement the Official Community Plan's Transit-Oriented Residential land use designation. However, given the proponent has applied to redevelop the site prior to the adoption of the new Zoning Bylaw, a site-specific Comprehensive Development (CD) Zone is proposed to be created to accommodate the redevelopment.

Despite the use of a CD Zone, the proposal requires variances from general Zoning Bylaw provisions to reduce the length of accessible parking spaces and reduce the number of visitor parking spaces. Staff support these variances per the rationales below.

The accessible parking space variance requested is to reduce their length from 5.8 metres to 5.5 metres. The 5.5 metre length is consistent with the City's standard parking stall dimension requirements and a review of nearby municipalities (Langley Township, Surrey, Maple Ridge, and Abbotsford) found that all used the same stall length for both standard and accessible parking spaces. Staff are also considering making standard and accessible parking stall lengths consistent in the City's upcoming new Zoning Bylaw.

### *Proposed Parking*

If the current Zoning Bylaw requirement for a similar type of building (i.e. RM3 Zone) was applied to this application, the applicant's proposed overall parking amount is 16.8% less than what would be required. Given that a CD zone is being proposed to accommodate this development, technically a variance is only required for visitor parking. However, it is important to note that staff support the applicant's overall parking approach, as the proposal (less 34 spaces or 16.8%) meets the standard rates under preliminary consideration for the new Zoning Bylaw. These rates are being contemplated based on research work conducted by the City's Zoning Bylaw update consultant and staff to date, which has included a review of the Metro Vancouver Parking Study as well as of parking rate requirements in other municipalities within the Lower Mainland.

The project site is within the "Shoulder" of the OCP, which generally refers to properties within a 5-to-10-minute walk of the future SkyTrain station. If the preliminary "Shoulder" area rates being considered for the new Zoning Bylaw were applied to this application, 169 parking spaces would be required, based on rates of 1.0 spaces per 1-bedroom unit, 1.25 spaces per 2-bedroom unit, 1.45 spaces per 3-bedroom unit (=149 resident spaces), and 0.15 visitor spaces per unit (=20 visitor spaces). This total is equal to the applicant's proposed parking amount of 169 spaces, and is 16.8% less than the current RM3 Zone requirement of 203 spaces, which is based on rates of 1.2 spaces per 1-bedroom unit, 1.3 spaces per 2-bedroom unit, 2.0 spaces per 3-bedroom unit (=175 resident spaces), and 0.2 visitor spaces per unit (=28 visitor spaces). Similar variances have recently been approved by Council at 20191 53A Avenue (13% reduction), 20142 53A Avenue (14.5% reduction), and 20230 56 Avenue (15% reduction).

Based on the above commentary and analysis, staff support these variances.

### 7. Summary

The proposed development is consistent with the City's OCP and Development Permit Area guidelines for the area and presents a transit-supportive and efficient design providing housing in close proximity to parks, transit, and Downtown.

### **Engineering Requirements:**

#### **PRELIMINARY ONLY**

**Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents.**

**All work to be done to the City of Langley's Design Criteria Manual (DCM), and the City's Subdivision and Development Servicing Bylaw (SDSB).**

**Per the City's DCM requirement, the developer and their consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Commitment by Owner and Consulting Engineer) prior to starting their design works.**

**Per the City's Watercourse Protection Bylaw No. 3152, the developer's consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Confirmation of Commitment by Qualified Environmental Professional - QEP) prior to starting their site monitoring works.**

These requirements have been issued to reflect the application for development for a proposed **136 Unit Apartment Development located at 20619-29 Eastleigh Cres.**

*These requirements may be subject to change upon receipt of a development application.*

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

**A) The Developer is responsible for the following work which shall be designed by a Professional Engineer:**

- I. A Qualified Environmental Professional (QEP) must be engaged to implement erosion and sediment control in accordance with the City of Langley Watercourse Protection Bylaw #3152, as amended.
- II. A storm water management plan for the site is required. Rainwater management measures used on site shall limit the release rate to pre-development levels to mitigate flooding and environmental impacts as detailed in the City's DCM. All calculations shall be based the City' DCM with 20% added to the calculated results to account for climate change. A safety factor of 20% shall be added to the calculated storage volume. *Pre-development release rates shall not include climate change effect.*
- III. All existing services shall be capped at the main by the City, at the Developer's expense prior to applying for a demolition permit.
- IV. New water, sanitary and storm sewer service connections are required. All pertinent pipe design calculations shall be submitted in spreadsheet format and shall include all formulas for review by the City. The Developer's engineer will determine the appropriate main tie-in locations and size the connections for the necessary capacity.
- V. At the Developer's expense, the capacity of the existing water and sanitary sewer mains shall be assessed through hydraulic modeling

performed by the City's standing hydraulic modeling consultant per DCM 3.8 and 6.5.

- a. Any upgrade requirement for either sanitary or water mains not covered under the City's DCC bylaw shall be designed and installed by the Developer at the Developer's expense.
  - b. At the Developer's expense, the City's standing hydraulic modeling consultant shall conduct a fire hydrant flow test to be used in the City's water modeling to determine if the existing water network is adequate for fire flows (based on architectural data supplied by the Developer's Architect). Upgrading of the existing watermain(s) may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995."
- VI. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be per DCM Section 3.10 and approved by the City Engineer and the City of Langley Fire Rescue Service.
- VII. A corner truncation of 4m will be required at the corner of Eastleigh Cres. and the lane n/w of the proposed project.
- VIII. At the Developer's expense, a Traffic Impact Assessment (TIA) will be completed per DCM Section 8.21. The proposed development plan and statistics, once ready, should be forwarded to the City Engineer to develop the scope of this traffic study. TIA reports must be approved by the City Engineer prior to taking the application to Council. The TIA completion timing must be:
  - a. For OCP Amendment / Rezoning Applications: Prior to the holding of a Public Hearing; and
  - b. For Development Permits (DP): Prior to Council consideration of the application.
- IX. The scope and extent of the off-site works shall be determined in part from the TIA. New sidewalk, barrier curb, gutter will be required along the entire Eastleigh Cres. frontage, complete with boulevard trees and a planting strip as per DCM cross-section SS-R07 and Section 11.0.
- X. The condition of the existing pavement along all the proposed project's frontages shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate, it shall be remediated by the Developer, at the Developer's expense.
- XI. The site layout shall be reviewed by a qualified Professional Engineer to ensure that the parking layout, vehicle circulation, turning paths and

access design meet applicable standards and sightline requirements, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls, loading areas and drive aisles are accessible by service vehicles. Refer to DCM Section 8.0. The design shall be adequate for MSU trucks as the design vehicle.

- XII. Existing street lighting along the entire project frontage shall be analyzed (excluding any BC Hydro lease lights) by a qualified electrical consultant to ensure street lighting and lighting levels meet the criteria outlined in DCM 9.0. Any required street lighting upgrades, relocation, and/or replacement shall be done by the Developer at the Developer's expense. Any existing BC Hydro lease-lights to be removed and disposed of off-site.
- XIII. Eliminate the existing overhead BC Hydro/telecommunication infrastructure along the development's Eastleigh Cres. project frontage by replacing with underground infrastructure.
- XIV. A dedicated on-site loading zone shall be provided by the developer. The design shall be adequate for MSU trucks as the design vehicle.

**B) The Developer is required to deposit the following bonding and fees:**

- I. The City will require a Security Deposit based on the estimated construction costs of installing civil works, as approved by the City Engineer.
- II. The City will require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs, as per the City's Subdivision and Development Servicing Bylaw 2021 #3126.
- III. A deposit for a storm, sanitary and water services is required, which will be determined by City staff after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
- IV. The City will require a \$40,000 bond for the installation of a water meter to current City standards as per the DCM.
- V. A signed and sealed pavement cut form (Form F-2 of the City's DCM) shall be completed by the developer's consulting engineer. Upon the review and approval of the City Engineer of the submitted form, the corresponding Permanent pavement cut reinstatement and degradation fees shall be paid by the Developer.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the developer with an estimate of connections costs, and the Developer will declare in writing that the estimate is acceptable.

C) The Developer is required to adhere to the following conditions:

- I. The Developer's Consulting Engineer shall perform their periodic Field Reviews, As required by EGBC, and send a copy of the Review to the City Engineer within a week of completion of each Review
- II. Unless otherwise specified by the City Engineer, all engineering works shall be designed based on the City's DCM specifications in accordance with the City's Subdivision and Development Servicing Bylaw 2021, No. 3126
- III. Undergrounding of hydro, telecommunication to the development site is required, complete with underground or at-grade transformer.
- IV. Transformers servicing developments are to be located on private property with maintenance access located on private property. All transformers to be wrapped upon installation by the Developer.
- V. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner. Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.
- VI. A water meter is required to be installed on private property, preferably in the mechanical room, in accordance to the City's DCM standards at the Developer's cost.
- VII. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
- VIII. A Stormceptor or equivalent oil separator is required to treat site surface drainage.
- IX. A complete set of record drawings (as-built) of off-site works, service record cards and a completed tangible capital asset form (TCA) all sealed by a Professional Engineer shall be submitted to the City within 60 days of the substantial completion date. Digital drawing files in .pdf and .dwg formats shall also be submitted. All the drawing submissions shall:
  - a. Use City's General Note Sheet and Title Block; and
  - b. Closely follow the format and sequence outlined in the City's DCM that will be provided to the Developer's Consulting Engineer.
- X. The selection, location and spacing of street trees and landscaping are subject to the approval of the City Engineer. Please refer to the City's DCM for more details.
- XI. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
- XII. Garbage and recycling enclosures shall accommodate on the site and be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial



Developments - June 2015 Update.” Please refer to the City’s Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.

**Fire Department Comments:**

Fire department access for the whole project was reviewed to ensure adequate access for apparatus and firefighters. A construction fire safety plan shall be completed, complete with crane inspection records. Crane is to be registered with BC Construction Safety Alliance. A progressive standpipe installation will be required as construction rises. Standpipes will be required in elevator lobby area, and at the entrance to the parkade. All garbage/recycling rooms are to be of adequate size to prevent spillover into parkade area. Stairwells must be constructed to accommodate shelter in place applications. Consideration will be given to the installation of power banks in the storage room lockers for e-bikes charging. A Fire Safety plan and FD “knox box” lock box will be required before occupancy. The 4” FDC will be located on a pedestal at the front of the building, exact location to be discussed with the Fire Department at a later date.

**Advisory Design Panel:**

In accordance with Development Application Procedures Bylaw No. 2488, the subject Zoning Bylaw amendment and Development Permit application will be reviewed by the Advisory Design Panel (ADP) at the October 18, 2023, meeting.

According to the Council-approved ADP Terms of Reference, the ADP is to provide form and character and urban design-related advice and recommendations for Council’s consideration. ADP recommendations will be presented to Council through the ADP meeting minutes and, if applicable, through an additional City staff report, prior to Council consideration of the proposed Zoning Bylaw amendment and Development Permit Applications.

A copy of the ADP minutes will be presented to Langley City Council at a future Regular Council meeting.

**BUDGET IMPLICATIONS:**

In accordance with Bylaw No. 2482, the proposed development would contribute \$1,298,664.00 to City Development Cost Charge accounts and \$557,000.00 in Community Amenity Contributions.

Prepared by:



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Anton Metalnikov, RPP, MCIP  
Planner

Concurrence:



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Roy M. Beddow, RPP, MCIP  
Deputy Director of Development Services

Concurrence:



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Carl Johannsen, RPP, MCIP  
Director of Development Services

Concurrence:



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Hirod Gill  
Manager of Engineering Services

*Attachments*

Concurrence:



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Scott Kennedy, Fire Chief



To: Advisory Design Panel

Date: October 6, 2023

Subject: Development Permit Application DP 08-23 & Rezoning Application RZ 07-23

Page 14



## DEVELOPMENT PERMIT APPLICATION DP 08-23 REZONING APPLICATION RZ 07-23

**Civic Addresses:** 20619 & 20629 Eastleigh Crescent  
**Legal Description:** Lots 39 & 40, District Lot 37, Group 2, New Westminster District, Plan 34280  
**Applicant:** Sean Tilstra  
**Owner:** Highland Lodge Ltd.



# WESMONT EASTLEIGH APARTMENTS, 20619 & 20629 EASTLEIGH CRESCENT, LANGLEY, B.C.

**KEYSTONE**  
ARCHITECTURE  
NO. 34311 SOUTH FRASER WAY, ABBOTSFORD BC  
V2S 3B4 | 604-855-5777  
410 - 333 11TH AVENUE SW, CALGARY AB  
T2K 1A9 | 403-991-4768  
INFO@KEYSTONEARCH.CA



## REISSUED FOR DP

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	RE ISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

## WESMONT EASTLEIGH APARTMENTS

20619 & 20629 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

PROJECT # 23-112  
CITY FILE #

## SHEET SCHEDULE

SD0.01	COVER PAGE	SD3.01	BUILDING ELEVATIONS
SD1.01	SITE CONTEXT	SD3.02	BUILDING ELEVATIONS
SD1.02	SITE CONTEXT	SD3.03	BUILDING ELEVATIONS
SD1.10	PROJECT DATA	SD4.01	MATERIAL BOARD
SD1.11	PROJECT DATA	SD5.01	STREETSCAPES
SD1.12	PROJECT DATA	SD5.10	SHADOW STUDY
SD1.13	FSR PLANS	SD5.11	SHADOW STUDY
SD1.14	FSR PLANS	SD6.01	SITE SECTIONS
SD1.15	FSR PLANS	SD6.02	SITE SECTIONS
SD1.20	DESIGN RATIONALE	SD7.01	SITE LAYOUT PLAN
SD1.21	RENDERINGS	SD7.02	SITE CODE PLAN
SD2.01	SITE PLAN		
SD2.02	1ST LEVEL PLAN		
SD2.03	2ND LEVEL PLAN		
SD2.04	3RD/4TH LEVEL PLAN		
SD2.05	5TH LEVEL PLAN		
SD2.06	6TH LEVEL PLAN		
SD2.07	ROOF LEVEL PLAN		
SD2.08	P1 LEVEL PLAN		

## WESMONT GROUP

Y 604 371.0250 | 311 - 23189 FRANCIS AVE  
LANGLEY, BC V1M 0G4



## KEYSTONE ARCHITECTURE & PLANNING LTD.

T 604 850.0577 300 - 33131 SOUTH FRASER  
F 1.855.358.4578 WAY ABBOTSFORD, BC V2S 2B1  
T 581.991.4768 410 - 333 11TH AVENUE SW,  
CALGARY, AB T2K 1L9  
E-MAIL: MAIL@KEYSTONEARCH.CA  
WEBSITE: KEYSTONEARCH.CA

**KEYSTONE**  
ARCHITECTURE

## COVER PAGE

SCALE

SD0.01





1 KPU LANGLEY CAMPUS



2 DUMAS PARK



3 FITNESS UNLIMITED ATHLETIC CLUB



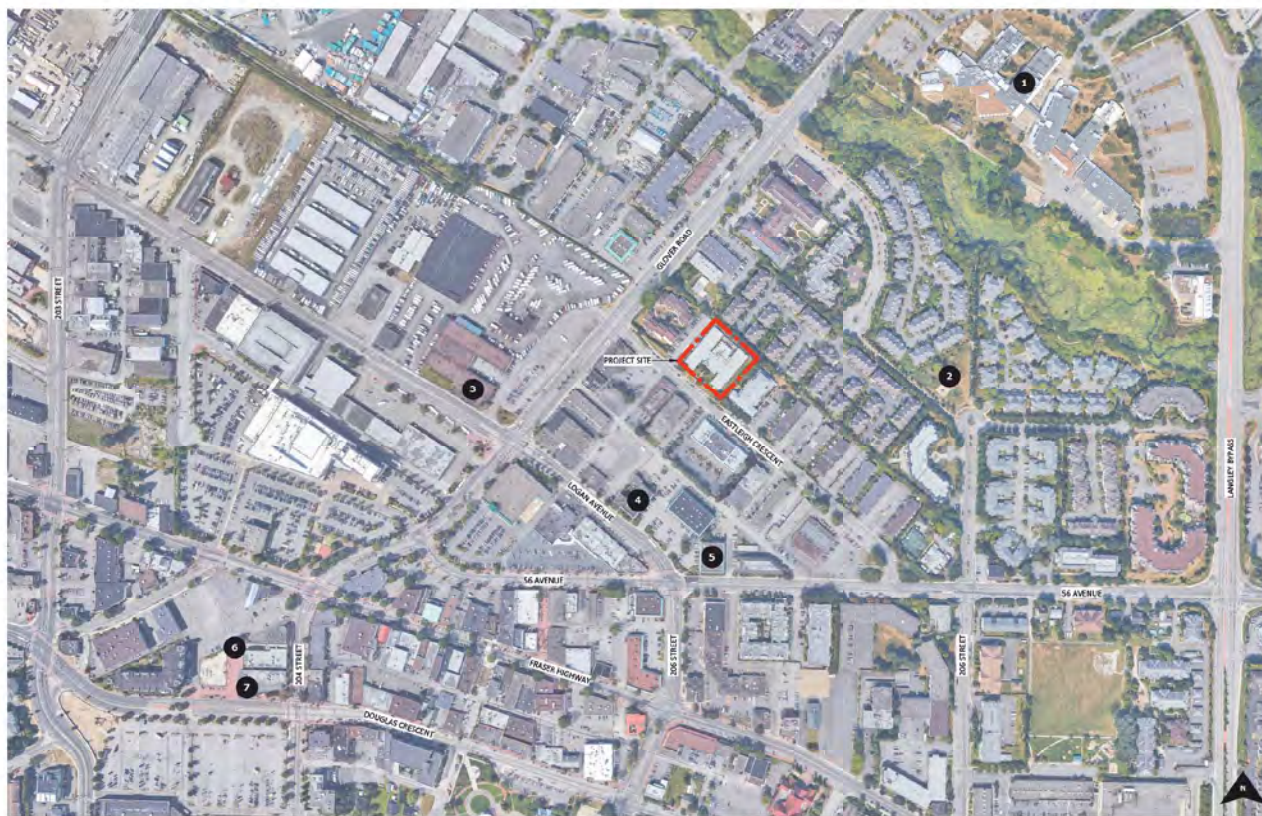
4 FRASER VALLEY CONTINUING EDUCATION



5 FRASER HEALTH LANGLEY HOME HEALTH

## SITE DESCRIPTION

THE PROPOSED DEVELOPMENT IS LOCATED IN CITY OF LANGLEY ON EASTLEIGH CRESCENT AND CONSISTS OF TWO PARCELS THAT WILL BE AMALGAMATED. BOTH LOTS ARE CURRENTLY OCCUPIED BY A SINGLE DWELLING. THE SITE CONNECTS TO THE DOWNTOWN AREA WITH PROXIMITY TO THE LANGLEY CITY HALL TO THE SOUTH WEST, KWANTLEN POLYTECHNIC UNIVERSITY TO THE NORTH EAST. FITNESS UNLIMITED ATHLETIC CLUB AND DUMAS PARK ARE WITHIN WALKING DISTANCE FROM THE SITE. THE SITE IS ALSO WITHIN WALKING DISTANCE TO THE FUTURE SKY TRAIN STATION AT 203 STREET.



6 TIVAMS COMMUNITY CENTRE



7 CITY OF LANGLEY LIBRARY



## REISSUED FOR DP

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

## WESMONT EASTLEIGH APARTMENTS

20619 & 20620 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

PROJECT # 23.112  
CITY FILE #



## SITE CONTEXT

SCALE N.T.S.



SD1.01





## REISSUED FOR DP

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-04-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

## WESMONT EASTLEIGH APARTMENTS

20619 & 20620 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

PROJECT # 23.112  
CITY FILE #



## SITE CONTEXT



**A** EASTLEIGH CRESCENT LOOKING SOUTH WEST



**B** EASTLEIGH CRESCENT LOOKING NORTHEAST



**C** EASTLEIGH CRESCENT LOOKING SOUTH WEST

SCALE N.T.S.

**SD1.02**



REISSUED FOR  
DP

NO.	REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-07
3	REISSUED FOR DP	23-10-04

WESMONT  
EASTLEIGH  
APARTMENTS

20619 & 20625 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

PROJECT # 23.112  
CITY FILE #



PROJECT DATA

SCALE N.T.S.

SD1.10

## 1.0.0 PROJECT DATA

PROJECT:	WESMONT EASTLEIGH - LANGLEY CITY
ZONING:	P2 (FUTURE) (FUTURE) (FUTURE) (FUTURE)
CIVIC ADDRESS:	20619 & 20625 EASTLEIGH CRESCENT, LANGLEY, BC
LEGAL DESCRIPTION:	PLAN 34820 LOT 40
VARIANCES APPLIED FOR:	PROPOSED ZONING LOT SETBACK VARIANCE REQUIRED DUE TO PROPOSED SETBACKS FOR MORE INFORMATION (THE LEVEL, BALCONY/TERRACE PROJECTS MORE THAN 1.0M INTO THE REAR SETBACK STAIRS ON LEVEL 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 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1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242, 1243, 1244, 1245, 1246, 1247, 1248, 1249, 1250, 1251, 1252, 1253, 1254, 1255, 1256, 1257, 1258, 1259, 1260, 1261, 1262, 1263, 1264, 1265, 1266, 1267, 1268, 1269, 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293, 1294, 1295, 1296, 1297, 1298, 1299, 1300, 1301, 1302, 1303, 1304, 1305, 1306, 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1325, 1326, 1327, 1328, 1329, 1330, 1331, 1332, 1333, 1334, 1335, 1336, 1337, 1338, 1339, 1340, 1341, 1342, 1343, 1344, 1345, 1346, 1347, 1348, 1349, 1350, 1351, 1352, 1353, 1354, 1355, 1356, 1357, 1358, 1359, 1360, 1361, 1362, 1363, 1364, 1365, 1366, 1367, 1368, 1369, 1370, 1371, 1372, 1373, 1374, 1375, 1376, 1377, 1378, 1379, 1380, 1381, 1382, 1383, 1384, 1385, 1386, 1387, 1388, 1389, 1390, 1391, 1392, 1393, 1394, 1395, 1396, 1397, 1398, 1399, 1400, 1401, 1402, 1403, 1404, 1405, 1406, 1407, 1408, 1409, 1410, 1411, 1412, 1413, 1414, 1415, 1416, 1417, 1418, 1419, 1420, 1421, 1422, 1423, 1424, 1425, 1426, 1427, 1428, 1429, 1430, 1431, 1432, 1433, 1434, 1435, 1436, 1437, 1438, 1439, 1440, 1441, 1442, 1443, 1444, 1445, 1446, 1447, 1448, 1449, 1450, 1451, 1452, 1453, 1454, 1455, 1456, 1457, 1458, 1459, 1460, 1461, 1462, 1463, 1464, 1465, 1466, 1467, 1468, 1469, 1470, 1471, 1472, 1473, 1474, 1475, 1476, 1477, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485, 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1493, 1494, 1495, 1496, 1497, 1498, 1499, 1500, 1501, 1502, 1503, 1504, 1505, 1506, 1507, 1508, 1509, 1510, 1511, 1512, 1513, 1514, 1515, 1516, 1517, 1518, 1519, 1520, 1521, 1522, 1523, 1524, 1525, 1526, 1527, 1528, 1529, 1530, 1531, 1532, 1533, 1534, 1535, 1536, 1537, 1538, 1539, 1540, 1541, 1542, 1543, 1544, 1545, 1546, 1547, 1548, 1549, 1550, 1551, 1552, 1553, 1554, 1555, 1556, 1557, 1558, 1559, 1560, 1561, 1562, 1563, 1564, 1565, 1566, 1567, 1568, 1569, 1570, 1571, 1572, 1573, 1574, 1575, 1576, 1577, 1578, 1579, 1580, 1581, 1582, 1583, 1584, 1585, 1586, 1587, 1588, 1589, 1590, 1591, 1592, 1593, 1594, 1595, 1596, 1597, 1598, 1599, 1600, 1601, 1602, 1603, 1604, 1605, 1606, 1607, 1608, 1609, 1610, 1611, 1612, 1613, 1614, 1615, 1616, 1617, 1618, 1619, 1620, 1621, 1622, 1623, 1624, 1625, 1626, 1627, 1628, 1629, 1630, 1631, 1632, 1633, 1634, 1635, 1636, 1637, 1638, 1639, 1640, 1641, 1642, 1643, 1644, 1645, 1646, 1647, 1648, 1649, 1650, 1651, 1652, 1653, 1654, 1655, 1656, 1657, 1658, 1659, 1660, 1661, 1662, 1663, 1664, 1665, 1666, 1667, 1668, 1669, 1670, 1671, 1672, 1673, 1674, 1675, 1676, 1677, 1678, 1679, 1680, 1681, 1682, 1683, 1684, 1685, 1686, 1687, 1688, 1689, 1690, 1691, 1692, 1693, 1694, 1695, 1696, 1697, 1698, 1699, 1700, 1701, 1702, 1703, 1704, 1705, 1706, 1707, 1708, 1709, 1710, 1711, 1712, 1713, 1714, 1715, 1716, 1717, 1718, 1719, 1720, 1721, 1722, 1723, 1724, 1725, 1726, 1727, 1728, 1729, 1730, 1731, 1732, 1733, 1734, 1735, 1736, 1737, 1738, 1739, 1740, 1741, 1742, 1743, 1744, 1745, 1746, 1747, 1748, 1749, 1750, 1751, 1752, 1753, 1754, 1755, 1756, 1757, 1758, 1759, 1760, 1761, 1762, 1763, 1764, 1765, 1766, 1767, 1768, 1769, 1770, 1771, 1772, 1773, 1774, 1775, 1776, 1777, 1778, 1779, 1780, 1781, 1782, 1783, 1784, 1785, 1786, 1787, 1788, 1789, 1790, 1791, 1792, 1793, 1794, 1795, 1796, 1797, 1798, 1799, 1800, 1801, 1802, 1803, 1804, 1805, 1806, 1807, 1808, 1809, 1810, 1811, 1812, 1813, 1814, 1815, 1816, 1817, 1818, 1819, 1820, 1821, 1822, 1823, 1824, 1825, 1826, 1827, 1828, 1829, 1830, 1831, 1832, 1833, 1834, 1835, 1836, 1837, 1838, 1839, 1840, 1841, 1842, 1843, 1844, 1845, 1846, 1847, 1848, 1849, 1850, 1851, 1852, 1853, 1854, 1855, 1856, 1857, 1858, 1859, 1860, 1861, 1862, 1863, 1864, 1865, 1866, 1867, 1868, 1869, 1870, 1871, 1872, 1873, 1874, 1875, 1876, 1877, 1878, 1879, 1880, 1881, 1882, 1883, 1884, 1885, 1886, 1887, 1888, 1889, 1890, 1891, 1892, 1893, 1894, 1895, 1896, 1897, 1898, 1899, 1900, 1901, 1902, 1903, 1904, 1905, 1906, 1907, 1908, 1909, 1910, 1911, 1912, 1913, 1914, 1915, 1916, 1917, 1918, 1919, 1920, 1921, 1922, 1923, 1924, 1925, 1926, 1927, 1928, 1929, 1930, 1931, 1932, 1933, 1934, 1935, 1936, 1937, 1938, 1939, 1940, 1941, 1942, 1943, 1944, 1945, 1946, 1947, 1948, 1949, 1950, 1951, 1952, 1953, 1954, 1955, 1956, 1957, 1958, 1959, 1960, 1961, 1962, 1963, 1964, 1965, 1966, 1967, 1968, 1969, 1970, 1971, 1972, 1973, 1974, 1975, 1976, 1977, 1978, 1979, 1980, 1981, 1982, 1983, 1984, 1985, 1986, 1987, 1988, 1989, 1990, 1991, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 20





REISSUED FOR  
DP

NO. / REVISION / DATE  
1 / ISSUED FOR DP / 23-08-01  
2 / REISSUED FOR DP / 23-09-07  
3 / REISSUED FOR DP / 23-10-04

WESMONT  
EASTLEIGH  
APARTMENTS

20619 & 20625 EASTLEIGH CRESCENT  
LANGLEY, B.C.

PROJECT #: 23-113  
CITY FILE #



PROJECT DATA

SCALE

SD1.11

### 1.3.0 GROSS BUILDABLE AREA SUMMARY NOTES

1. MEASURED TO OUTSIDE FACE OF SHEATHING OR CONCRETE, CENTERLINE OF PARTY WALL & INSIDE FACE OF CORRIDOR/TIAIR WALL.
2. EXCLUDES: EXTERIOR WINDOW/DOOR SHUTS, EXTERIOR PARKING LOT DRIVE, EXTERIOR PARKING/VEHICLE RAMP, EXTERIOR WOODSTOCK AMENITY.

### 1.3.1 GROSS BUILDABLE AREA SUMMARY

LEVEL/AREA TYPE	AREA SF	AREA m <sup>2</sup>	AREA %	COMMENTS
<b>PL LEVEL</b>				
CIRCULATION	1,410.38	132.57 m <sup>2</sup>	0.88%	
PARKING	11,940.59	1,104.47 m <sup>2</sup>	18.85%	
SERVICE ROOMS/SHAFTS	438.38	40.71 m <sup>2</sup>	0.63%	
STORAGE	1,631.59	151.52 m <sup>2</sup>	0.95%	
<b>1ST LEVEL</b>	<b>34,466.59</b>	<b>3,209.38 m<sup>2</sup></b>	<b>20.7%</b>	
CIRCULATION	1,595.38	148.12 m <sup>2</sup>	1.37%	
PARKING	11,912.59	1,107.41 m <sup>2</sup>	12.3%	
RESIDENTIAL	4,051.59	375.53 m <sup>2</sup>	2.4%	
SERVICE ROOMS/SHAFTS	1,470.59	136.58 m <sup>2</sup>	0.9%	
STORAGE	1,523.59	141.58 m <sup>2</sup>	0.93%	
<b>2ND LEVEL</b>	<b>33,027.59</b>	<b>3,082.47 m<sup>2</sup></b>	<b>18.1%</b>	
CIRCULATION	2,620.59	244.28 m <sup>2</sup>	1.5%	
INDOOR AMENITY	1,890.59	175.23 m <sup>2</sup>	1.0%	
OUTDOOR AMENITY	1,820.59	169.48 m <sup>2</sup>	2.3%	
RESIDENTIAL	11,022.59	1,024.55 m <sup>2</sup>	9.7%	
SERVICE ROOMS/SHAFTS	24.59	2.27 m <sup>2</sup>	0.0%	
STORAGE	509.59	47.88 m <sup>2</sup>	0.3%	
<b>3RD LEVEL</b>	<b>25,854.59</b>	<b>2,404.48 m<sup>2</sup></b>	<b>14.8%</b>	
CIRCULATION	2,638.59	246.34 m <sup>2</sup>	1.4%	
RESIDENTIAL	17,950.59	1,662.20 m <sup>2</sup>	10.4%	
SERVICE ROOMS/SHAFTS	88.59	8.22 m <sup>2</sup>	0.0%	
STORAGE	1,581.59	146.39 m <sup>2</sup>	0.8%	
<b>4TH LEVEL</b>	<b>21,457.59</b>	<b>2,009.45 m<sup>2</sup></b>	<b>12.5%</b>	
CIRCULATION	1,436.59	133.34 m <sup>2</sup>	1.4%	
RESIDENTIAL	17,910.59	1,660.30 m <sup>2</sup>	10.4%	
SERVICE ROOMS/SHAFTS	30.59	2.82 m <sup>2</sup>	0.0%	
STORAGE	1,061.59	98.59 m <sup>2</sup>	0.5%	
<b>5TH LEVEL</b>	<b>21,457.59</b>	<b>2,009.45 m<sup>2</sup></b>	<b>12.5%</b>	
CIRCULATION	1,430.59	132.55 m <sup>2</sup>	1.4%	
RESIDENTIAL	16,940.59	1,588.63 m <sup>2</sup>	9.7%	
SERVICE ROOMS/SHAFTS	30.59	2.82 m <sup>2</sup>	0.0%	
STORAGE	1,061.59	98.59 m <sup>2</sup>	0.5%	
<b>6TH LEVEL</b>	<b>18,465.59</b>	<b>1,715.50 m<sup>2</sup></b>	<b>10.8%</b>	
CIRCULATION	1,400.59	131.33 m <sup>2</sup>	1.4%	
RESIDENTIAL	16,940.59	1,588.63 m <sup>2</sup>	9.7%	
SERVICE ROOMS/SHAFTS	30.59	2.82 m <sup>2</sup>	0.0%	
STORAGE	1,061.59	98.59 m <sup>2</sup>	0.5%	
<b>AREA GRAND TOTAL</b>	<b>171,683.59</b>	<b>16,049.83 m<sup>2</sup></b>	<b>100.0%</b>	

### 1.4.0 UNIT COUNT SUMMARY

UNIT TYPE	UNIT COUNT	UNIT TYPE %	COMMENTS
1 BED	180	26.0%	
2 BED & D/N	17	2.4%	
3 BED ADAPTABLE	26	3.8%	
2 BED	24	3.5%	
3 BED & D/N	13	1.9%	
1 BED	10	1.4%	
<b>TOTAL UNITS, 236</b>		<b>100.0%</b>	

### 1.4.1 UNIT FLOOR AREA SUMMARY NOTES

1. ALL UNIT AREA ARE MEASURED TO THE FOLLOWING: A) EXTERIOR WALL, EXTERIOR SIDE OF SHEATHING, B) PARTY WALL, CENTER OF WALL, C) CORRIDOR/STAIR/ELEVATOR WALL, FULL THICKNESS OF WALL.
2. AREAS GIVEN ON DRAWINGS ARE IN SO REMAINS ARE NOT TO BE CONSIDERED LEGAL STRATA MEAS. CONFORM STRATA MEAS BY SURVEY ON SITE.

### 1.4.2 UNIT FLOOR AREA SUMMARY

UNIT	UNIT TYPE	COUNT	UNIT AREA SF (1 SF)	UNIT AREA m <sup>2</sup> (1 m <sup>2</sup> )	TOTAL UNIT AREA SF	TOTAL UNIT AREA m <sup>2</sup>
UNIT A1	1 BED	8	51.3 SF	4.7 m <sup>2</sup>	410.4 SF	38.2 m <sup>2</sup>
UNIT A2	1 BED	10	51.3 SF	4.7 m <sup>2</sup>	513.0 SF	47.5 m <sup>2</sup>
UNIT A2.1	1 BED	1	51.3 SF	4.7 m <sup>2</sup>	51.3 SF	4.7 m <sup>2</sup>
UNIT A3 ADAPTABLE	1 BED ADAPTABLE	8	51.7 SF	4.8 m <sup>2</sup>	413.6 SF	38.5 m <sup>2</sup>
UNIT A3 ADAPTABLE	1 BED ADAPTABLE	10	51.6 SF	4.8 m <sup>2</sup>	516.0 SF	47.8 m <sup>2</sup>
UNIT A3.1	1 BED	8	51.6 SF	4.8 m <sup>2</sup>	412.8 SF	38.4 m <sup>2</sup>
UNIT A3.2	1 BED	8	51.7 SF	4.8 m <sup>2</sup>	413.6 SF	38.5 m <sup>2</sup>
UNIT A4	1 BED	1	40.8 SF	3.8 m <sup>2</sup>	40.8 SF	3.8 m <sup>2</sup>
UNIT B1	2 BED & D/N	12	34.4 SF	3.2 m <sup>2</sup>	412.8 SF	38.4 m <sup>2</sup>
UNIT B2	1 BED & D/N	2	30.7 SF	2.8 m <sup>2</sup>	61.4 SF	5.7 m <sup>2</sup>
UNIT B3	1 BED & D/N	4	40.6 SF	3.8 m <sup>2</sup>	162.4 SF	15.1 m <sup>2</sup>
UNIT B4	1 BED & D/N	8	40.9 SF	3.8 m <sup>2</sup>	327.2 SF	30.4 m <sup>2</sup>
UNIT B4	1 BED & D/N	1	40.6 SF	3.8 m <sup>2</sup>	40.6 SF	3.8 m <sup>2</sup>
UNIT C1	2 BED	8	74.6 SF	6.9 m <sup>2</sup>	616.8 SF	57.2 m <sup>2</sup>
UNIT C1	2 BED	8	74.6 SF	6.9 m <sup>2</sup>	616.8 SF	57.2 m <sup>2</sup>
UNIT C2	2 BED	8	74.6 SF	6.9 m <sup>2</sup>	616.8 SF	57.2 m <sup>2</sup>
UNIT C2	2 BED	8	74.6 SF	6.9 m <sup>2</sup>	616.8 SF	57.2 m <sup>2</sup>
UNIT C3	2 BED	8	74.6 SF	6.9 m <sup>2</sup>	616.8 SF	57.2 m <sup>2</sup>
UNIT C3	2 BED	8	74.6 SF	6.9 m <sup>2</sup>	616.8 SF	57.2 m <sup>2</sup>
UNIT D1	2 BED & D/N	8	47.4 SF	4.4 m <sup>2</sup>	379.2 SF	35.2 m <sup>2</sup>
UNIT D1	2 BED & D/N	1	47.4 SF	4.4 m <sup>2</sup>	47.4 SF	4.4 m <sup>2</sup>
UNIT D2	3 BED	8	99.0 SF	9.2 m <sup>2</sup>	792.0 SF	73.5 m <sup>2</sup>
<b>UNIT TOTALS: 136</b>					<b>8434.4 SF</b>	<b>782.3 m<sup>2</sup></b>



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NO. / REV. / REVISION DATE  
1 ISSUED FOR DP 23-08-01  
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WESMONT  
EASTLEIGH  
APARTMENTS

20619 & 20625 EASTLEIGH CRESCENT  
LANGLEY, B.C.

PROJECT #: 23-112  
CITY FILE #



PROJECT DATA

SCALE

SD1.12

### 1.5.0 OFF-STREET VEHICLE/BICYCLE/STORAGE PARKING DATA-REQUIRED

VEHICLE PARKING STALL DATA	UNITS / AREA	REQUIRED FACTOR	REQUIRED STALLS
<b>TENANTS</b>			
1 BED	64 UNITS	1.0	64 STALLS
1 BED & DEN	27 UNITS	1.0	27 STALLS
2 BED	24 UNITS	1.25	(1.25*24) = 30 STALLS
2 BED & DEN	11 UNITS	1.25	(1.25*11) = 14 STALLS
3 BED	10 UNITS	1.40	(1.40*10) = 14 STALLS
SMALL CAR	N/A	40% MAX OF TOTAL STALLS	MAX (0.40*349) = 140 STALLS
ACCESSIBLE	N/A	5% MIN OF TOTAL STALLS	MIN. 0.05(349) = 17 STALLS
(ELECTRIC VEHICLE CHARGING)	N/A	10% MIN OF TOTAL STALLS	MIN. 0.10(349) = 35 STALLS
<b>TOTAL RESIDENT STALLS:</b>			<b>349 STALLS</b>
<b>VISITOR</b>			
STANDARD	130 UNITS	0.25	(0.25*130) = 33 STALLS
SMALL CAR	N/A	MAX MAX OF TOTAL STALLS	MAX (0.40*33) = 13 STALLS
ACCESSIBLE	N/A	5% MIN OF TOTAL STALLS	MIN. 0.05(33) = 2 STALLS
(ELECTRIC VEHICLE CHARGING)	N/A	10% MIN OF TOTAL STALLS	MIN. 0.10(33) = 3 STALLS
<b>TOTAL VISITOR STALLS:</b>			<b>36 STALLS</b>
<b>SPECIALTY PARKING STALL (LOADING)</b>	N/A	(1) (1' x 10' x 10' x 10' x 10')	1
<b>TOTAL COMMERCIAL STALLS:</b>			<b>3 STALLS</b>
<b>TOTAL VEHICLE STALLS:</b>			<b>379 STALLS</b>
<b>BICYCLE STALL DATA</b>			
RESIDENT (UNIT) (CLASS 1)	130 UNITS	0.5	(0.5*130) = 65 STALLS
VISITOR / EMPLOYEE (CLASS 2)	N/A	1.0 SPACES PER BUILDING	10
<b>TOTAL BICYCLE STALLS:</b>			<b>74 STALLS</b>
<b>STORAGE STALL DATA</b>			
RESIDENT	130 UNITS	1.0	130
<b>TOTAL STORAGE STALLS:</b>			<b>130</b>
NOTES:			

### 1.5.2 OFF-STREET VEHICLE PARKING DATA-PROVIDED

PARKING STALL USE TYPE	PARKING STALL COUNT	% BY STALL USER	% OF OVERALL	COMMENTS
<b>SPECIALTY PARKING STALL (LOADING)</b>	1	1.00%	1%	
<b>SPECIALTY PARKING STALL 1</b>	130	130.00%	2%	
<b>TENANT</b>				
ACCESSIBLE	8	5.47%	1%	
PV	25	15.17%	3%	
SMALL CAR	40	33.33%	7%	
STANDARD	90	56.47%	88%	
<b>TENANT: 163</b>	<b>130</b>	<b>130.00%</b>	<b>88%</b>	
<b>VISITOR</b>				
ACCESSIBLE	1	5.00%	1%	
PV	2	10.00%	2%	
SMALL CAR	7	35.00%	4%	
STANDARD	10	50.00%	10%	
<b>VISITOR: 20</b>	<b>10</b>	<b>50.00%</b>	<b>10%</b>	
<b>TOTAL PARKING STALLS: 173</b>			<b>100%</b>	

### 1.5.3 BIKE PARKING STALL DATA-PROVIDED

PARKING STALL USE TYPE	PARKING STALL COUNT	PARKING STALL %	COMMENTS
<b>TENANT</b>			
STANDARD BIKE	81	81.81%	
VEHICLE BIKE	1	1.01%	
<b>TENANT: 82</b>	<b>82</b>	<b>82.82%</b>	
<b>VISITOR</b>			
STANDARD BIKE	1	9.09%	
<b>VISITOR: 1</b>	<b>1</b>	<b>9.09%</b>	
<b>TOTAL BIKE PARKING STALLS: 83</b>		<b>100.00%</b>	

### 1.5.4 STORAGE STALL DATA-PROVIDED

PARKING STALL USE TYPE	PARKING STALL COUNT	PARKING STALL %	COMMENTS
<b>TENANT</b>			
STORAGE COMPARTMENT STALL	142	100.00%	
<b>TOTAL STORAGE STALLS: 142</b>		<b>100.00%</b>	



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APARTMENTS

20619 & 20625 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

PROJECT # 23.112  
CITY FILE #



FSR PLANS

SCALE 3/16" = 1'-0"



SD1.13

## 1.6.0 GROSS FLOOR AREA (FSR) SUMMARY NOTES

1. UNBARRICADED OUTSIDE SPACE (E.g. UNBARRICADED CONCRETE, CENTRELINE OF PARTY WALL & WHITE FACE OF CONCRETE'S/STEWAN)

## 1.6.2 FSR CALCULATION

GROSS FLOOR AREA (FSR) SF SITE AREA SF FSR  
111508 SF 40027 SF 2.77

## 1.6.1 GROSS FLOOR AREA (FSR) SUMMARY

LEVEL / AREA TYPE	AREA SF	AREA m²	AREA %	COMMENT
<b>STORAGE</b>				
1ST LEVEL	1338 SF	124.03 m²	1.1%	STORAGE
2ND LEVEL	249 SF	22.88 m²	0.2%	STORAGE
3RD LEVEL	2083 SF	192.89 m²	1.7%	STORAGE
4TH LEVEL	2262 SF	209.39 m²	1.9%	STORAGE
5TH LEVEL	1085 SF	100.29 m²	0.9%	STORAGE
6TH LEVEL	2086 SF	192.39 m²	1.7%	STORAGE
	<b>6415 SF</b>	<b>595.88 m²</b>	<b>5.8%</b>	
<b>SERVICE ROOMS/HALLS</b>				
1ST LEVEL	1472 SF	135.38 m²	1.2%	
2ND LEVEL	88 SF	8.17 m²	0.0%	
3RD LEVEL	38 SF	3.52 m²	0.0%	
4TH LEVEL	28 SF	2.60 m²	0.0%	
5TH LEVEL	37 SF	3.44 m²	0.0%	
6TH LEVEL	89 SF	8.27 m²	0.0%	
	<b>1862 SF</b>	<b>172.81 m²</b>	<b>1.5%</b>	
<b>RESIDENTIAL</b>				
1ST LEVEL	4045 SF	375.81 m²	3.4%	
2ND LEVEL	14423 SF	1336.76 m²	12.0%	
3RD LEVEL	17265 SF	1602.75 m²	14.4%	
4TH LEVEL	17935 SF	1655.20 m²	14.8%	
5TH LEVEL	14046 SF	1298.53 m²	11.7%	
6TH LEVEL	12546 SF	1158.53 m²	10.4%	
	<b>86884 SF</b>	<b>8028.55 m²</b>	<b>71.8%</b>	
<b>INDOOR AMENITY</b>				
2ND LEVEL	1450 SF	133.75 m²	1.2%	
	<b>1450 SF</b>	<b>133.75 m²</b>	<b>1.2%</b>	
<b>CIRCULATION</b>				
1ST LEVEL	2280 SF	211.12 m²	1.9%	
2ND LEVEL	2629 SF	244.28 m²	2.2%	
3RD LEVEL	2436 SF	225.94 m²	2.0%	
4TH LEVEL	2436 SF	225.94 m²	2.0%	
5TH LEVEL	2400 SF	222.91 m²	2.0%	
6TH LEVEL	2400 SF	222.91 m²	2.0%	
	<b>14897 SF</b>	<b>1381.96 m²</b>	<b>12.4%</b>	
<b>AREA GRAND TOTAL</b>	<b>111508 SF</b>	<b>10312.06 m²</b>	<b>100.0%</b>	



1ST LEVEL

1/31/2020





**FSR COLOUR LEGEND**

- CIRCULATION
- INDOOR AMENITY
- OUTDOOR AMENITY
- RESIDENTIAL
- SERVICE ROOMS/SHAFTS
- STORAGE

**2ND LEVEL**  
1/16" = 1'-0"



**FSR COLOUR LEGEND**

- CIRCULATION
- RESIDENTIAL
- SERVICE ROOMS/SHAFTS
- STORAGE

**3RD/4TH LEVEL**  
1/16" = 1'-0"

**REISSUED FOR  
DP**

NO.	FSR/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

**WESMONT  
EASTLEIGH  
APARTMENTS**

20619 & 20625 EASTLEIGH CRESCENT  
LANGLEY, B.C.

PROJECT #: 23.112  
CITY FILE #



**FSR PLANS**

SCALE 1/16" = 1'-0"



**SD1.14**



**REISSUED FOR  
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**WESMONT  
EASTLEIGH  
APARTMENTS**

20619 & 20625 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

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CITY FILE #



**FSR PLANS**



**FSR COLOUR LEGEND**

- CIRCULATION
- RESIDENTIAL
- SERVICE ROOMS/SHAFTS
- STORAGE

**5TH LEVEL**

1/16" = 1'-0"



**FSR COLOUR LEGEND**

- CIRCULATION
- RESIDENTIAL
- SERVICE ROOMS/SHAFTS
- STORAGE

**6TH LEVEL**

1/16" = 1'-0"

SCALE 1/16" = 1'-0"



**SD1.15**



## DESIGN RATIONALE

### SITE DESCRIPTION

THIS MULTI-FAMILY DEVELOPMENT ALIGNS WITH THE CITY OF LANGLEY VISION, PROVIDING HOUSING FOR A DIVERSE AND INCLUSIVE DEMOGRAPHIC, AND INCORPORATING ENVIRONMENTAL SOLUTIONS AND A SIGNIFICANT OUTDOOR GREEN SPACE. THE PROJECT SITE IS LOCATED ON THE NORTHERN SIDE OF EASTLEIGH CRESCENT, ONE BLOCK FROM THE GLOVER ROAD INTERSECTION. CONSISTING OF 2 SITES, THE EXISTING BUILDING IS A VACANT SENIORS CARE FACILITY THAT STRADDLES BOTH PROPERTIES.

### PROJECT DESCRIPTION

THE PROPOSED DEVELOPMENT IS A SIX STOREY, 136 UNIT, MULTI-FAMILY RESIDENTIAL BUILDING CONSISTING OF ONE LEVEL OF BELOW GRADE CONCRETE PARKADE, ONE LEVEL OF ABOVE GRADE PARKING WITH GROUND LEVEL UNITS FACE EASTLEIGH CRESCENT AND 5 LEVELS OF WOOD FRAME RESIDENTIAL UNITS ABOVE. A MIX OF 1-BED TO 3-BED UNITS SUPPORTS A VARIETY OF INCOME LEVELS AND DEMOGRAPHICS.

### MASSING, FORM & CHARACTER

THE EXTERIOR FORM AND CHARACTER MARRY A MODERN CONTEMPORARY VERNACULAR MASSING FROM THE NEW DEVELOPMENTS ON EASTLEIGH CRESCENT WITH THE INDUSTRIAL HERITAGE OF THE NEIGHBORHOOD.

THE PROPOSAL OF WALK-OUT UNITS CONNECTING WITH THE PUBLIC SIDEWALK PROMOTES A PEDESTRIAN EXPERIENCE TO RESIDENTS, WHILE THE INTERNAL COURTYARD IS A SAFE, WELCOMING, AND COMMUNAL GATHERING PLACE WITH A STRONG COMMUNITY ATMOSPHERE, PROMOTING SOCIAL CONNECTION AND OVERALL WELLBEING.

THE GROUND LEVEL IS SCALED WITH PLANTERS TO ALLOW FOR A STREET-FRIENDLY AND INVITING CONNECTIVITY. THE BRICK VENEER ENHANCES A SENSE OF SECURITY AND STRENGTH, WHILE BRINGING WARMTH AND CRAFTSMANSHIP TO THE GROUND PLANE, BESIDES PROMOTING THE HIERARCHY OF ENTRANCE CANOPY. THE METAL HORIZONTAL FRAME PROVIDES WAYFINDING WITH SIGNAGE AND PROVIDES PRIVACY TO BALCONIES ABOVE THE MAIN ENTRY.

THE RESIDENTIAL LEVELS MAINTAINLY CONSIST OF CORRUGATED METAL CLADDING, AND ITS USE OF COLORS AND TEXTURES EVOKES THE INDUSTRIAL PAST. THE LIGHTER CEMENT BOARD ON LEVEL 2 AND 6 OPTICALLY REDUCES THE OVERALL SCALE TO THE BUILDING AND ALLOWS THE LIGHT METAL FRAMED VOLUMES TO PRETEND. BALCONY PROTECTIONS ARTICULATE A LOWER SCALE AND ALLOW A SENSE OF INTEREST, OPENNESS, AND LIVABILITY THROUGH THE DEVELOPMENT, WITH ENHANCED VIEWS ALLOWING RESIDENTS TO EXPERIENCE THE OUTDOORS WHILE MAINTAINING PRIVACY WITH THEIR HOMES.

### ENVIRONMENTAL SUSTAINABILITY

SUSTAINABILITY IS ADDRESSED THROUGH SEVERAL DESIGN STRATEGIES AND INTERVENTIONS:

- A MID-RISE BUILDING WITH A HIGH-DENSITY HOUSING COMPONENT MAKES MORE EFFICIENT USE OF MUNICIPAL SERVICES AND FACILITATES ECONOMIES OF SCALE IN THE DELIVERY OF MASS TRANSIT. DENSIFICATION IS AN IMPORTANT STRATEGY TO HELP REDUCE CARBON EMISSIONS.
- THE USE OF WOOD FRAME CONSTRUCTION HAS A LIGHTER CARBON FOOTPRINT THAN STEEL.
- NEW WATER EFFICIENT LANDSCAPING AND OUTDOOR AMENITY SPACES WILL AID IN STORM WATER MANAGEMENT.
- LIGHT POLLUTION REDUCTION BY MEANS OF DARK SKY COMPLIANT EXTERIOR LIGHTING SYSTEMS.
- THE BALCONY DESIGN PROVIDES SOLAR SHADING FOR ABOVE RESIDENTIAL UNITS, WITH PASSIVE VENTILATION SUPPLIED THROUGH OPERABLE WINDOWS.
- PROVISION OF EV PARKING STALLS AND HEAT ISLAND EFFECT REDUCTION BY MINIMIZING EXPOSED EXTERIOR PARKING.
- GENEROUS BIKE STORAGE SUPPORTS ACTIVE TRANSPORTATION FOR RESIDENTS AND VISITORS ALIKE.
- STORAGE AND COLLECTION OF RECYCLABLES.



SOUTH/WEST CORNER OF DEVELOPMENT

### CRIME PREVENTION

THE FOUR KEY PRINCIPLES OF CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED) ARE NATURAL SURVEILLANCE, ACCESS CONTROL, TERRITORIALITY AND MAINTENANCE & MANAGEMENT.

NATURAL SURVEILLANCE IS INCORPORATED THROUGHOUT THE BUILDING PERIMETER AND THE INTERIOR COURTYARD THROUGH THE INTRODUCTION OF CLEAR SIGHTLINES AND "EYES ON THE STREET" VIA RESIDENTIAL WINDOWS, AND PRIVATE BALCONIES.

PRIMARY ENTRANCES ARE CLEARLY DEFINED AND GLAZED FOR HIGH VISIBILITY. THE INTERIOR OF THE PARKADE IS WELL-LIT WITH VISITOR PARKING CLEARLY DESIGNATED. THE BUILDING LOBBY AND THE PARKADE ARE SUPPLIED WITH AN ELECTRONIC ACCESS CONTROL SYSTEM.

TERRITORIAL REINFORCEMENT IS PROVIDED THROUGH THE PAVING DESIGN THAT CONNECTS THE PUBLIC SIDEWALK TO THE BUILDING ENTRANCES. RESIDENTIAL UNITS WITH GROUND FLOOR PATIOS OPEN DIRECTLY ONTO THE STREET BUT ARE RAISED WITH TIERED PLANTERS TO ESTABLISH A BUFFER ZONE BETWEEN COMMON AND PRIVATE SPACES.

ISSUES SUCH AS GRAFFITI CAN GIVE THE IMPRESSION THAT OWNERS DO NOT CARE ABOUT THEIR PROPERTY. KEEPING THE BUILDING WELL MAINTAINED BRINGS A POSITIVE APPEARANCE TO THE NEIGHBOURHOOD.



MAIN ENTRANCE



### REISSUED FOR DP

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

### WESMONT EASTLEIGH APARTMENTS

30619 & 30620 EASTLEIGH CRESCENT,  
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### DESIGN RATIONALE

SCALE

SD1.20





EASTLEIGH ELEVATION



OUTDOOR AMENITY LOOKING NORTH



OUTDOOR AMENITY LOOKING SOUTH



REISSUED FOR  
DP

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

WESMONT  
EASTLEIGH  
APARTMENTS

20619 & 20620 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

PROJECT # 23.112  
CITY FILE #



RENDERINGS

SCALE

SD1.21





## 1.9.0 GENERAL SITE NOTES

1. REFER TO SITE CODE PLAN & SITE LAYOUT PLAN FOR MORE INFORMATION.
2. REFER TO CIVIL ENGINEER'S DRAWINGS FOR PAVED AREA, DRAINAGE, SITE ELEVATIONS, SANITARY AND SEWER LINES, EXTENT OF DEMO, NEW AND EXISTING PAVING, OTHER SERVICES, ETC.
3. VERIFY ALL SITE INFORMATION, BUILDING AREA, DIMENSIONS AND BEARINGS WITH LEGAL SURVEY PLAN.
4. REFER TO LANDSCAPE DRAWINGS FOR ALL HARD & SOFT LANDSCAPING.
5. FINISH OF WALL: TOP OF CURB; BOTTOM OF WALL: 800-BOTTOM OF CURB.
6. FINISH ELEVATION: 100.00m; EXISTING ELEVATION: 100.00m.

## KEYSTONE

3431 13TH AVENUE S.W. CHARTER #8  
V2S 3B1 (604) 655-5777  
726 1411 13TH AVENUE S.W. CHARTER #8  
V2S 3B1 (604) 655-5777  
INFO@KEYSTONEARCH.CA



## REISSUED FOR DP

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	RE-ISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

## WESMONT EASTLEIGH APARTMENTS

20619 & 20620 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

PROJECT # 23.112  
CITY FILE #



## SITE PLAN

SCALE 3/32" = 1'-0"



SD2.01



SD2.02







REISSUED FOR  
DP

NO.	REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

WESMONT  
EASTLEIGH  
APARTMENTS

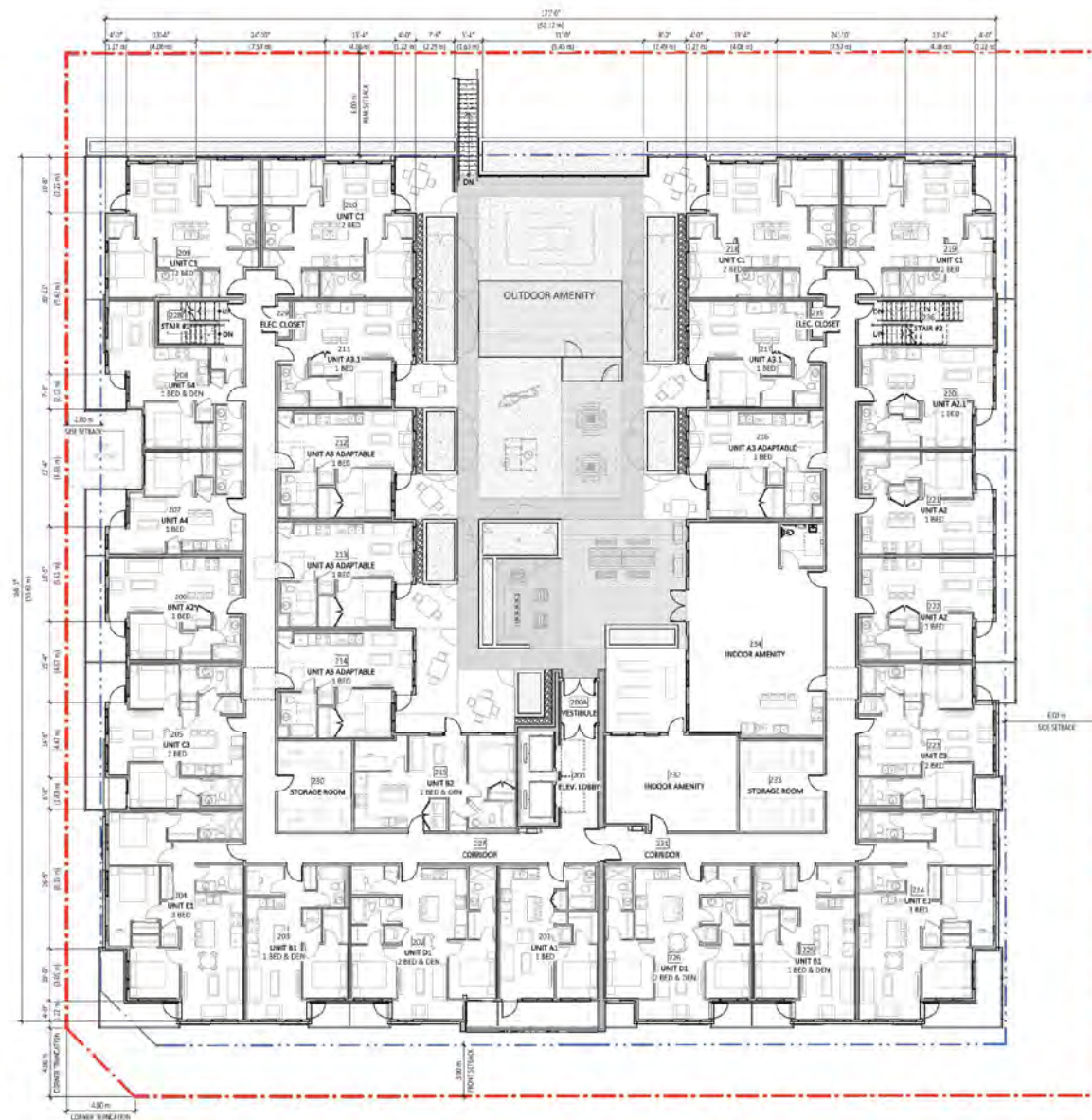
20619 & 20625 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

PROJECT # 23.112  
CITY FILE #



2ND LEVEL PLAN

2ND LEVEL  
3/32" = 1'-0"



SCALE 3/32" = 1'-0"

SD2.03



**REISSUED FOR  
DP**

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

**WESMONT  
EASTLEIGH  
APARTMENTS**

20610 & 20620 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

PROJECT # 23.112  
CITY FILE #



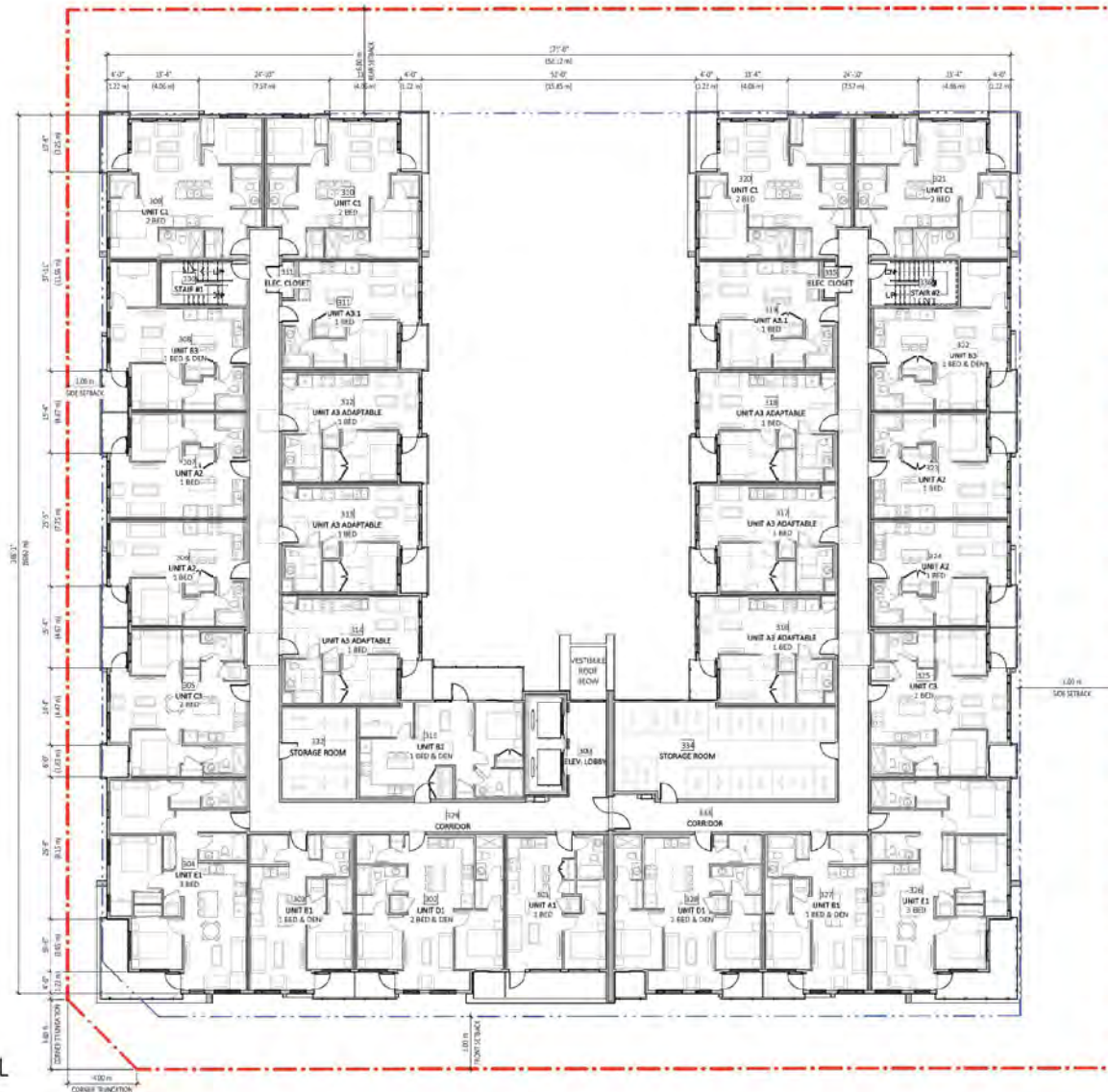
**3RD/4TH LEVEL  
PLAN**

SCALE 3/32" = 1'-0"



**SD2.04**

**3RD/4TH LEVEL**  
3/32" = 1'-0"







**REISSUED FOR  
DP**

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

**WESMONT  
EASTLEIGH  
APARTMENTS**

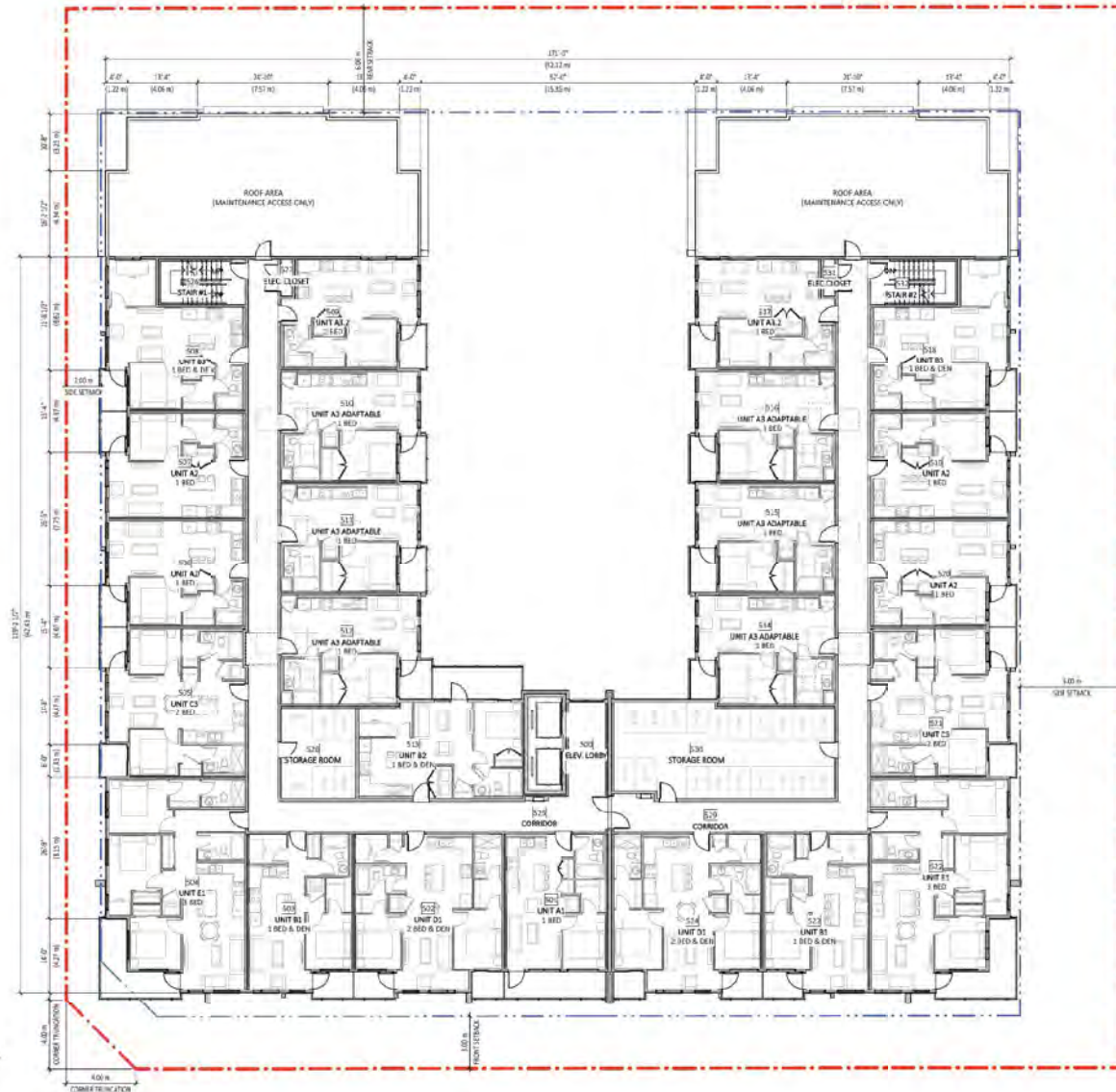
20619 & 20625 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

PROJECT # 23.112  
CITY FILE #



**5TH LEVEL PLAN**

**5TH LEVEL**  
3/32" = 1'-0"



SCALE 3/32" = 1'-0"



**SD2.05**



REISSUED FOR  
DP

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

WESMONT  
EASTLEIGH  
APARTMENTS

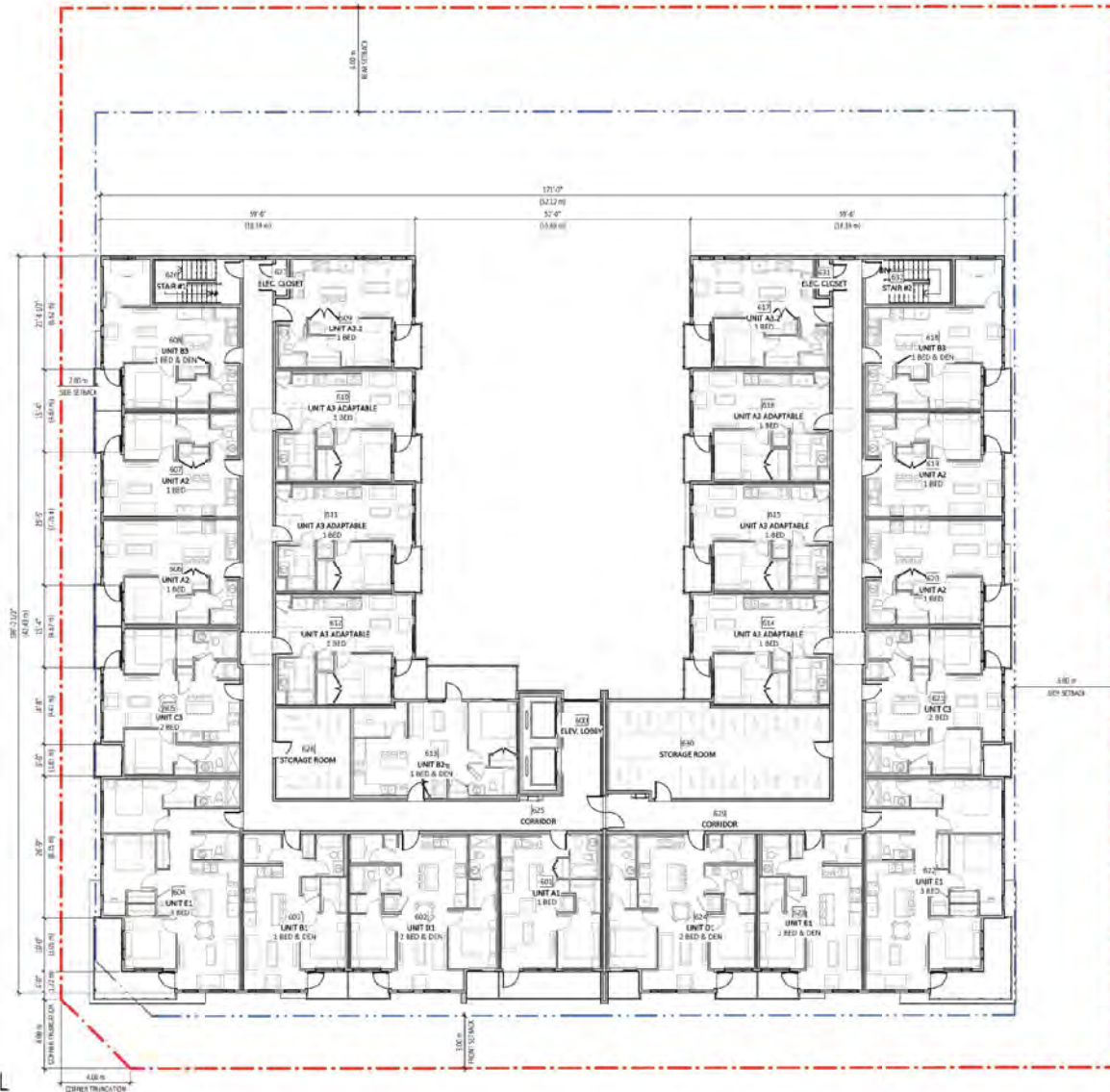
20619 & 20621 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

PROJECT # 23.112  
CITY FILE #



6TH LEVEL PLAN

6TH LEVEL  
3/32" = 1'-0"



SCALE 3/32" = 1'-0"



SD2.06



REISSUED FOR  
DP

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

WESMONT  
EASTLEIGH  
APARTMENTS

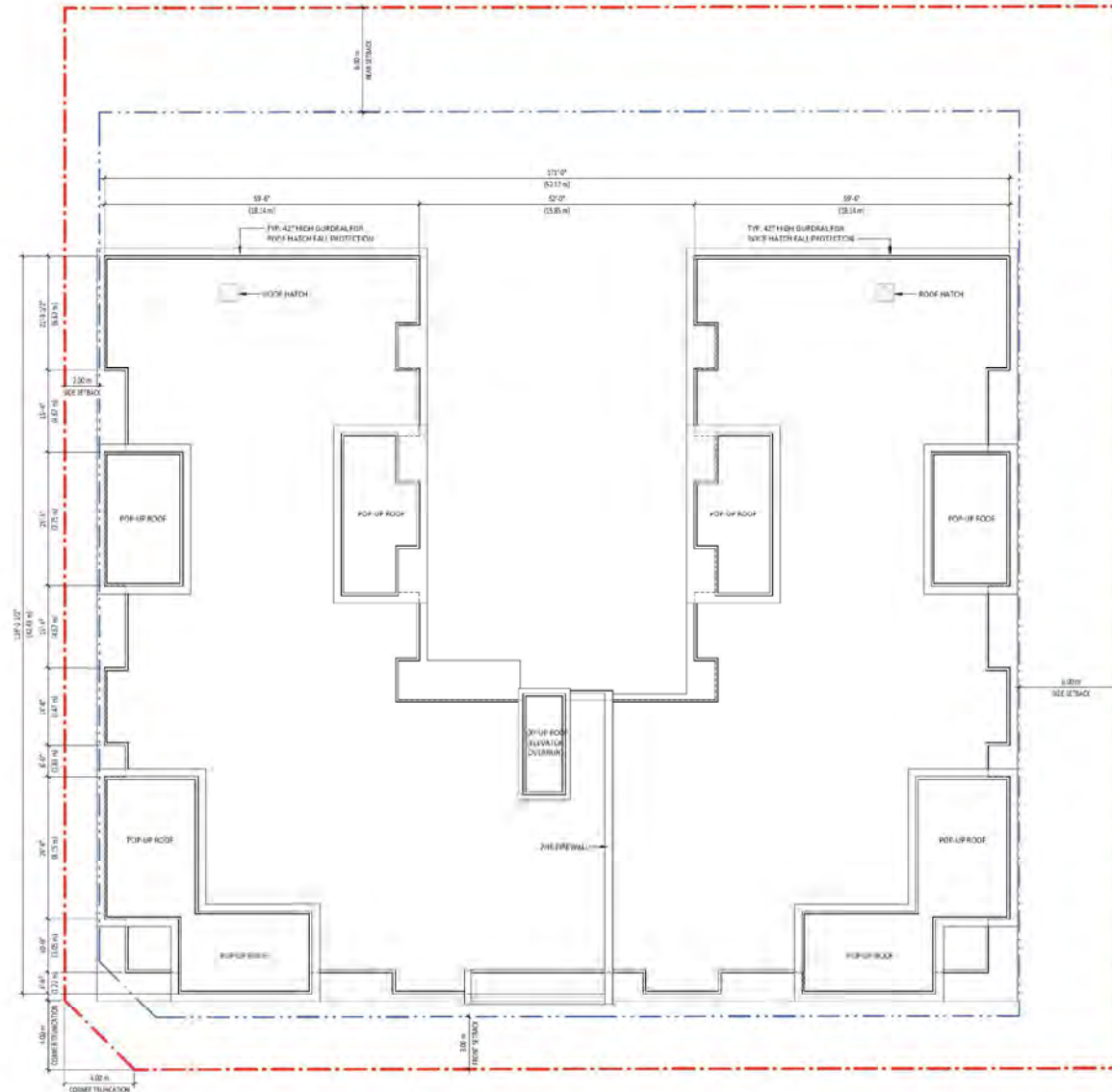
20619 & 20625 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

PROJECT # 23.112  
CITY FILE #



ROOF LEVEL PLAN

ROOF LEVEL  
3/32" = 1'-0"



SCALE 3/32" = 1'-0"



SD2.07





REISSUED FOR  
DP

NO.	REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-07
3	REISSUED FOR DP	23-10-04

WESMONT  
EASTLEIGH  
APARTMENTS

20610 & 20625 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

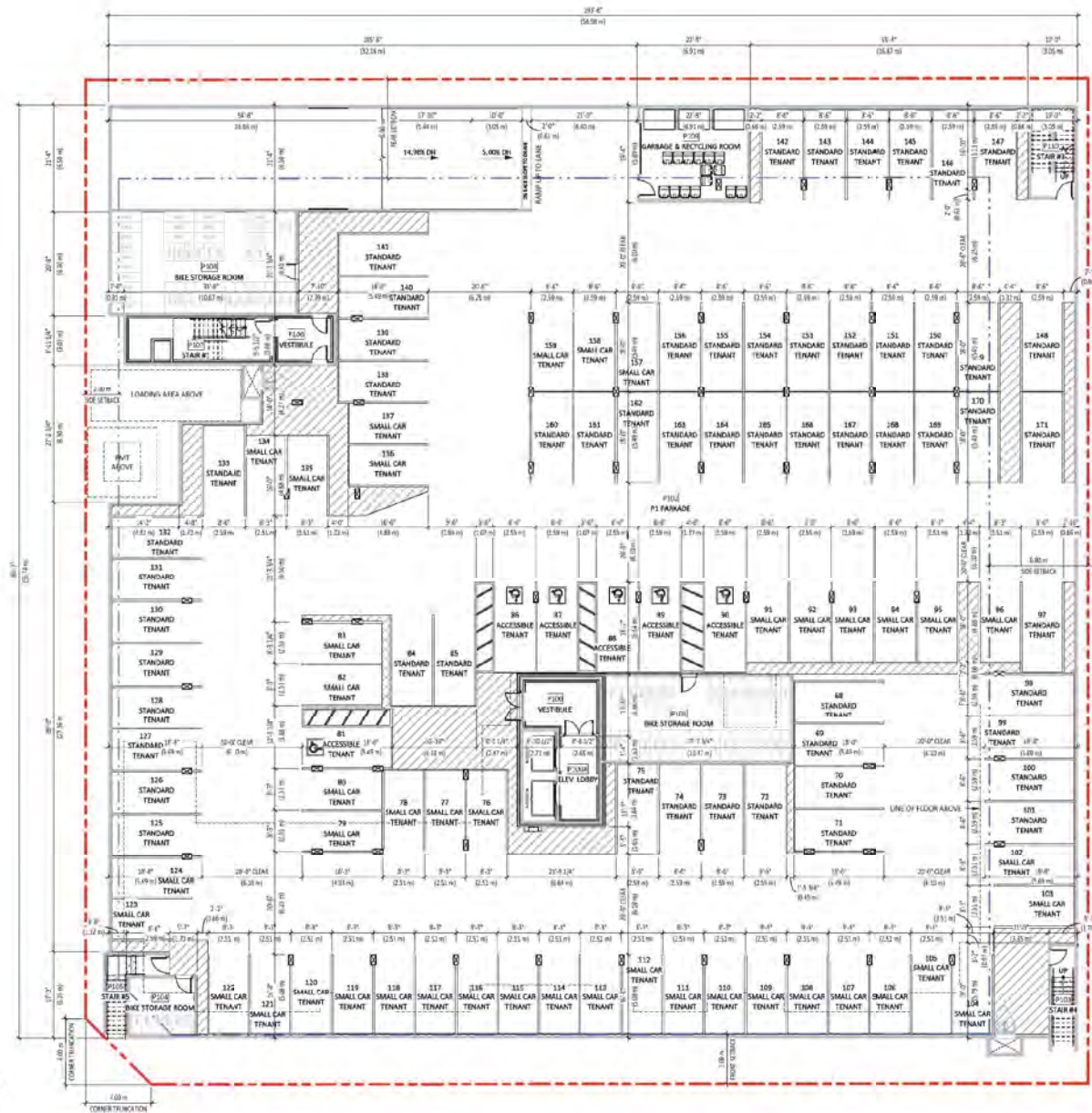
PROJECT # 23.112  
CITY FILE #



P1 LEVEL PLAN

P1 LEVEL PLAN

3/32" = 1'-0"



SCALE 3/32" = 1'-0"

SD2.08



**REISSUED FOR  
DP**

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04



**SOUTH ELEVATION**

3/32" = 1'-0"



**WEST ELEVATION**

1/32" = 1'-0"

**WESMONT  
EASTLEIGH  
APARTMENTS**

20619 & 20621 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

PROJECT # 23.112  
CITY FILE #



**BUILDING  
ELEVATIONS**

SCALE 3/32" = 1'-0"

**SD3.01**





**NORTH ELEVATION**

3/32" = 1'-0"



**EAST ELEVATION**

3/32" = 1'-0"



**REISSUED FOR DP**

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

**WESMONT  
EASTLEIGH  
APARTMENTS**

20619 & 20620 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

PROJECT # 23.112  
CITY FILE #



**BUILDING  
ELEVATIONS**

SCALE 3/32" = 1'-0"

**SD3.02**



REISSUED FOR  
DP

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

PODIUM EAST ELEVATION

1/8" = 1'-0"



WESMONT  
EASTLEIGH  
APARTMENTS

20619 & 20625 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

PROJECT # 23.112  
CITY FILE #



BUILDING  
ELEVATIONS

PODIUM WEST ELEVATION

1/8" = 1'-0"



SCALE 1/8" = 1'-0"

SD3.03





REISSUED FOR  
DP

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

WESMONT  
EASTLEIGH  
APARTMENTS

20619 & 20629 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

PROJECT # 23.112  
CITY FILE #



MATERIAL BOARD

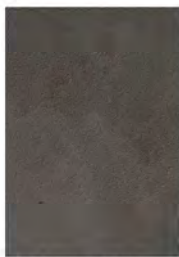


1



METAL PANEL  
COLOUR: WHITE

2



CONCRETE WALL COLOUR:  
"PAINTED TO MATCH BRICK"

3



CEMENT BOARD PANEL SIDING  
COLOUR: LIGHT MIST

4



BRICK, TEXTURE: "SMOOTH"  
COLOUR: "DARK CHARCOAL GRAY"



ALUMINUM/GLASS GUARD/RAILING  
COLOUR: BLACK

6



CORRUGATED METAL (VERTICAL)  
COLOUR: "CHARCOAL"



WINDOW  
COLOUR: VARIES  
BLACK EXT. / WHITE INT.  
WHITE EXT. / WHITE INT.  
GREY EXT. / WHITE INT.

8



FASCIA BOARD AND PARAPET  
COLOUR: IRON GRAY

9



ALUMINUM SOFFIT  
COLOUR: BLACK

SCALE 1/8"=1'-0"

SD4.01



REISSUED FOR  
DP

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04



EASTLEIGH CRESCENT STREETSCAPE

3/32" = 1'-0"

WESMONT  
EASTLEIGH  
APARTMENTS

20619 & 20625 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

PROJECT # 23.112  
CITY FILE #



STREETSCAPES



LANE STREETSCAPE

3/32" = 1'-0"

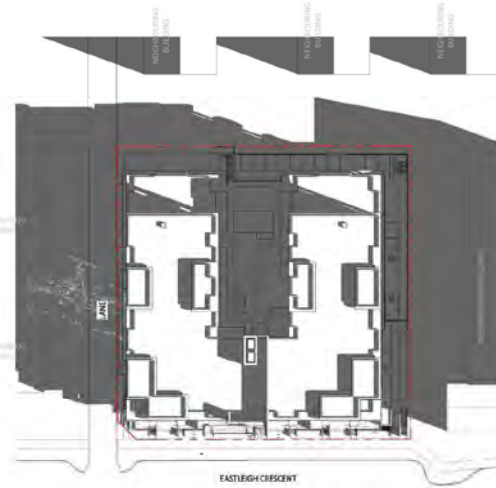
SCALE 3/32" = 1'-0"

SD5.01

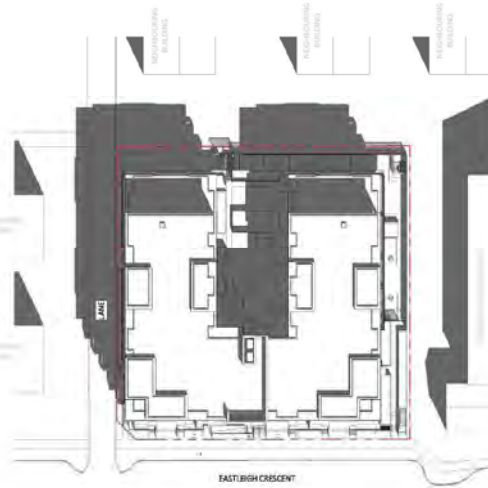


REISSUED FOR  
DP

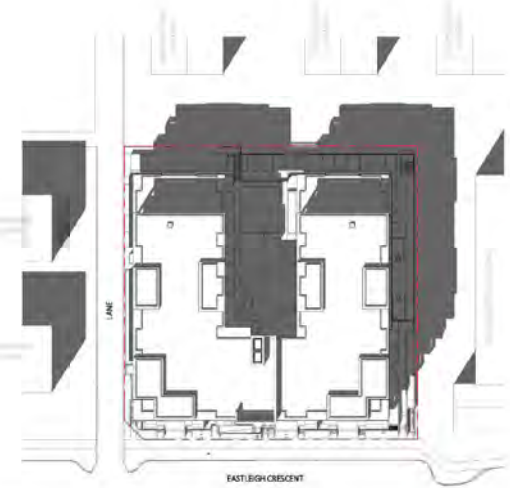
NO.	REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04



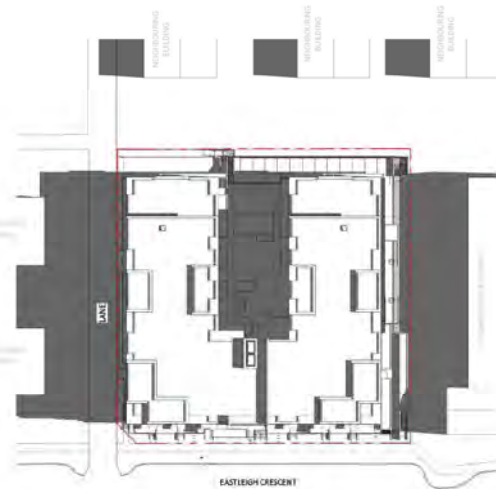
MARCH 21 - 9AM  
1" = 40'-0"



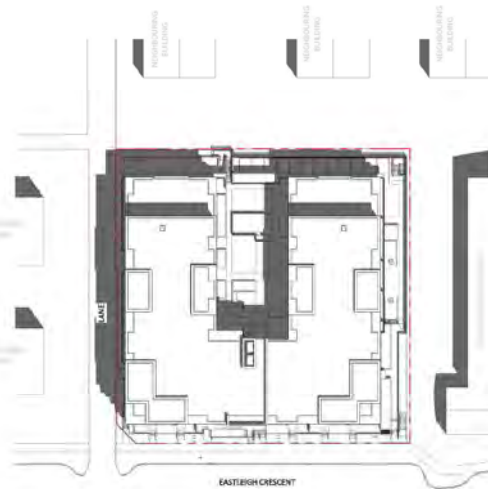
MARCH 21 - 12PM  
1" = 40'-0"



MARCH 21 - 3PM  
1" = 40'-0"



JUNE 21 - 9AM  
1" = 40'-0"



JUNE 21 - 12PM  
1" = 40'-0"



JUNE 21 - 3PM  
1" = 40'-0"

## WESMONT EASTLEIGH APARTMENTS

20619 & 20625 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

PROJECT # 23.112  
CITY FILE #



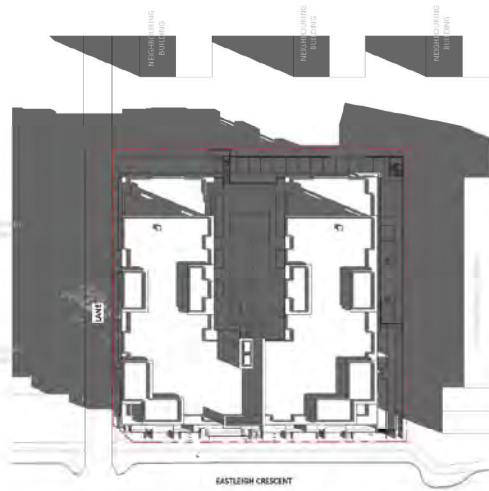
SHADOW STUDY



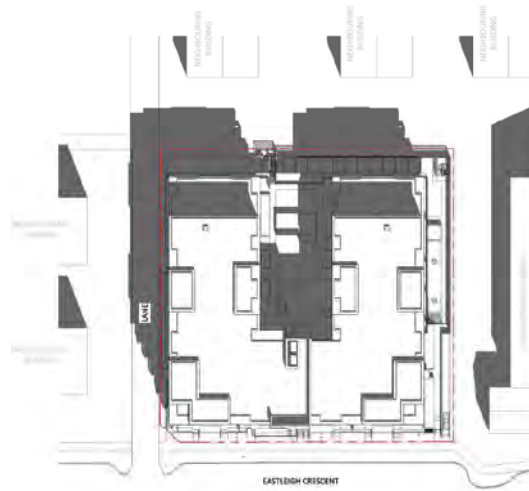
SCALE 1" = 40'-0"

SD5.10

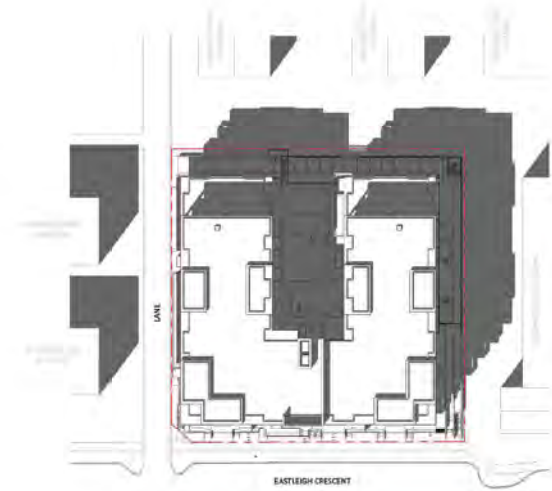




SEPTEMBER 21 - 9AM  
1" = 40'-0"



SEPTEMBER 21 - 12PM  
1" = 40'-0"



SEPTEMBER 21 - 3PM  
1" = 40'-0"



REISSUED FOR  
DP

NO.	REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

## WESMONT EASTLEIGH APARTMENTS

20619 & 20625 EASTLEIGH CRESCENT  
LANGLEY, B.C.

PROJECT #: 23.112  
CITY FILE #



SHADOW STUDY

SCALE 1" = 40'-0"



SD5.11



REISSUED FOR  
DP

NO.	REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

## WESMONT EASTLEIGH APARTMENTS

20619 & 20625 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

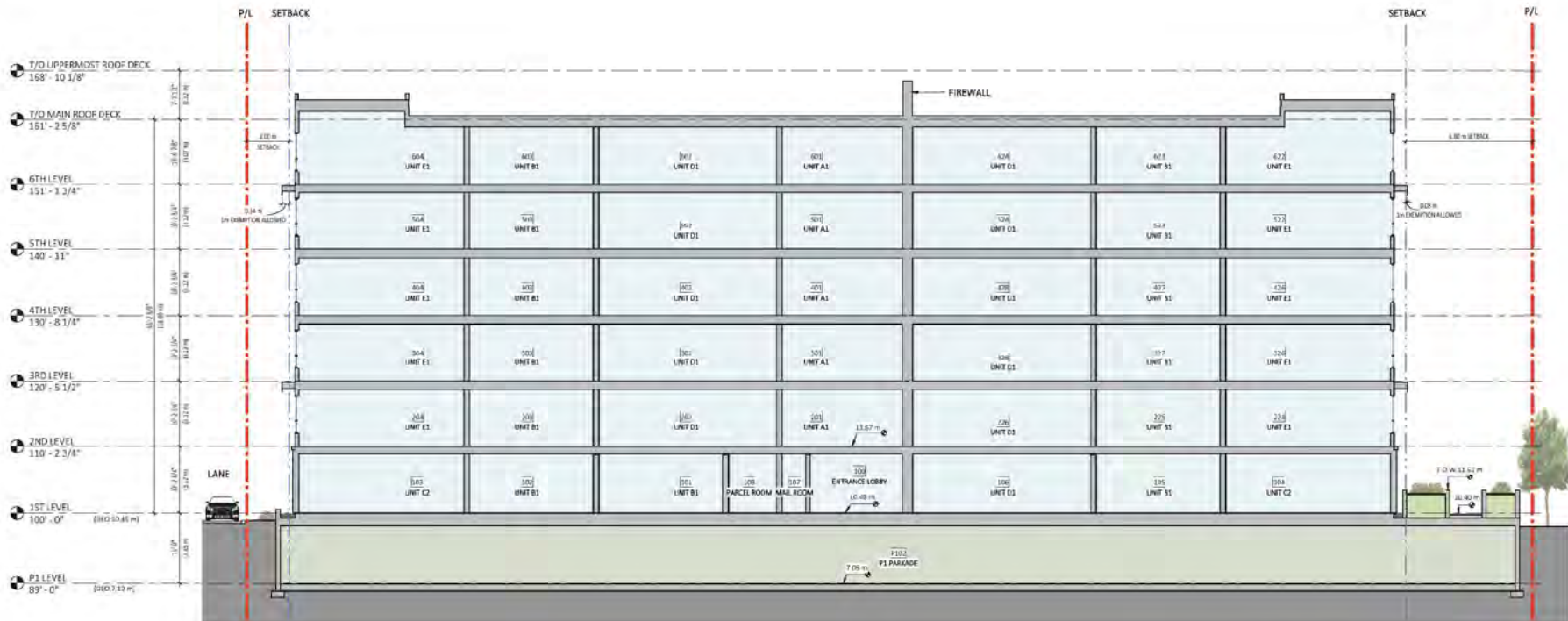
PROJECT # 23.112  
CITY FILE #



SITE SECTIONS

SCALE: 3/8" = 1'-0"

SD6.01



NW/SE SECTION  
1/8" = 1'-0"

### OCCUPANCY USE

- GROUP "C" - RESIDENTIAL DWELLING UNIT
- GROUP "F3" - INDUSTRIAL STORAGE GARAGES



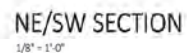
NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DR	23-08-01
2	REISSUED FOR DR	23-09-27
3	REISSUED FOR DR	23-10-04

20619 & 20629 EASTRICH CRESCENT,  
LANGLEY, B.C.

PROJECT # 23.112  
CITY FILE #



## SITE SECTIONS



OCCUPANCY USE

- ☐ GROUP C - RESIDENTIAL DWELLING UNIT



SCALE 1/8" = 1'-0"

SD6.02









## REISSUED FOR DP

NO.	REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04

## WESMONT EASTLEIGH APARTMENTS

20619 & 20625 EASTLEIGH CRESCENT,  
LANGLEY, B.C.

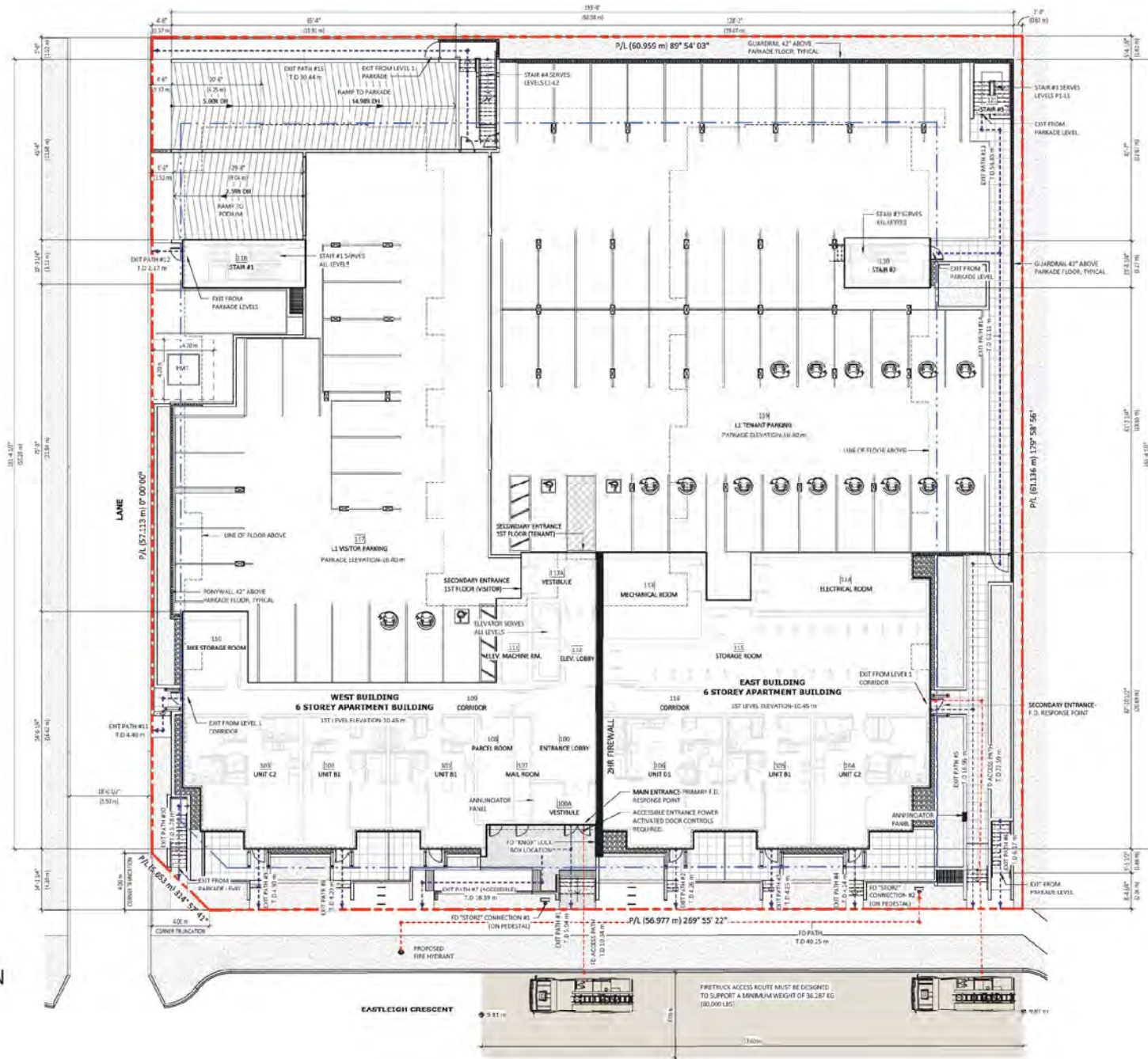
PROJECT # 23.112  
CITY FILE #



## SITE CODE PLAN

## SITE CODE PLAN

3/32" = 1'-0"



SCALE 3/32" = 1'-0"

SD7.02



WESMONT APARTMENTS EASTLEIGH, 20619 & 20629 EASTLEIGH CRESCENT, LANGLEY, BC



**KEYSTONE**  
ARCHITECTURE  
300 - 33131 SOUTH FRASER WAY, ABBOTSFORD BC  
V2S 2B1 | 604.850.0577  
410 - 333 11TH AVENUE SW, CALGARY AB  
T2R 1J9 | 587.391.4768  
INFO@KEYSTONEARCH.CA



LANDSCAPE ARCHITECTURE DIVISION  
**ISSUED FOR  
DEVELOPMENT  
PERMIT**

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	07-28-23
2	RE-ISSUED FOR DP	09-26-23
3	RE-ISSUED FOR DP	10-05-23

**WESMONT  
APARTMENTS  
EASTLEIGH**

20619 & 20629 EASTLEIGH CRESCENT,  
LANGLEY, BC

PROJECT # 23112  
CITY FILE #



**COVER SHEET**

SCALE

**L-0.00**

**SHEET SCHEDULE**

Sheet Number	Sheet Title
L-0.00	COVER SHEET
L-1.01	SITE PLAN
L-1.02	PODIUM PLAN
L-1.03	GRADING PLANS
L-1.04	OFF-SITE PLAN
L-2.00	PLANTING PRECEDENTS
L-2.01	SITE PLANTING PLAN
L-2.02	PODIUM PLANTING PLAN

**DESIGN RATIONALE**

THE LANDSCAPE OF WESMONT APARTMENTS CN EASTLEIGH IS DESIGNED TO REFLECT AN INDUSTRIAL, MODERN, AND SLEEK CHARACTER WITH BURSTS OF COLOUR ADDED THROUGH PLANT MATERIAL. THE SITE PLAN SHOWCASES APARTMENTS THAT HAVE A CONNECTION TO EASTLEIGH CRESCENT WITH AN EDGE DEFINED BY SMOOTH FINISH CONCRETE WALLS WITH LARGE REVEALS THAT COMPLEMENT A DECORATIVE CABLE FENCING THAT VISUALLY SEPARATES PUBLIC AND PRIVATE SPACES. UNIT ADDRESSES AND ASSOCIATED LIGHTING WILL ALSO STRENGTHEN THE ROAD FRONTAGE CONNECTION. FINALLY AN OFF-SET CANOPY OF TREES AND RAISED PLANTERS CONNECTS THE SURFACE PARKING LOT TO THE STREET.

THE OUTDOOR AMENITY SPACE CAN BE EXPLORED ON THE SECOND LEVEL WHERE STRONG CONNECTIONS HAVE BEEN MADE BETWEEN THE INDOOR AND OUTDOOR AMENITY SPACES WITH DOORS EXITING OUT TO AN OUTDOOR BBQ AREA FROM THE INTERIOR KITCHEN SPACE, AND AN OUTDOOR WORKOUT SPACE CONNECTED TO THE INDOOR GYM. ADDITIONAL AMENITIES INCLUDE A CHILDREN'S PLAY AREA, A DOG RUN, A FIRE PIT GATHERING SPACE, GAMES TABLES, AND FINALLY AN OPEN LAWN SPACE FOR PLAY AND GATHERING. DUE TO PRIMARILY A NORTHERN EXPOSURE, A STRONG EMPHASIS WILL BE PUT ON ENHANCING THE SPACE WITH LUSH, SHADE-LOVING PLANTS THAT WILL MAKE THE SPACES FEEL INVITING AND INTENTIONAL.

**WESMONT**  
T 604.371.0250 | 111 - 23189 FRANCIS AVENUE  
LANGLEY, BC V3M 0G4



**KEYSTONE ARCHITECTURE & PLANNING LTD.**

T 604.850.0577 | 300 - 33131 SOUTH FRASER WAY  
F 1.855.398.4578 | ABBOTSFORD, BC V2S 2B1  
T 587.391.4768 | 410 - 333 11TH AVENUE SW,  
E-MAIL: MAIL@KEYSTONEARCH.CA | CALGARY, AB T2R 1J9  
WEBSITE: KEYSTONEARCH.CA



**LANDSCAPE ARCHITECTURE DIVISION**

T 604.850.0577 EXT. 216 | 300 - 33131 SOUTH FRASER WAY  
ABBOTSFORD, BC V2S 2B1  
E-MAIL: JENNIFER@KEYSTONEARCH.CA





#### SITE FURNISHINGS

KEY	DESCRIPTION
	MAGLIN 350 BIKE RACK Colour: TRO Manufacturer: MAGLIN SITE FURNISHINGS Supplier: MAGLIN SITE FURNISHINGS Mount: SURFACE

#### FENCING

KEY	DESCRIPTION
	1.3m HIGH DECORATIVE CABLE FENCE
	ARCHITECTURAL GUARDRAIL

#### TREE LEGEND



#### TREE SCHEDULE

QUANT.	BOTANICAL NAME	COMMON NAME	SIZE
8	Tilia cordata 'Summer Sprite'	Summer Sprite Linden	1.8m, 6cm caliper

#### HARDSCAPE MATERIALS

KEY	DESCRIPTION
	CITYSCAPE BRICK Size: 111 x 223 x 60mm Colour: VERONA Manufacturer: BASALITE
	PLANK PAVER Size: 75 x 450 x 100mm Colour: NATURAL Manufacturer: BASALITE
	CONCRETE SLABS Size: 600 x 600 x 50mm Colour: TRADITIONAL DESERT Manufacturer: BASALITE
	CONCRETE RETAINING WALL

#### SOFTSCAPE MATERIALS

KEY	DESCRIPTION
	SHRUB PLANTING GROWING MEDIUM Shrubus - 450mm MIN. DEPTH TREES - 900mm MIN. DEPTH
	GRANULAR DRIP STRIP



Tilia cordata 'Summer Sprite'



Decorative Cable Fence Precident



Maglin 350 Bike Rack

## HARDSCAPE MATERIALS

KEY	DESCRIPTION
	CITYSCAPE MISSION Size: 133 x 223 x 40mm Colour: VERONA Manufacturer: BASALITE
	WOOD GRAIN PAVES Size: 148 x 448 x 60mm Manufacturer: BASALITE
	PLAIN PAVES Size: 75 x 450 x 100mm Colour: NATURAL Manufacturer: BASALITE
	CONCRETE SEABED Size: 608 x 608 x 50mm Colour: TRADITIONAL DESERT Manufacturer: BASALITE
	RUBBER PLAY TILES Colour: SON GREEN Manufacturer: CONLEX Supplier: HABITAT SYSTEMS
	CONCRETE RETAINING WALL

## SOFTSCAPE MATERIALS

KEY	DESCRIPTION
	SHRUB PLANTING GROWING MEDIUM TREES - 450mm MIN. DEPTH TREES - 900mm MIN. DEPTH
	SAND
	GRANULAR DRIVE STRIP
	SOIL
	WOOD MULCH

## SITE FURNISHINGS

KEY	DESCRIPTION
	MAGLIN LOUVER TABLE Colour: TRD Manufacturer: MAGLIN SITE FURNISHINGS Supplier: MAGLIN SITE FURNISHINGS Mount: SURFACE
	MAGLIN YOGA CHAIR Colour: TRD Manufacturer: MAGLIN SITE FURNISHINGS Supplier: MAGLIN SITE FURNISHINGS Mount: SURFACE

## FENCING

KEY	DESCRIPTION
	1.5M HIGH FENCE
	ARCHITECTURAL QUATRAC
	1.2M BLACK VINYL CHAIN LINK



KOMPAN 4 ROOM LABRINTH



WOOD GRAIN PAVES

TRADITIONAL DESERT

CITYSCAPE MISSION

PLAIN PAVES



EASTLEIGH CRESCENT

1:150 0 2m 4m 6m 8m 10m 12m 14m 16m 18m 20m 22m 24m 26m 28m 30m



MAGLIN 1.2m PICNIC TABLE



MAGLIN LOUNGE SEATING



SOLUS LAUNDRY FIRE TABLE



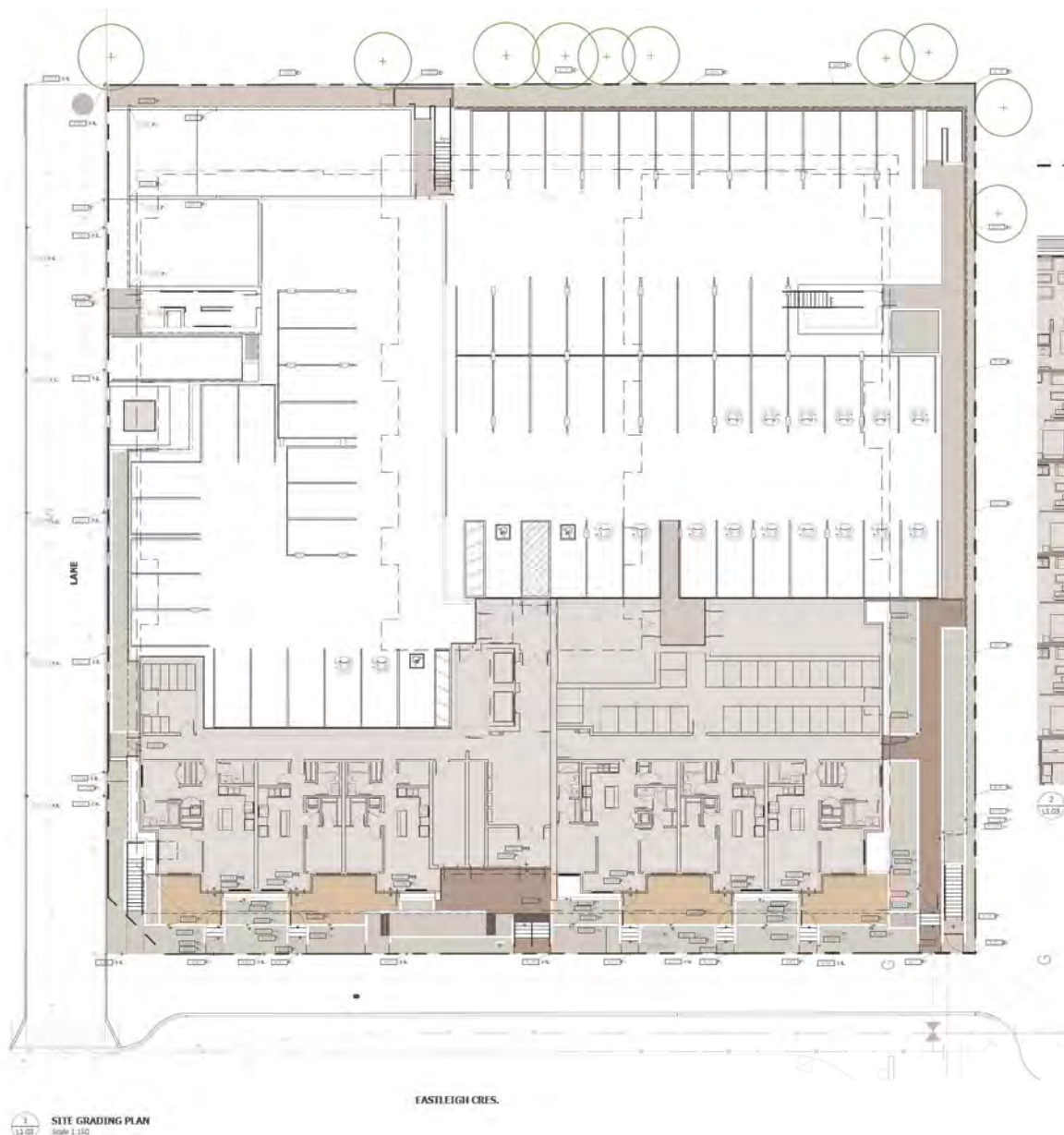
ARTFORM PRECAST PLANTER WALLS



FIRE PIT SPATIAL PRECEDENT







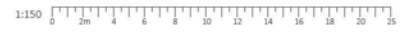
**SITE GRADING PLAN**  
Scale: 1:150



**PODIUM GRADING PLAN**  
Scale: 1:150

**GRADING LEGEND**

KEY	DESCRIPTION
+	FINISHED FLOOR ELEVATION
+	FINISHED GRADE
+	TOP OF WALL
+	BOTTOM OF WALL
+	TOP OF STAIR
+	BOTTOM OF STAIR
+	TOP OF SLAB
+	PROPOSED GRADE BY CIVIL
+	EXISTING GRADE



LANDSCAPE ARCHITECTURE DIVISION  
**ISSUED FOR  
DEVELOPMENT  
PERMIT**

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	07-29-23
2	RE-ISSUED FOR DP	09-26-23
3	RE-ISSUED FOR DP	10-05-23

**WESMONT  
APARTMENTS  
EASTLEIGH**

20610 & 20620 EASTLEIGH CRESCENT,  
LANGLEY, BC

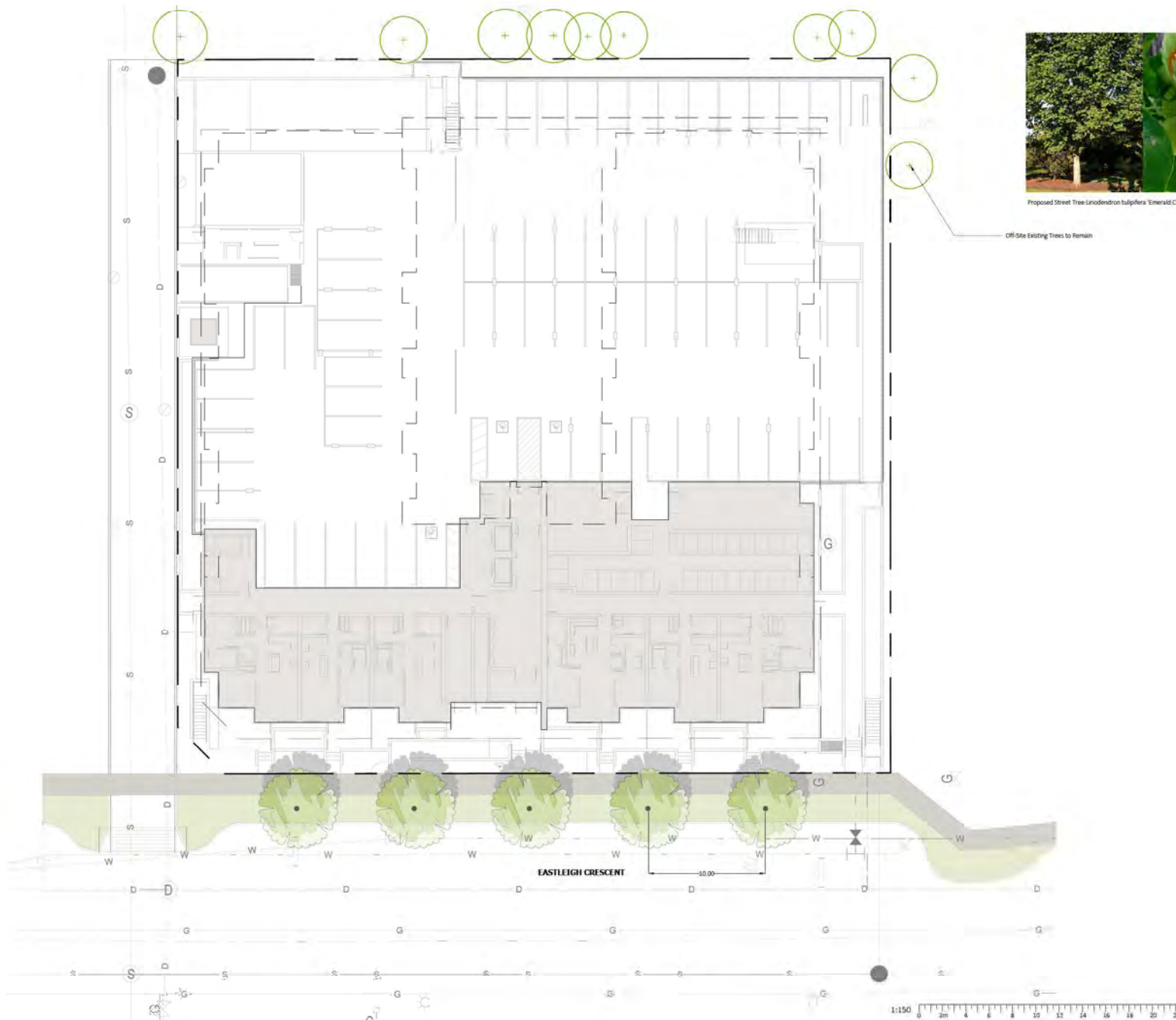
PROJECT #: 23112  
CITY FILE #



**GRADING PLANS**

SCALE 1:150

**L-1.03**



**KEYSTONE**  
ARCHITECTURE

300 - 3153 | SOUTH FRASER WAY, ABBOTSFORD BC  
V2S 3B1 | (604) 850-0577  
410 - 333 | 127<sup>th</sup> AVENUE SW, CALGARY AB  
T2K 3L9 | (587) 391-4768  
INFO@KEYSTONEARCH.CA



LANDSCAPE ARCHITECTURE DIVISION

**ISSUED FOR  
DEVELOPMENT  
PERMIT**

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	07-28-23
2	RE-ISSUED FOR DP	09-26-23
3	RE-ISSUED FOR DP	10-05-23

**WESMONT  
APARTMENTS  
EASTLEIGH**

20610 & 20629 EASTLEIGH CRESCENT,  
LANGLEY, BC

PROJECT # 23112  
CITY FILE #



**OFF-SITE PLAN**

SCALE 1:150



**L-1.04**





HYDRANGEA



LIRIOPE



RHODODENDRON



CARYOPTERIS



HEMEROCALLIS



HYDRANGEA



AZALEA



ERICA



PANICUM



NANDINA



LEUCOTHOE



ROSA



AZALEA



WEIGELA



ARMERIA



KALMIA



SANGUISORBA



TELLIMA



ASPLENIUM



BLECHNUM



ILEX



CAREX



CORNUS



ENKIANTHUS



ARCHITECTURAL PALETTE



LANDSCAPE ARCHITECTURE DIVISION

**ISSUED FOR  
DEVELOPMENT  
PERMIT**

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	07-28-23
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3	RE-ISSUED FOR DP	10-05-23

**WESMONT  
APARTMENTS  
EASTLEIGH**

20619 & 20629 EASTLEIGH CRESCENT,  
LANGLEY, BC

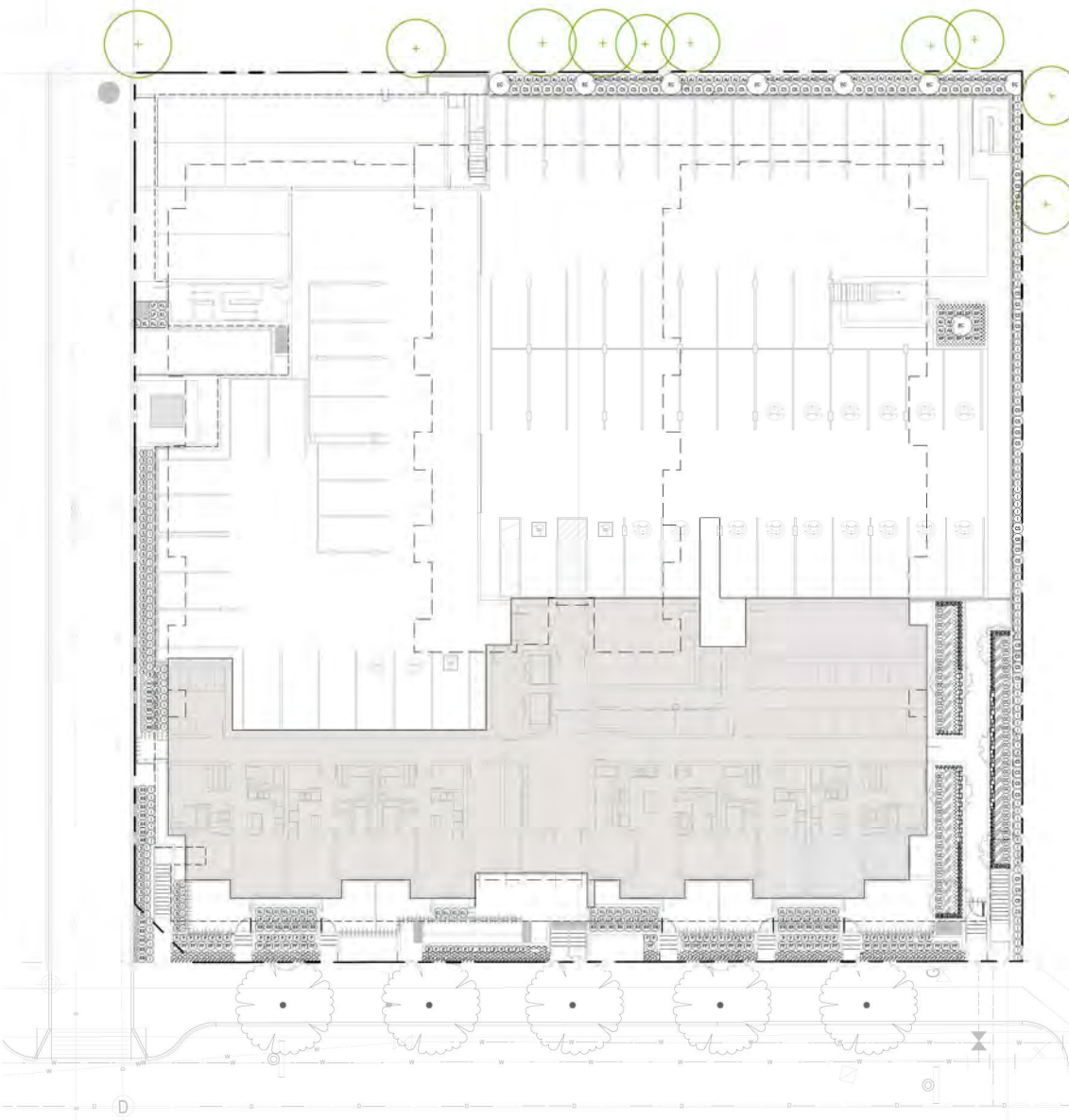
PROJECT # 23112  
CITY FILE #



**SITE PLANTING  
PLAN**

SCALE 1:150

L-2.01



**PLANTING SCHEDULE**

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE
68	1	<i>Amorpha canescens</i>	Amorpha	No. 1 Pot
69	1	<i>Asplenium scolopendrium</i>	Woods Fern	No. 1 Pot
70	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
71	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
72	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
73	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
74	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
75	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
76	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
77	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
78	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
79	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
80	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
81	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
82	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
83	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
84	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
85	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
86	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
87	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
88	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
89	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
90	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
91	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
92	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
93	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
94	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
95	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
96	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
97	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
98	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
99	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot
100	1	<i>Asplenium nidus</i>	Woods Fern	No. 1 Pot





# PLANTING SCHEDULE

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
1	92	Artemisia tridentata	Woolly Yucca Fern	No. 1 Pot
2	6	Azalea 'Gumpo White'	Gumpo White Azalea	No. 3 Pot
3	54	Carex obovata 'Evergreen'	Evergreen Japanese Sedge	No. 1 Pot
4	5	Hydrangea arborescens 'Innocence White'	Innocence White Hydrangea	No. 3 Pot
5	41	Hydrangea macrophylla 'Vase Bl. Gumpo'	Vase Bl. Gumpo Hydrangea	No. 3 Pot
6	50	Leucostoe fontinalis 'Rainbow Improved'	Rainbow Improved Leucostoe	No. 3 Pot
7	50	Rhododendron 'Purple Gem'	Purple Gem Rhododendron	No. 3 Pot
8	16	Tellima grandiflora	Fringetree	No. 1 Pot
9	20	Wiegelia florida 'Midnight Sun'	Midnight Sun Wiegelia	No. 2 Pot



LANDSCAPE ARCHITECTURE DIVISION

ISSUED FOR  
 DEVELOPMENT  
 PERMIT

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WESMONT  
 APARTMENTS  
 EASTLEIGH

20610 & 20620 EASTLEIGH CRESCENT,  
 LANGLEY, BC

PROJECT # 23112  
 CITY FILE #



PODIUM PLANTING  
 PLAN

1:150  
 0 2m 4 6 8 10 12 14 16 18 20 22 24 26

SCALE 1:150



L-2.02



# ADVISORY DESIGN PANEL REPORT

To: **Advisory Design Panel**

Subject: **Development Permit Application DP 08-22  
Rezoning Application RZ 05-22  
(4503 & 4513 200 Street)**

From: **Anton Metalnikov, RPP, MCIP  
Planner**

File #: 6620.00  
Bylaw #: 3260

Date: **October 4, 2023**

Doc #:

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## RECOMMENDATION:

THAT this report be received for information.

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## PURPOSE OF REPORT:

To consider Development Permit and Zoning Bylaw amendment applications by Navreet Mann for a 14-unit townhome development at 4503 & 4513 200 Street.

## POLICY:

The subject properties are currently zoned RS1 Single Family Residential in Zoning Bylaw No. 2100 and designated "Ground Oriented Residential" in the Official Community Plan Land Use map. All lands designated for multi-unit residential use are subject to a Development Permit (DP) to address building form and character.

## COMMENTS/ANALYSIS:

### Background Information:

<b>Applicant:</b>	1328986 B.C. Ltd.
<b>Owner:</b>	1328986 B.C. Ltd.
<b>Civic Addresses:</b>	4503 & 4513 200 Street
<b>Legal Description:</b>	Lot 253, Section 34, Township 7, New Westminster District, Plan 45033; Parcel "C" (Explanatory Plan 10176), North Half Lot 3, Block 2, Section 34, Township 7, New Westminster District, Plan 1783
<b>Site Area:</b>	2,440 m <sup>2</sup> (0.6 acres)
<b>Number of Units:</b>	14 townhomes
<b>Unit Density:</b>	57 units/hectare (23 units/acre)
<b>Gross Floor Area:</b>	2,823.1 m <sup>2</sup> (30,384 ft <sup>2</sup> )
<b>Floor Area Ratio:</b>	1.157
<b>Lot Coverage:</b>	48%
<b>Total Parking Required:</b>	31 spaces (including 1 h/c space)
<b>Parking Provided:</b>	
<b>Resident</b>	28 spaces
<b><u>Visitor</u></b>	<u>3 spaces</u>
<b>Total</b>	31 spaces (including 1 h/c space)
<b>OCP Designation:</b>	Ground Oriented Residential
<b>Existing Zoning:</b>	RS1 Single Family Residential
<b>Proposed Zoning:</b>	RM1 Multiple Residential Low Density
<b>Variances Requested:</b>	48% lot coverage (max. 35%) 3 storey height (max. 2 storeys) 3m front setback (min. 7.5m) 3m rear setback (min. 7.5m) 4.5m interior setbacks (min. 7.5m)
<b>Development Cost Charges:</b>	\$334,940.00 (City - \$166,224.00, GVS&DD - \$62,952.00, GVWD - \$66,360.00, SD35 - \$10,600.00, TransLink - \$28,804.00)
<b>Community Amenity Contributions (CACs):</b>	\$56,000.00

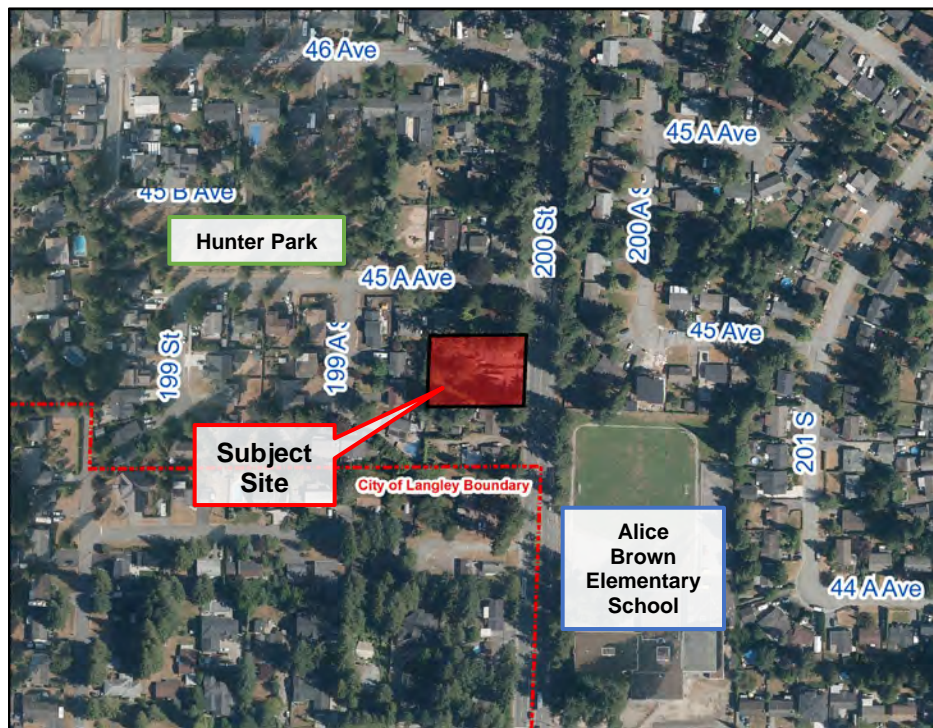


## **Discussion:**

### 1. Context

The applicant is proposing to develop a 14-unit townhome complex on the site of two single-detached lots at 4503 & 4513 200 Street. This site is located in an area of single-detached homes, where the properties along 200 Street, including the subject site, have been designated as Ground Oriented Residential in the City's Official Community Plan. This designation allows for townhome and plex-home development of up to 3 storeys in height and a Floor Area Ratio (FAR) density of up to 1.2, and was introduced to provide a broader range of family-oriented housing options in the neighbourhood and near Alice Brown Elementary School, support future frequent transit service, provide an upgraded streetscape along 200 Street, and improve traffic safety by removing driveways on 200 Street.

The subject site is located mid-block, with its frontage formed on the east by 200 Street, an arterial road forming part of TransLink's Major Road Network that provides regional connections into Langley City. To the north and south, the site is bordered by single-detached homes which, like the properties across 200 Street to the east, share the same Ground Oriented Residential OCP designation. To the west, the site is neighboured by single-detached homes designated in the OCP as Suburban, which maintains these properties' existing single-detached home character, densities, and lot patterns.



*Site context*

The site is located in a distinctly residential area but has convenient walking connections to key amenities including:

- Two transit routes (directly adjacent);
- Alice Brown Elementary School (few-minutes' walk); and
- Hunter Park (few-minute's walk).

## 2. Proposed Rezoning and the Official Community Plan (OCP)

The site is designated Ground Oriented Residential in the City's OCP, which allows for townhome and plex-home development of up to 3 storeys in height and a Floor Area Ratio (FAR) density of up to 1.2.

The application's density is consistent with the existing Zoning Bylaw's RM1 Multiple Residential Low Density Zone and the subject properties are proposed to be rezoned to this zone to avoid the use of a site-specific Comprehensive Development (CD) Zone. This requires several variances to address discrepancies between the existing RM1 Zone's requirements and the preliminary draft new requirements being considered for the new Zoning Bylaw currently in development to better implement the City's OCP, including a new townhome zone associated with the Ground Oriented Residential designation. The subject application complies with these draft requirements, and further details are outlined in the Variances section in this report.

Although the application was made before the adoption of the City's Townhome & Plex-Home Best Practices Guide ("the Guide"), the development's design is consistent with the Guide's guidelines. This includes using a rear lane to separate 3-storey townhomes from adjacent properties designated Suburban in the OCP and facing balconies away from them, using peaked roofs, providing over one on-site tree per unit, and providing fewer than 50% of units with tandem parking.

## 3. Design

The applicant is proposing a 2-block, 3-storey townhome complex oriented east-west in response to the site's deep and relatively narrow dimensions. The two blocks are composed of 7 units each (4 with side-by-side garages and 3 with tandem garages) and face each other across an internal lane. This private lane runs perpendicular to and connects to a new lane to be dedicated to the City at the rear (west) of the property and to 200 Street to the east. The 200 Street connection is temporary and will be made emergency-only (bollarded) once the new City lane to the west is extended to 45A Avenue and southward as part of the future redevelopment of the properties to the north and south. This layout is consistent with OCP policies on Ground Oriented Residential development, which require new rear lanes to be constructed as part of development to improve arterial road safety by removing driveways, while permitting temporary accesses

from 200 Street to allow development to proceed on mid-block sites. Given that the City lane segment will not be connected to 45A Avenue as a part of this application (but this lane will be connected to 45A Avenue as a part of the future redevelopment of the properties immediately to the north), the applicant will be required to provide a temporary vehicle turnaround and lane use plan as a part of the Servicing Agreement.

The 200 Street frontage is acknowledged through the end units' design with walk-out front doors, along with gated internal sidewalks running the length of the site on its north and south edges to provide pedestrian access to each unit. This frontage is also enhanced through on-site landscaping, including four trees. The development has also been designed to be able to retain three mature trees (two Douglas Firs and one Western Red Cedar) on the site's southeast corner, subject to civil design confirming whether planned street improvements such as an expanded sidewalk and boulevard, can be integrated successfully with these trees. The rear lane includes a sidewalk and three visitor parking spaces, which result in a total distance of 11 metres between the townhomes and the Suburban-designated properties with single-detached homes to the west.

The proposed design incorporates white and grey tones in a variety of material treatments, including brick on the ground floor and above the entry doors facing 200 Street. Hardie board and batten and Hardie horizontal siding are used on the upper two floors, with stained cedar balconies on the second floors facing north and south toward properties with townhome development potential. No balconies face west to the adjacent Suburban-designated single-detached homes. The townhome blocks are proposed at a three-storey height, with a varied peaked roof line to provide a front-facing appearance on all elevations. Vent grilles and spandrel glass are used on the block ends for additional ornamentation.

The project's landscaping uses a variety of shrub species to line the perimeter of the site, with 6-foot-high wood fencing on the north and south property lines and a shorter black aluminum fence facing 200 Street. Shrubs are also used to line the interior lane between garages. Every unit patio is separated from the internal sidewalks with wood picket fencing and a double row of shrub and grass plantings, with a tree in each unit's row. Trees are also provided at the rear lane and the 200 Street frontage, for a total of 18 new trees on-site. In addition to the three off-site trees in the southeast corner, one off-site Douglas Fir tree is proposed for retention on an adjacent property to the north, and staff is currently working with the applicant to determine whether the civil design can allow the retention of more trees beside it. Project hardscaping includes stamped concrete to delineate the rear lane sidewalk and visitor parking spots, and concrete paver bands at the rear lane and 200 Street entrances into the private interior lane to highlight the entrances into the townhome complex.



Pedestrian access is provided into the units from the public sidewalk for the 200 Street end units and from private walkways for the remaining units. Vehicle parking meets Zoning Bylaw requirements, including 2.0 resident spaces per unit (total of 28 spaces) and 0.2 visitor spaces per unit (total of 3 spaces). This parking approach is also consistent with the Guide which encourages a mix of side-by-side and tandem parking units while limiting tandem garages to less than 50%. The application includes 8 side-by-side units and 6 tandem units, for a total tandem unit share of 43%. The development consists of 6 three-bedroom units and 8 four-bedroom units, and all units have ground-level patios and balconies.

#### 4. Sustainability

The proposal incorporates several sustainable development features, including:

- Using construction techniques that minimize site disturbance and protect air quality;
- Incorporating the use of recycled building materials;
- Achieving an EnerGuide for New Houses rating of 80 or over, and an energy performance of 25% better than the current Model National Energy Code for multi-unit buildings;
- Using non-water dependent and drought-tolerant materials in the landscape design served by an irrigation system with central control and rain sensors;
- Using water-conserving toilets; and
- Providing all garages with Level II electric vehicle (EV) chargers.

#### 5. CPTED

The applicant's proposal benefited from a comprehensive Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

#### 6. Variances

The applicant has requested the following variances from RM1 zoning provisions:

- Front setback reduction to 3 metres (7.5 metres minimum)
- Rear setback reduction to 3 metres (7.5 metres minimum)
- Interior (side) setback reduction to 4.5 metres (7.5 metres minimum)
- Height increase to 3 storeys (2 storeys maximum)
- Lot coverage increase to 48% (35% maximum)

These variances are requested in recognition of the changes being considered to current requirements by staff for the new Zoning Bylaw, which is currently in development to help implement the City's Official Community Plan (OCP). The

proposal is consistent with the OCP, as well as with the City's Townhome and Plex-Home Best Practices Guide.

The requested setback variances are consistent with the setbacks staff are considering for the new townhome zone in the new Zoning Bylaw to implement the Ground Oriented Residential OCP designation within which this site is included. Reduced setbacks adjacent to streets and lanes allow buildings to engage with the public realm more closely, respond to constrained sites, and take advantage of the spacing streets and lanes offer to maintain separation from other buildings. 4.5-metre side setbacks maintain the 9-metre separation between townhomes as required in the OCP's Development Permit Area guidelines where streets and lanes are not present.

The requested height variance to 3 storeys reflects contemporary townhome design practices and is consistent with the OCP's maximum height for the Ground Oriented Residential designation. It is also consistent with the Guide, which allows for 3-storey buildings to be used beside single-detached designated properties in the OCP if over 8 metres of separation is provided, which is provided on this site by the rear lane.

The requested lot coverage variance is slightly above the draft new maximum being considered for the new townhome zone in the new Zoning Bylaw of 45%. However, staff support this variance in recognition of the large road dedications required of 8 metres for the rear lane (to create an alternative access route to 200 Street in accordance with OCP policy) and 5 metres for 200 Street (to provide the necessary right-of-way width to accommodate the street design envisioned in the City's Design Criteria Manual). As lot coverage is calculated on the ultimate site area post-dedication, these significant dedications (464.9 m<sup>2</sup>, or 19% of the original site; lot coverage on the original site would be 39%) reduce the available buildable area, with the higher lot coverage allowing the development to reach the site's density potential under the OCP while maintaining adequate open space by conforming to required setbacks and building separation distances.

Based on the above commentary and analysis, staff support these variances.

## 7. Summary

The proposed development is consistent with the City's OCP, Development Permit Area guidelines, and Townhome & Plex-Home Best Practices Guide and provides family-oriented homes near transit, parks, and an elementary school.

## **Engineering Requirements:**

### **PRELIMINARY ONLY**

**Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents. All work to be done to the City of Langley's Design Criteria Manual (DCM).**

**All work to be done to the City of Langley's Design Criteria Manual (DCM), and the City's Subdivision and Development Servicing Bylaw (SDSB).**

**Per the City's DCM requirement, the developer and their consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Commitment by Owner and Consulting Engineer) prior to starting their design works.**

**Per the City's Watercourse Protection Bylaw No. 3152, the developer's consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Confirmation of Commitment by Qualified Environmental Professional - QEP) prior to starting their site monitoring works.**

These requirements have been issued to reflect the application for development for a proposed **14-Unit Townhome Development located at 4503 & 4513 200 Street.**

*These requirements may be subject to change upon receipt of a development application.*

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

**A) The Developer is responsible for the following work which shall be designed by a Professional Engineer:**

- I. A Qualified Environmental Professional (QEP) must be engaged to implement erosion and sediment control in accordance with the City of Langley Watercourse Protection Bylaw #3152, as amended.
- II. On-site stormwater management plans for each lot are required. Rainwater management measures used shall be designed to contain and infiltrate the 100-year event on-site to mitigate flooding and environmental impacts as detailed in the City's DCM.
- III. All existing services shall be capped at the main by the City, at the Developer's expense prior to applying for a Demolition permit.



- IV. New water, and sanitary sewer service connections are required. All pertinent pipe design calculations shall be submitted in spreadsheet format and shall include all formulas for review by the City. The Developer's engineer will determine the appropriate main tie-in locations and size the connections for the necessary capacity.
- V. The capacity of the existing water and sanitary sewer mains shall be assessed through hydraulic modeling performed by the City's hydraulic modeling consultant at the Developer's expense.
  - a. Any upgrade requirement for either sanitary or water mains not covered under the City's DCC bylaw shall be designed and installed by the Developer at the Developer's expense.
  - b. At the Developer's expense, the City's hydraulic modeling consultant shall conduct a fire hydrant flow test to be used in the City's water modeling to determine if the existing water network is adequate for fire flows (based on architectural data supplied by the Developer's Architect). Upgrading of the existing watermain(s) may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995."
- VI. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be approved by the City of Langley Fire Rescue Service.
- VII. A property dedication of approximately 5m will be required on the 200<sup>th</sup> Street frontage of the proposed project to provide a ROW of 30m. Exact dedication to be determined by a legal land surveyor.
- VIII. An 8 m land dedication along the west side of the property is required, as outlined already by the City's Development Services Department and discussed with the Developer for a future access road to 45 A Ave. The temporary/interim access to 200 Street will be revoked and will only be used for fire truck emergency access only once the full access road to 45 A Ave. is established. This interim west lane shall be fenced with a 6-foot-high wood, composite, or aluminum fence along its north, west, and south boundaries.
- IX. New sidewalk, barrier curb, gutter will be required along the entire project frontage as per the City's DCM (SS-R01A) standard, complete with boulevard trees and a planting strip as per the City's DCM (SECTION 11.0) standard.
- X. At the Developer's expense, a Traffic Impact Assessment (TIA) will be completed per DCM Section 8.21. The proposed development plan and statistics, once ready, should be forwarded to the City Engineer to develop the scope of this traffic study. TIA reports must be approved by the City Engineer prior to taking the application to Council. The TIA completion timing must be prior to the holding of a Public Hearing.

- XI. The condition of the existing pavement along the proposed project's frontages shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate, it shall be remediated at the developer's cost.
- XII. The site layout shall be designed by a civil engineer to ensure that the parking and access layout meets minimum design standards, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls and drive-aisles are accessible by the design vehicle.
- XIII. Existing and proposed street lighting along the entire project frontage shall be reviewed by a qualified lighting consultant to ensure street lighting and lighting levels meet the City's DCM standards. Any required upgrades will be at the Developer's expense.
- XIV. Eliminate the existing overhead telecommunication wiring and poles along the development's 200 St. frontage project frontage by replacing with underground infrastructure.

**B) The Developer is required to deposit the following bonding and fees:**

- I. The City will require a Security Deposit based on the estimated construction costs of installing civil works, as approved by the City Engineer.
- II. The City will require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).
- III. A deposit for a storm, sanitary and water services is required, which will be determined by City staff after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
- IV. The City will require a \$3,000 bond for the installation of each water meter to current standards.
- V. A signed and sealed pavement cut form (Form F-2 of the City's DCM) shall be completed by the developer's consulting engineer. Upon the review and approval of the City Engineer of the submitted form, the corresponding Permanent pavement cut reinstatement and degradation fees shall be paid by the Developer.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the

developer with an estimate of connections costs, and the Developer will declare in writing that the estimate is acceptable.

C) The Developer is required to adhere to the following conditions:

- I. Unless otherwise specified, all engineering works shall be designed based on the City's DCM specifications in accordance with the City's Subdivision and Development Servicing Bylaw 2021, No. 3126
- II. Undergrounding of hydro, telecommunication to the development site is required, complete with underground or at-grade transformer
- III. Transformers servicing developments are to be located on private property with maintenance access located on private property. All transformers to be wrapped upon installation by the Developer.
- IV. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner. Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.
- V. A water meter is required to be installed on private property, preferably in the mechanical room, in accordance to the City's DCM standards at the Developer's cost.
- VI. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
- VII. A *Stormceptor* or equivalent oil separator is required to treat site surface drainage.
- VIII. A complete set of record drawings (as-built), service record cards, a completed tangible capital asset form (TCA) all sealed by a Professional Engineer shall be submitted to the City within 60 days of the substantial completion date. Digital drawing files in .pdf and .dwg formats shall also be submitted. All the drawing submissions shall:
  - a. Use City's General Note Sheet and Title Block; and
  - b. Closely follow the format and sequence outlined in the City's DCM that will be provided to the Developer's Consulting Engineer.
- IX. The selection, location and spacing of street trees and landscaping are subject to the approval of the City Engineer. Please refer to the City's DCM for more details.
- X. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
- XI. If applicable, garbage and recycling enclosures shall accommodate on the site and be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update." Please refer to the



City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.

**Fire Department Comments:**

Fire department access for the whole project was reviewed to ensure adequate access was in place. An 8-metre laneway will need to be provided for access on the west side of the property. A construction fire safety plan shall be completed. A lockbox will need to be provided, location to be determined at a later date.

**Advisory Design Panel:**

In accordance with Development Application Procedures Bylaw No. 2488, the subject Zoning Bylaw amendment and Development Permit application will be reviewed by the Advisory Design Panel (ADP) at the October 18, 2023 meeting.

According to the Council-approved ADP Terms of Reference, the ADP is to provide form and character and urban design-related advice and recommendations for Council's consideration. ADP recommendations will be presented to Council through the ADP meeting minutes and, if applicable, through an additional City staff report, prior to Council consideration of the proposed Zoning Bylaw amendment and Development Permit Applications.

A copy of the ADP minutes will be presented to Langley City Council at a future Regular Council meeting.

**BUDGET IMPLICATIONS:**

In accordance with Bylaw No. 2482, the proposed development would contribute \$166,224.00 to City Development Cost Charge accounts and \$56,000.00 in Community Amenity Contributions.

Prepared by:



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Anton Metalnikov, RPP, MCIP  
Planner

Concurrence:



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Roy M. Beddow, RPP, MCIP  
Deputy Director of Development Services

Concurrence:



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Carl Johannsen, RPP, MCIP  
Director of Development Services

Concurrence:



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Hirod Gill  
Manager of Engineering Services

Concurrence:



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Scott Kennedy  
Fire Chief

*Attachments*



## DEVELOPMENT PERMIT APPLICATION DP 08-22 REZONING APPLICATION RZ 05-22

**Civic Addresses:** 4503 & 4513 200 Street  
**Legal Description:** Lot 253, Section 34, Township 7, New Westminster District, Plan 45033; Parcel "C" (Explanatory Plan 10176), North Half Lot 3, Block 2, Section 34, Township 7, New Westminster District, Plan 1783  
**Applicant:** 1328986 B.C. Ltd.  
**Owner:** 1328986 B.C. Ltd.





# 14 UNIT TOWNHOUSE DEVELOPMENT

4503, 4513 200 STREET, LANGLEY



## CONTACT LIST:

### DEVELOPER :

LEONE HOMES INC.  
238-13986 CAMBIE ROAD  
RICHMOND, B.C. V6V 2K3  
TEL : 604 418 8678  
EMAIL : manny@leonehomes.ca

### ARCHITECT :

F. ADAB ARCHITECTS INC.  
130 - 1000 ROOSEVELT CRESCENT  
NORTH VANCOUVER, B.C. V7P 3R4  
TEL : 604 987 3003  
EMAIL : azar@multigonfadb.com

### SURVEYOR :

SOUTH FRASER LAND SURVEYING LTD.  
202-19292, 601H AVE.  
SURREY, B.C. V3S 3M2  
TEL : 604 599 1886  
EMAIL : kuljinder@southfrasersurvey.ca

### CIVIL ENGINEER :

CENTRAS ENGINEERING LTD  
216-2630 CROYDON DR.  
SURREY, B.C. V3S 6T3  
TEL : 604 782 6927  
EMAIL : steve@centras.ca

### LANDSCAPE ARCHITECT :

M2 LANDSCAPE ARCHITECTURE  
220-26 LORNE MEWS  
NEW WESTMINSTER, B.C. V3M 3L7  
TEL : 604 553 0044  
EMAIL : meredith.mitchell@m2la.com

### CPED CONSULTANT :

LIAHONA SECURITY  
P.O. BOX 88  
MILL BAY, B.C. V0R 2P0  
TEL : 250 743 8948  
EMAIL : liahonasecurity@shaw.ca

### ELECTRICAL :

PRIMARY ENGINEERING  
209 - 8327  
EASTLAKE DRIVE, BURNABY  
B.C. V5A 4W2  
TEL : 604 558 0401  
EMAIL : krai@primaryeng.com

## LIST OF DRAWINGS :

- A-1.0 PROJECT INDEX - CONTACTS LIST
- A-1.1 CONTEXT PLAN
- A-1.2 AERIAL MAP -CONTEXT PHOTOS
- A-1.3 SURVEY PLAN
- A-1.4 SITE PLAN
- A-1.5 PROJECT STATISTICS
- A-1.6 PERSPECTIVE VIEW
- A-1.7 COLOURED ELEVATIONS
- A-1.8 DESIGN RATIONALE - SITE CHARACTERISTICS, MASSING, FORM AND CHARACTER
- A-1.9 DESIGN RATIONALE- LIVABILITY, ENERGY SAVING AND GREEN MEASURES
- A-1.10 DESIGN RATIONALE- CPED
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- A-3.1 BLOCK 1 ELEVATIONS (NORTH & EAST)
- A-3.2 BLOCK 1 ELEVATIONS (SOUTH & WEST)
- A-3.3 BLOCK 2 ELEVATIONS (SOUTH & EAST)
- A-3.4 BLOCK 2 ELEVATIONS (NORTH & WEST)
- A-4.1 BLOCK 1 SECTIONS
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- L0 COLORED PLAN
- L1 TREE PLAN
- L2 SHRUB PLAN
- L3 LANDSCAPE DETAILS
- L4 LANDSCAPE SPECIFICATIONS



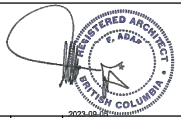
**F. ADAB  
ARCHITECTS  
INC.**

#130-1000 ROOSEVELT CRESCENT  
NORTH VANCOUVER, BC V7P 3R4  
TEL: (604) 987-3003 FAX: (604) 987-3003  
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NO.	DATE	REVISION /ISSUED
4	AUG 26 - 23	ISSUED FOR ADP MEETING
3	MAR 14 - 22	ISSUED FOR REZONING & DP
2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING

PROJECT TITLE:  
**TOWNHOUSE  
DEVELOPMENT**  
4503, 4513 - 200 STREET,  
LANGLEY, BC.  
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

### DRAWING TITLE:

**COVER PAGE :  
DRAWING INDEX AND  
CONTACTS LIST**

DATE:	Sep 2021	SHEET NO:
SCALE:	NTS.	<b>A-1.0</b>
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO:	-	

**46 AVENUE**

**45a AVENUE**

**45 AVENUE**

**198 C St**

**199 St**

**199a St**

**200 STREET**

**45 B Ave**

**45 A Ave**

**Hunter Park**

**SITE** →

**CITY OF LANGLEY**

**TOWNSHIP OF LANGLEY**

**ELEMENTARY SCHOOL**



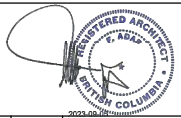
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ARCHITECTS  
INC.**

#130-1000 ROOSEVELT CRESCENT  
NORTH VANCOUVER, BC V7P 3R4  
TEL: (604) 987-3003 FAX: (604) 987-3003  
E-MAIL: mfa@multigonfab.com

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2023-09-09		
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1	FEB 15 - 22	ISSUED FOR ADP MEETING
NO.	DATE	REVISION / ISSUED

**PROJECT TITLE:**  
**TOWNHOUSE  
DEVELOPMENT**  
4503, 4513 - 200 STREET,  
LANGLEY, BC.  
**FOR:**  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
CONTEXT PLAN

DATE: Sep 2021	SHEET NO:  <b>A-1.1</b>
SCALE: NTS.	
DESIGN: AA.	
DRAWN: AA.	
PROJECT NO: -	

A-1.1

AERIAL MAP



F. ADAB  
ARCHITECTS  
INC.

#1304-000 ROOSEVELT CRESCENT  
NORTH VANCOUVER, BC V7P 3H4  
TEL: (604) 987-2003 FAX: (604) 987-2003  
EMAIL: info@mulgurfadab.com

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4503, 4513 - 200 STREET,  
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FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**AERIAL MAP AND  
CONTEXT PHOTOS**

DATE:	Sep 2021	SHEET NO.:
SCALE:	NTS.	A-1.2
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO.:	-	



B.C. LAND SURVEYOR'S PLAN SHOWING TOPOGRAPHIC SURVEY ON LOT 253 PLAN 45033 AND PARCEL "C" (EXPLANATORY PLAN 10170) NORTH HALF LOT 3 BLOCK 2 PLAN 1783 BOTH IN SECTION 34 TOWNSHIP 7 NEW WESTMINSTER DISTRICT

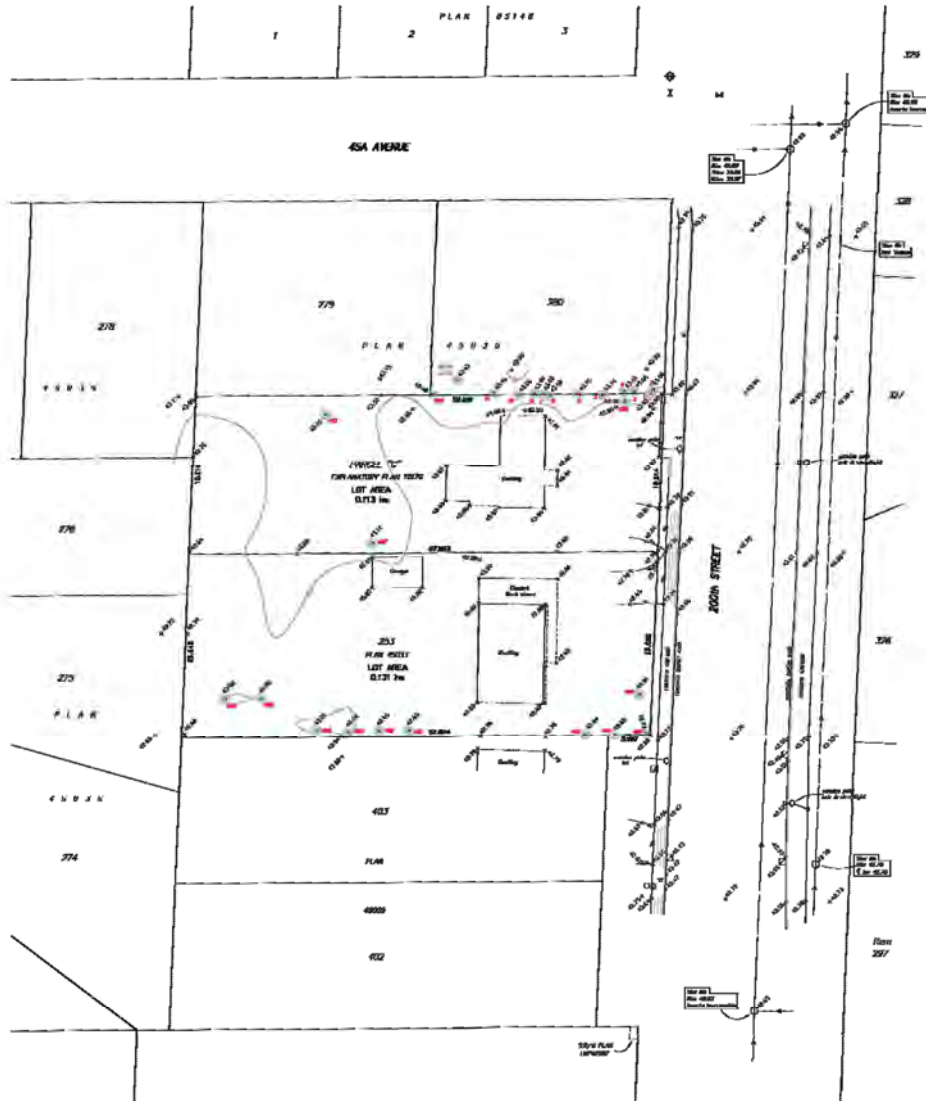


THE INFORMATION ON THIS PLAN IS BASED ON THE DATA PROVIDED BY THE SURVEYOR AND IS NOT TO BE USED FOR ANY OTHER PURPOSE.

PLAN, MAP, AND SURVEY DATA
DATE: 2021-09-01
BY: F. ADAB ARCHITECTS INC.

NOTE: LOT DIMENSIONS FROM FIELD SURVEY

NO.	DESCRIPTION	DATE
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**F. ADAB ARCHITECTS INC.**

4105-106 HOOVER CRESCENT  
NORTH VANCOUVER, BC V7P 3N4  
TEL: (604) 967-0000 FAX: (604) 967-0003  
EMAIL: info@faden.com

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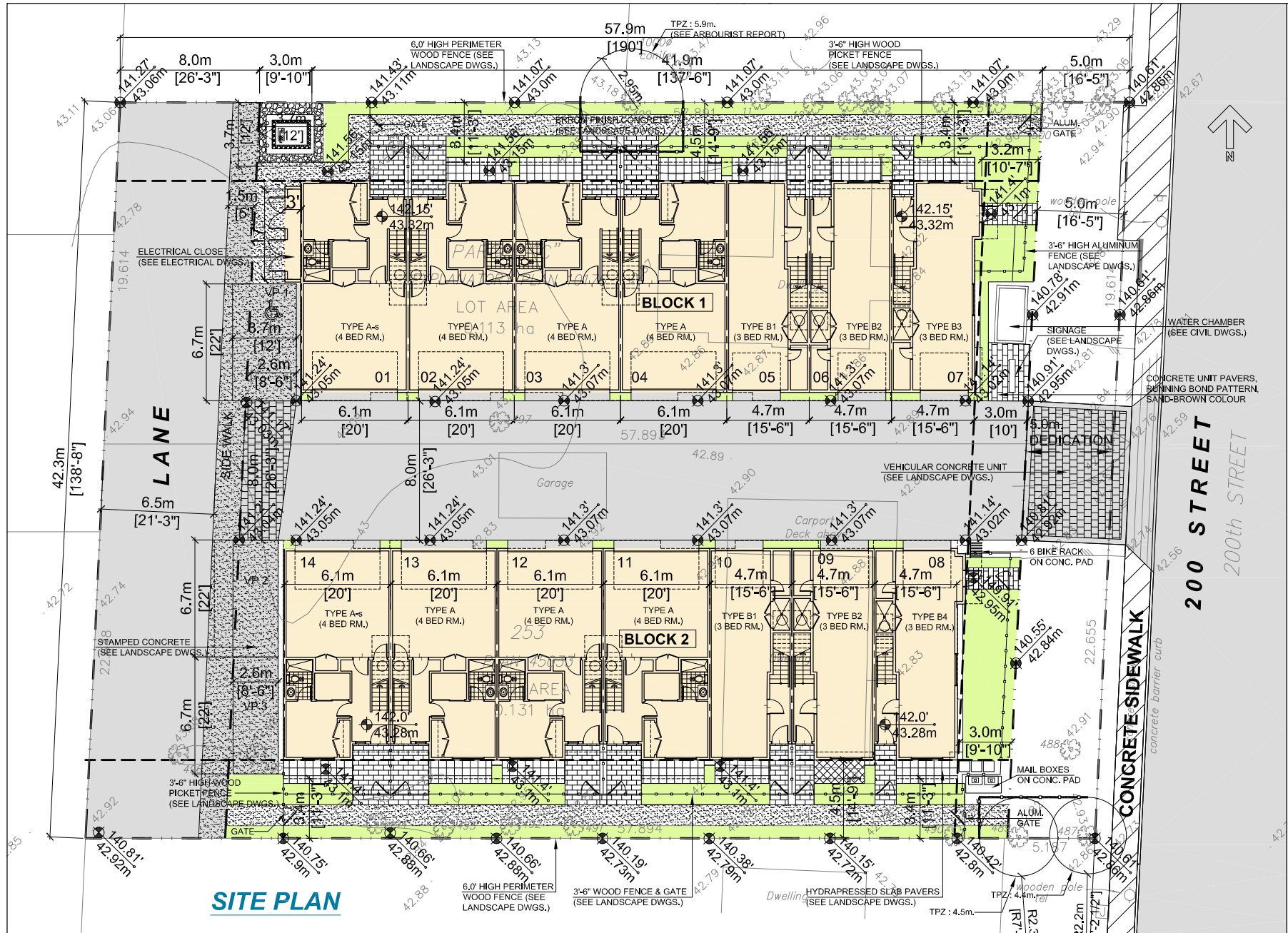
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PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
4503, 4513 - 200 STREET,  
LANGLEY, BC.

FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**SURVEY PLAN**

DATE:	Sep 2021	SHEET NO:
SCALE:	NTS	<b>A-1.3</b>
DESIGN:	A.A.	
DRAWING:	A.A.	
PROJECT NO:	-	



**SITE PLAN**



**F. ADAB  
ARCHITECTS  
INC.**

#138-1000 ROOSEVELT CRESCENT  
NORTH VANCOUVER, BC V7P 3B4  
TEL: (604) 987-0003 FAX: (604) 987-0033  
E-MAIL: info@fadabarchitects.com

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238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**SITE PLAN**

DATE:	Sep 2021	SHEET NO:	A-1.4
SCALE:	NTS.		
DESIGN:	A.A.		
DRAWN:	A.A.		
PROJECT NO:	-		

## STATISTICS :

### CIVIC ADDRESS :

4503 & 4513, 200 STREET, LANGLEY, BC.

### LEGAL DESCRIPTION :

LOT 253, PLAN 45033 AND PARCEL "C" (EXPLANATORY PLAN 10176) NORTH HALF LOT 3, BLOCK 2, PLAN 1783 BOTH IN SECTION 34, TOWNSHIP 7, NEW WESTMINSTER DISTRICT

### ZONING :

EXISTING : RS1  
PROPOSED : CD

### SITE AREA :

BEFORE DEDICATION : 26265 SQ.FT.=2440.0 m<sup>2</sup> : 0.60 ACRE  
(0.242 HA.)  
AFTER DEDICATION : 21261 SQ.FT. = 1975.1 m<sup>2</sup> : 0.488 ACRE  
(0.197 HA.)

### FLOOR AREA :

#### BLOCK 1 :

FIRST FLOOR : 4939 SQ.FT.  
SECOND FLOOR : 5126 SQ.FT.  
THIRD FLOOR : 5126 SQ.FT.  
TOTAL AREA : 15191 SQ.FT.

#### BLOCK 2 :

FIRST FLOOR : 4941 SQ.FT.  
SECOND FLOOR : 5126 SQ.FT.  
THIRD FLOOR : 5126 SQ.FT.  
TOTAL AREA : 15195 SQ.FT.

TOTAL AREA OF TWO BLOCKS :  
30384 SQ.FT. = 2823.1 m<sup>2</sup>

### FSR :

ALLOWED : 1.2  
PROVIDED : 30384 / 26265 = 1.15

### SITE COVERAGE :

ALLOWED : 45%  
PROVIDED : 10252 / 26265 = 39%

### DENSITY :

PROPOSED : 0.242(HA) / 14 = 57.8 UNIT / HECTAR

### HEIGHT :

ALLOWED : 11m.  
PROPOSED : 30'=9.1m. (3 STOREYS)

### SETBACKS :

	MIN.REQUIRED	PROVIDED
EAST (200 ST.)	: 3m.(9'-10")	3m.(9'-10")
NORTH	: 4.5m.(14'-9")	4.5m.(14'-9")
SOUTH	: 4.5m.(14'-9")	4.5m.(14'-9")
WEST	: 3m.(9'-10")	3m.(9'-10")

### PARKING :

	REQUIRED	PROVIDED
2 STALLS / UNIT	: 2X14 = 28	28
VISITORS : 0.2/UNIT	: 02X14=2.8	3
(INCLUDING ONE ACCESSIBLE)		

UNIT MIX				
UNIT TYPE	NO. OF BED RM.	NO. OF UNITS	AREA (SQ.FT.)	TOTAL AREA (SQ.FT.)
A	4	6	2390	14340
A-s	4	2	2390	4780
B1	3	2	1853	3706
B2	3	2	1814	3628
B3	3	1	1965	1965
B4	3	1	1965	1965
TOTAL		14		30384



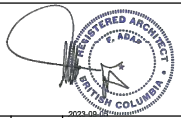
**F. ADAB  
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3	MAR 14 - 22	ISSUED FOR REZONING & DCP
2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:  
**TOWNHOUSE  
DEVELOPMENT**  
4503, 4513 - 200 STREET,  
LANGLEY, BC.  
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMEL ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**STATISTICS**

DATE:	Sep 2021	SHEET NO:
SCALE:	NTS.	<b>A-1.5</b>
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO:	-	





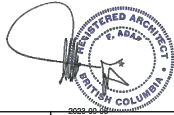
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4503, 4513 - 200 STREET,  
LANGLEY, BC.  
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**PERSPECTIVE VIEW  
FROM 200 STREET**

DATE:	Sep 2021	SHEET NO:
SCALE:	NTS.	
DESIGN:	AJA	A-1.6
DRAWN:	AJA	
PROJECT NO:	-	



BLOCK 1 NORTH ELEVATION



BLOCK 2 NORTH ELEVATION



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**TOWNHOUSE  
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4503, 4513 + 200 STREET,  
LANGLEY, BC,  
FOR:  
**LEONE HOMES INC.**  
238 + 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**COLORED ELEVATIONS**

DATE:	Sep 2021	SHEET NO:
SCALE:	NTS.	<b>A-1.7</b>
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO:	-	



## **Design Rationale / Statement of Intent**

4503 - 4513 200 Street, Langley, BC

### **Introduction**

This Design Rationale is to be read as part of a rezoning and development application for a 14-unit townhome development at 4503 and 4513, 200 Street, Langley.

For detailed information refer to the architectural, landscape, civil drawings, rendering and other related documents.

### **Site Characteristics, History and Context**

This development proposal would occupy two single family lots with an area of 2,440 sqm or 0.6 acres and faces 200 Street to the east. The site is almost flat with a very little slope from west to east.

There is 5.0 meter dedication along 200 Street and a 8-meter future lane dedication on the west side. The future lane dedication will be connected to 45a Avenue to the north and should pass through the neighbouring property. This is contingent on the two properties to the north being assembled and developed in the future. The purpose of proposing this lane is to provide vehicular access to the site and close off the temporary access from 200 Street.

The proposed development seeks rezoning from RS1 to CD (Townhouse) and consists of two separate building blocks. Each building contains of three 3 bedrooms units and four 4 bedroom units. Each building contains 3 tandem car parking garages and 4 double care garages. The average size of the unit ranges from 1,360 to 1,985 sq.ft.

### **Orientation, Massing, Form and Character**

The Buildings orientation responds to the size and shape of the site. The access to the units are provided through a pedestrian walkway off 200 Street. Low aluminum fence and gates are introduced along the street providing a safe and pleasant pedestrian routes to the entries of the units.

From massing point of view, the buildings have been designed to create visually appealing character by variations on the roof lines with combination of shed roof and high pitch gables. Some of the units have vaulted ceiling and taller windows.

Architectural expression and finishing material demonstrate an urban character with emphasis on creating tall projected bay element with architectural articulations and detailing. The façade elements include repetitive bay windows, high pitched roof lines and a combination of gables / shed roofs.

Typical approach toward the design is accommodating a guest room at ground floor, open concept kitchen, dining and living on the 2nd floor and 3 bedrooms on the 3rd floor. The upper floors have high vaulted ceilings and tall windows in order to introduce a farm house style architecture with identifiable bays and raised gables.

Spandrel glass between the windows is introduced to further emphasis on tall gables farm house style.

Three visitor parking are provided at the rear of the site, male box and signage are proposed along 200 Street.



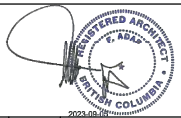
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4503, 4513 + 200 STREET,  
LANGLEY, BC.  
  
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**DESIGN RATIONALE  
SITE CHARACTERISTICS, FORM  
MASSING AND ORIENTATION**

DATE:	Sep 2021	SHEET NO:
SCALE:	N/A	<b>A-1.8</b>
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO:	-	



### Livability, Energy Saving and Green Measures

*Many green building strategies have been incorporated into the project design including the following items:*

- The building envelope, glazing, and mechanical system will be design based on the 2018 code and in compliance with ASHRE 90, 2010
- Selection of the material is based on the use of low / non-toxic, low-maintenance, durable and sustainable products. Low emission adhesives paint and flooring will also be used throughout the units
- Water efficient fixtures, energy efficient appliances and drought tolerance plants will be used to minimize the use of potable water
- All units have private patios at grade and also decks on the 2nd floor contributing to livability of the units and creating a family oriented environment
- The water consumption strategy is enforced through the use of alternate solution for sprinkler system by utilizing the domestic cold water system instead of a separate sprinkler line.
- Mechanical system is equipped with heat pump system providing both cool and hot air as well as heat recovery system 'HRV' for recycling the heat energy.

All garages are equipped with electric chargers.



## 200 ST. STREETSCAPE



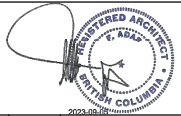
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**TOWNHOUSE  
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4503, 4513 + 200 STREET,  
LANGLEY, BC.  
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**DESIGN RATIONALE  
LIVABILITY, ENERGY SAVING  
AND GREEN MEASURES**

DATE:	Sep 2021	SHEET NO:
SCALE:	N/A	<b>A-1.9</b>
DESIGN:	A.A.	
DRAWING:	A.A.	
PROJECT NO:	-	

### Crime Prevention Through Environmental Design. "CPTED"

The criteria of a safe and secure environment have been discussed with Liahona Security and a CPTED report has been prepared and submitted to the City of Langley and the owners for implementation.

The rationale behind the CPTED strategy takes into account the standard measures as well as items specifically related to this development. These provisions are aimed to enhance safety and strengthen the perception of security.

**The proposed CPTED measure fall into the following categories:**

*Provision of identifiable territoriality*

*Provision of natural surveillance*

*Defining the hierarchy of space*

*Provision of access and perimeter control*

- The windows and balconies along the streets ensure the outdoor presence of the people, which provide "eyes on the street" and security for the private and public spaces
- Lights would be installed on both sides of the home entries and garage doors illuminating the entire buildings and internal road. Outdoor lights are regulated by photo cell system
- The simplicity of the massing and its orientation creates an open space environment visible from every angle with no enclave or semi enclosed spaces for strangers and wandering people
- The access control is achieved by ensuring visible entrances overlooked by windows and balconies as well as defining the entrance ways and controlling the point of access to the site
- Brick has been introduced at the base of the building presenting a durable and high quality base free of graffiti
- Landscaping, plants, and fences are designed to prevent hidden spaces and secure residents control. The Strata Corporation should implement a maintenance manual.



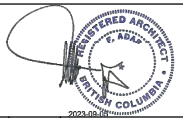
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**TOWNHOUSE  
DEVELOPMENT**  
4503, 4513 + 200 STREET,  
LANGLEY, BC.  
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**DESIGN RATIONALE  
CPTED**

DATE:	Sep 2021	SHEET NO:
SCALE:	N/A	<b>A-1.10</b>
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO:	-	

## Exterior Finishes and Colour

The selection of the exterior finishes is based on enhanced durability / longevity of the construction materials as part of a sustainable approach.

A variety of building materials are used with emphasis on brick, prefabricated board and batten panels and hardy siding. No vinyl siding is introduced on any facades of the buildings.

The colours are selected with emphasis on creating moderate contrast by using grey brick at the base and combination of grey and white sidings and board and batten. Widows, roof, privacy screens and railings are black.

Metal shed roof is proposed over the entry canopies and some of the windows on 2nd floor. Natural wood colour for brackets and balcony decks are proposed at the base of the building.



## EXTERIOR FINISH COLOUR SCHEME



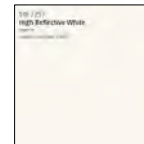
- 1**  
**ASPHALT SHINGLE :**  
DRIFTWOOD - BY CERTAINTEED



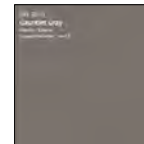
- 2**  
**BRICK :**  
ONYX-IRONSPOT BY I.X.L



- 3**  
**METAL ROOF**  
VW 6515 TWILIGHT BLUE  
BY VICWEST



- 4**  
**HARDIE BOARD & BATTEN &  
6" HORIZONTAL HARDIE SIDING**  
SW 7757 REFLECTIVE WHITE  
BY SHERWIN WILLIAMS



- 5**  
**6" HORIZONTAL HARDIE SIDING**  
SW 7019 GAUNTLET GRAY  
BY SHERWIN WILLIAMS



- 6**  
**CEDAR WOOD :**  
CLEAR STAINED



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1	FEB 15 - 22	ISSUED FOR ADP MEETING

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**TOWNHOUSE  
DEVELOPMENT**  
4503, 4513 - 200 STREET,  
LANGLEY, BC.  
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**EXTERIOR FINISHES**

DATE: Sep 2021	SHEET NO:
SCALE: NTS	
DESIGN: A.A.	<b>A-1.11</b>
DRAWN: A.A.	
PROJECT NO: -	



## Landscape design rationale

The landscape design proposes a soft urban edge to the townhouse development with unique paving identifying unit entrances and row of plantings at street and fence frontages. Each residence enjoys a private patio garden with room for furnishings by the homeowner.

Planting includes trees and a wide variety of native and seasonably interesting shrubs, ground covers, and perennials and will provide passive shading to the southern exposure of the units. Trees offer contextual beauty to the walkways in front of units and enhances wildlife habitat.

The current site layout provides for safe onsite circulation for vehicles and pedestrian traffic with convenient access to all building entries. There are additional visitor parking stalls onsite.

We believe the proposed design maximizes the potential of the site while providing many sustainability attributes and promoting a form and character that is suited to the local neighbourhood.



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**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**DESIGN RATIONALE  
LANDSCAPE**

DATE:	Sep 2021	SHEET NO:
SCALE:	N/A	<b>A-1.12</b>
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO:	-	

# SHADOW ANALYSIS



MARCH 21 - 9 AM



MARCH 21 - 12 PM



MARCH 21 - 3 PM



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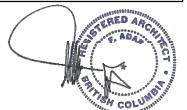


		2023-08-05
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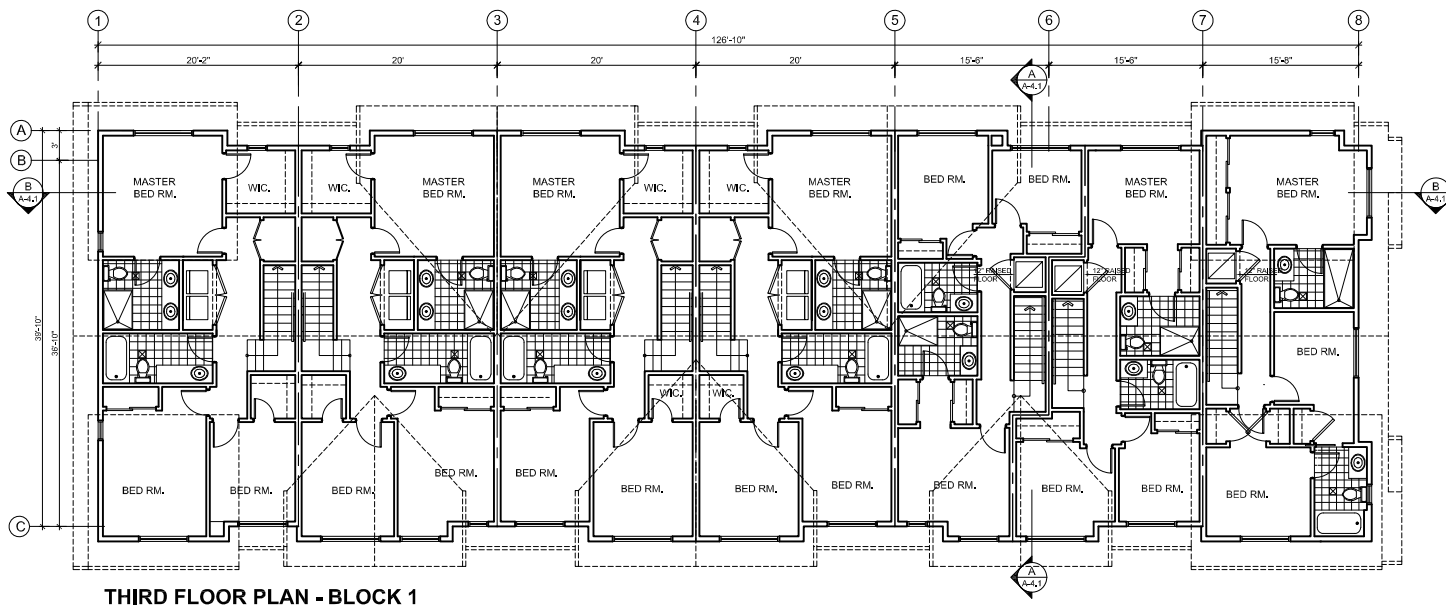
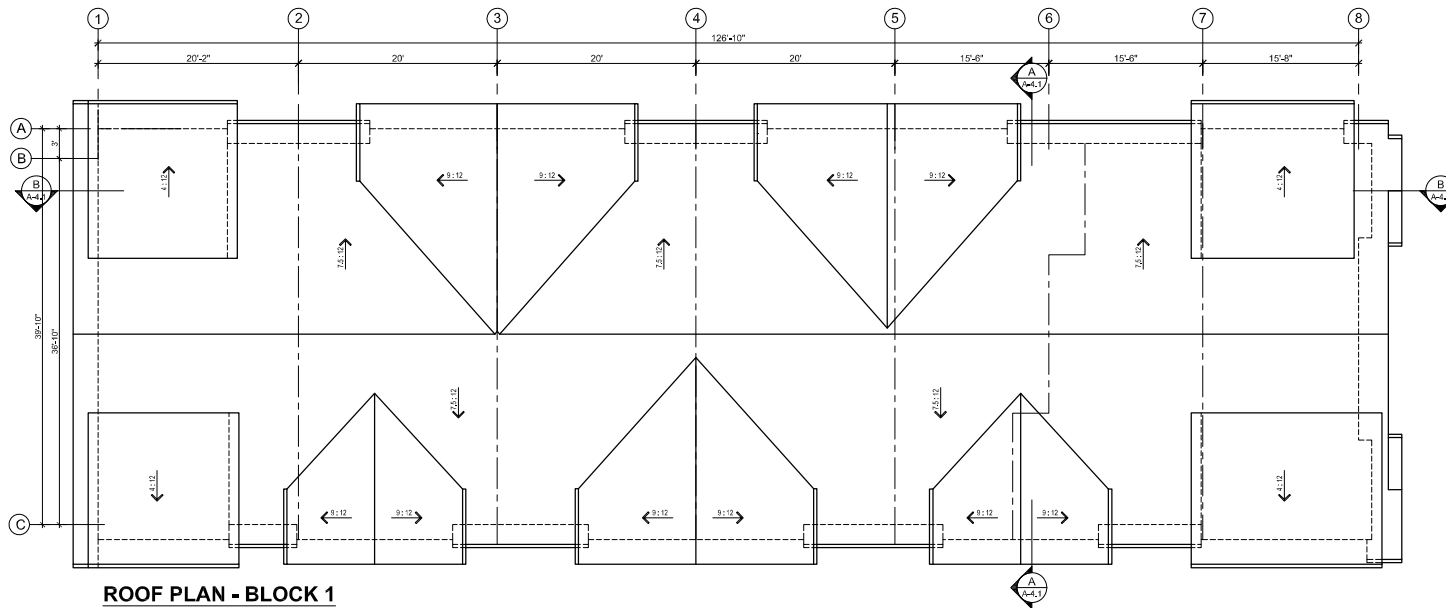
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**SHADOW ANALYSIS**

DATE:	Sep 2021	SHEET NO:
SCALE:	NTS	<b>A-1.13</b>
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO:	-	



DATE: Sep 2021	SHEET NO:  <b>A-2.1</b>
SCALE: NTS.	
DESIGN: AA	
DRAWN: AA	
PROJECT NO: -	





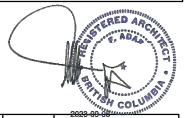
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TEL: (604) 987-0003 FAX: (604) 987-0033  
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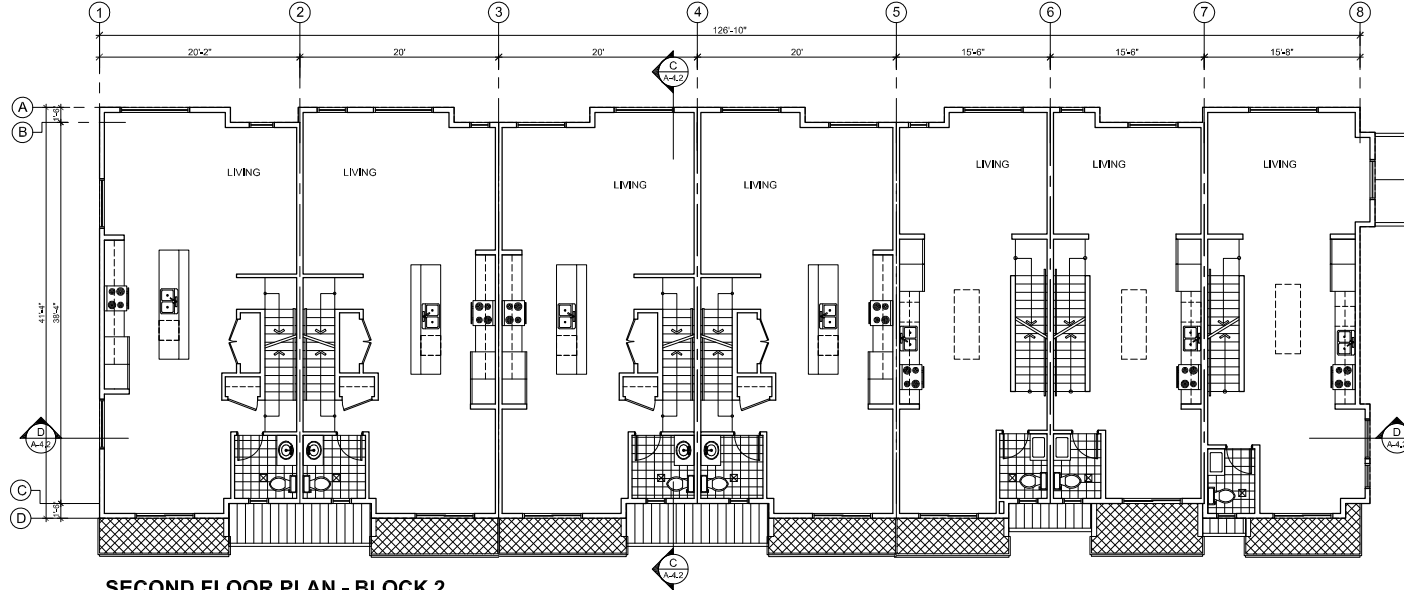


NO.	DATE	REVISION / ISSUED
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3	MAR 14 - 22	ISSUED FOR REZONING & DP
2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING

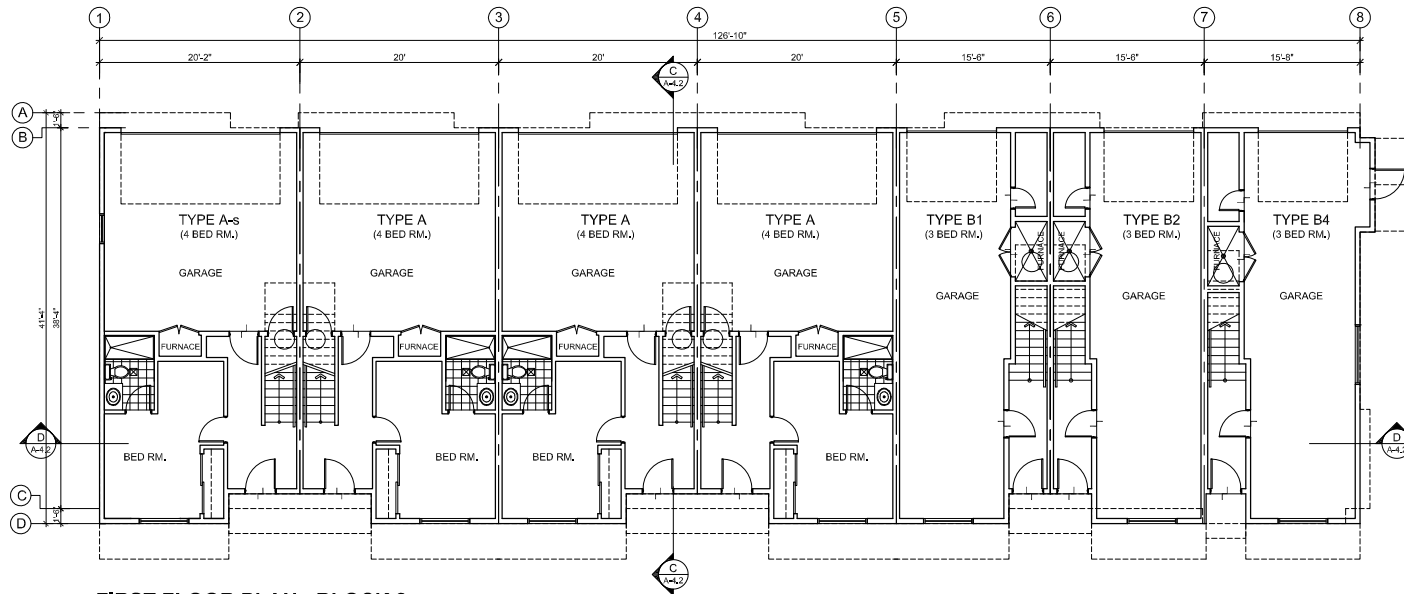
PROJECT TITLE:  
**TOWNHOUSE  
DEVELOPMENT**  
4503, 4513 - 200 STREET,  
LANGLEY, BC.  
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**BLOCK 1  
THIRD FLOOR AND  
ROOF PLANS**

DATE: Sep 2021	SHEET NO:
SCALE: NTS.	
DESIGN: AA	A-2.2
DRAWN: AA	
PROJECT NO: -	



**SECOND FLOOR PLAN - BLOCK 2**



**FIRST FLOOR PLAN - BLOCK 2**



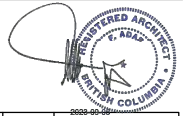
**F. ADAB  
ARCHITECTS  
INC.**

#130-1000 ROOSEVELT CRESCENT  
NORTH VANCOUVER, BC V7P 3B4  
TEL: (604) 987-0003 FAX: (604) 987-0033  
E-MAIL: info@fjadab.com

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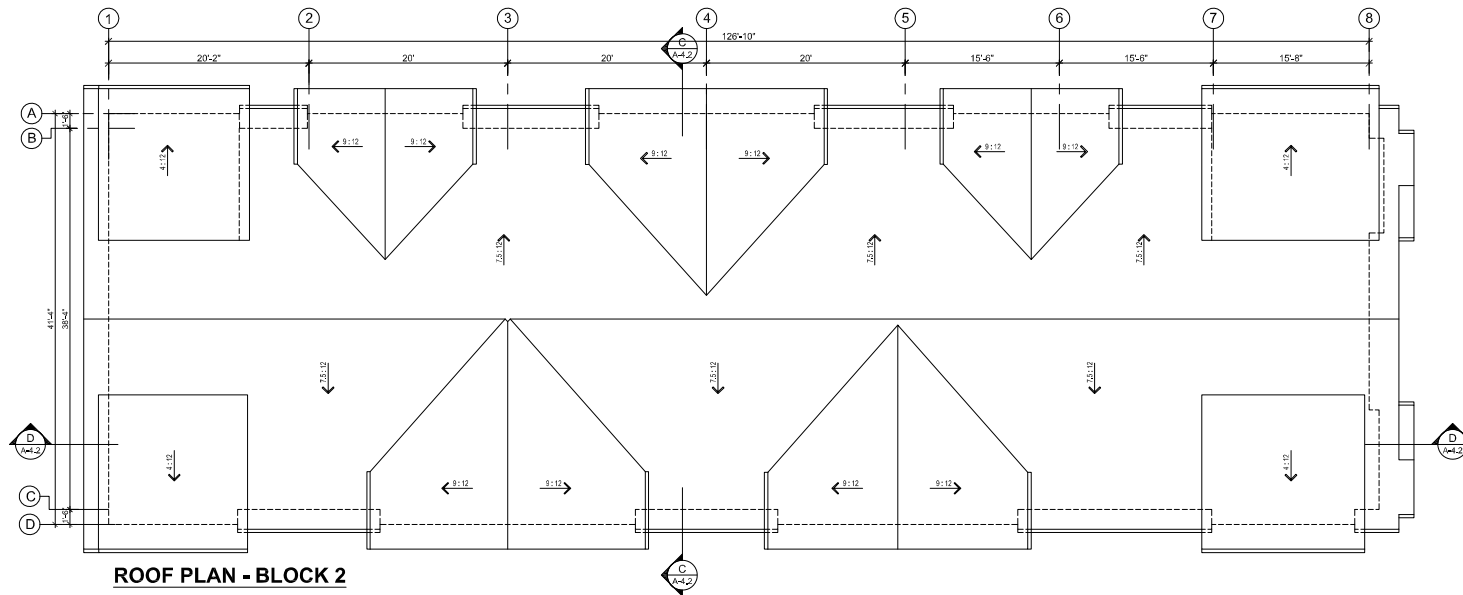


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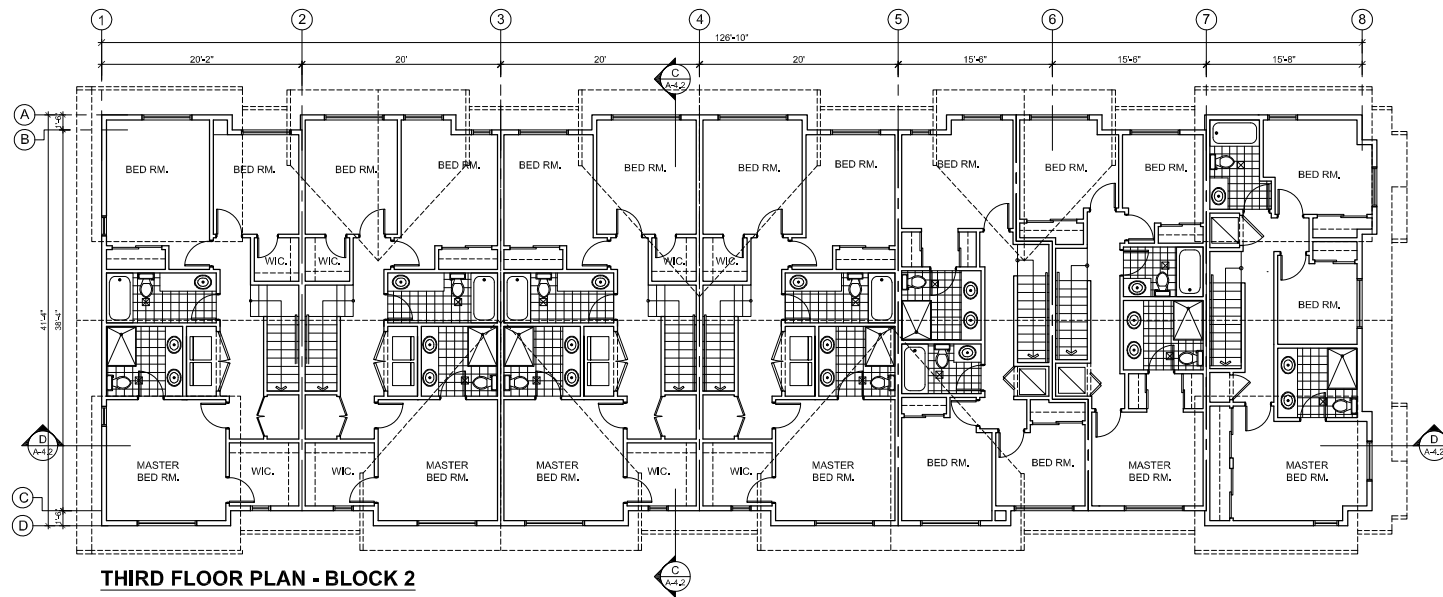
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**TOWNHOUSE  
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4503, 4513 - 200 STREET,  
LANGLEY, BC.  
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

**DRAWING TITLE:**  
**BLOCK 2  
FIRST AND SECOND  
FLOOR PLANS**

DATE:	Sep 2021	SHEET NO:
SCALE:	NTS.	
DESIGN:	AA	<b>A-2.3</b>
DRAWN:	AA	
PROJECT NO:	-	



**ROOF PLAN - BLOCK 2**



**THIRD FLOOR PLAN - BLOCK 2**



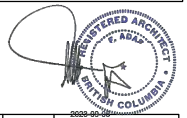
# **F. ADAB ARCHITECTS INC.**

#130-1000 ROOSEVELT CRESCENT  
NORTH VANCOUVER, BC V7P 3B4  
TEL: (604) 987-0003 FAX: (604) 987-0033  
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DEVELOPMENT**  
4503, 4513 - 200 STREET,  
LANGLEY, BC.

## **FOR:**

**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

















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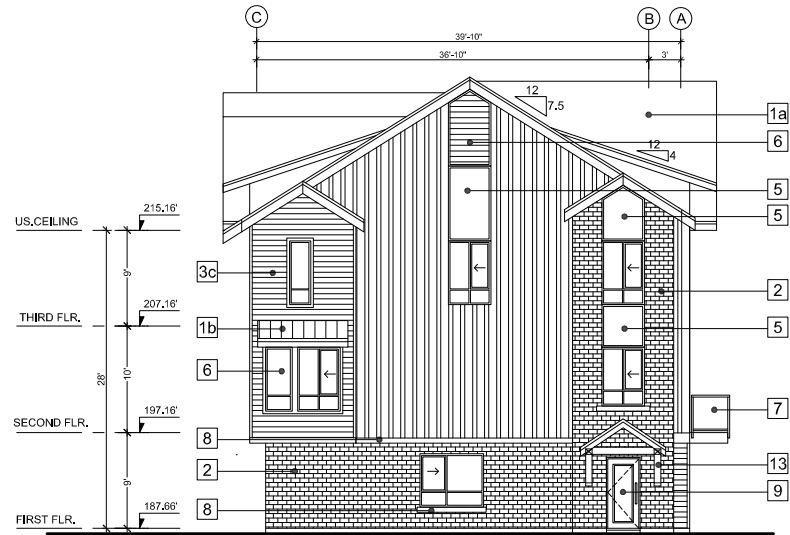
**BLOCK 2  
THIRD FLOOR AND  
ROOF PLANS**

DATE:	Sep 2021	SHEET NO:
SCALE:	NTS.	<b>A-2.4</b>
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO:	-	



## EXTERIOR FINISHES

- 1a  **ASPHALT SHINGLE ROOF :**  
DRIFTWOOD - BY CERTAINTED  
(FASCIA TO MATCH ROOF COLOR)
- 1b  **GALVANIZED METAL ROOF :**  
VW 6515 TWILIGHT BLUE-BY VICHNEST  
(FASCIA TO MATCH ROOF COLOR)
- 2  **BRICK**  
ONYX IRONSPOT SMOOTH - BY LXL
- 3a  **6" HORIZONTAL HARDE SIDING,**  
**TRIMS & BAND BOARDS -**  
SW 7757 REFLECTIVE WHITE-BY SHERWIN WILLIAMS (256)
- 3b  **6" HORIZONTAL HARDE SIDING,**  
**TRIMS & BAND BOARDS -**  
SW 7019 GAUNTLET GRAY - BY SHERWIN WILLIAMS (244)
- 3c  **6" HORIZONTAL HARDE SIDING,**  
**TRIMS & BAND BOARDS -**  
SW 7069 IRON ORE - BY SHERWIN WILLIAMS (251)
- 4  **HARDE BOARD & BATTEN & TRIMS -**  
SW 7757 REFLECTIVE WHITE-  
BY SHERWIN WILLIAMS
- 5  **SPANDREL**  
CLEAR GLASS WITH PAINTED WALL BEHIND -  
WALL : SW 7019 GAUNTLET GRAY BY SHERWIN WILLIAMS
- 6  **WINDOWS - VENT GRILLES**  
VINYL-BLACK
- 7  **RAILING**  
- ALUMINUM - BLACK  
- SAFETY GLASS WITH BLACK ALUMINUM FRAME
- 8  **PRE-CAST CONCRETE SILL AND CAP**  
SW 0055 LIGHT FRENCH GRAY - BY SHERWIN WILLIAMS
- 9  **ENTRY DOORS**  
STAINED CEDAR WOOD
- 10  **GARAGE DOORS**  
- SW 7757 REFLECTIVE WHITE- BY SHERWIN WILLIAMS  
- GLASS
- 11  **PRIVACY SCREEN**  
- BLACK ALUMINUM FRAME  
- OBSCURE GLASS
- 12  **BALCONY FASCIA & CURB**  
STAINED CEDAR WOOD
- 13  **BRACKETS**  
STAINED CEDAR WOOD



**EAST ELEVATION - BLOCK 1**



**NORTH ELEVATION - BLOCK 1**



## F. ADAB ARCHITECTS INC.

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E-MAIL: fadab@fadamadab.com

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**PROJECT TITLE:**  
**TOWNHOUSE  
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4503, 4513 - 200 STREET,  
LANGLEY, BC.  
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

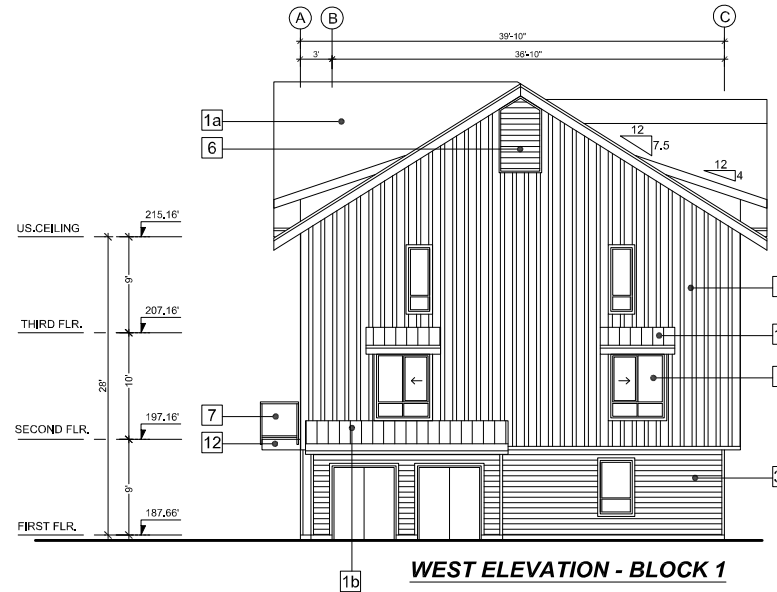
**DRAWING TITLE:**  
**BLOCK 1 NORTH & EAST  
ELEVATIONS**

DATE: Sep 2021	SHEET NO:
SCALE: NTS.	
DESIGN: AA	
DRAWING: AA	
PROJECT NO: -	

**A-3.1**

EXTERIOR FINISHES

- 14 ASPHALT SHINGLE ROOF:  
DRETFWOOD - BY CERTANTEED  
(FASCEA TO MATCH ROOF COLOR)
- 15 GALVANIZED METAL ROOF:  
VW 6515 TWILIGHT BLUE - BY VIOVIEST  
(FASCEA TO MATCH ROOF COLOR)
- 2 BRICK  
ONYX (IRONSPOT SMOOTH - BY LXL)
- 3a 6" HORIZONTAL HARDIE SIDING,  
TRIMS & BAND BOARDS -  
SW 7757 REFLECTIVE WHITE - BY SHERWIN WILLIAMS (256)
- 3b 6" HORIZONTAL HARDIE SIDING,  
TRIMS & BAND BOARDS -  
SW 7019 GAUNTLET GRAY - BY SHERWIN WILLIAMS (244)
- 3c 6" HORIZONTAL HARDIE SIDING,  
TRIMS & BAND BOARDS -  
SW 7069 IRON ORE - BY SHERWIN WILLIAMS (251)
- 4 HARDIE BOARD & BATTEN & TRIMS -  
SW 7757 REFLECTIVE WHITE -  
BY SHERWIN WILLIAMS
- 5 SPANDREL  
CLEAR GLASS WITH PAINTED WALL BEHIND -  
WALL: SW 7019 GAUNTLET GRAY BY SHERWIN WILLIAMS
- 6 WINDOWS - VENT GRILLES  
VINYL - BLACK
- 7 RAILING  
- ALUMINUM - BLACK  
- SAFETY GLASS WITH BLACK ALUMINUM FRAME
- 8 PRE-CAST CONCRETE SILL AND CAP  
SW 0055 LIGHT FRENCH GRAY - BY SHERWIN WILLIAMS
- 9 ENTRY DOORS  
STAINED CEDAR WOOD
- 10 GARAGE DOORS  
- SW 7757 REFLECTIVE WHITE - BY SHERWIN WILLIAMS  
- GLASS
- 11 PRIVACY SCREEN  
- BLACK ALUMINUM FRAME  
- OBSCURE GLASS
- 12 BALCONY FASCIA & CURB  
STAINED CEDAR WOOD
- 13 BRACKETS  
STAINED CEDAR WOOD



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E-MAIL: fna@mfadab.com

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4503, 4513 - 200 STREET,  
LANGLEY, BC,  
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

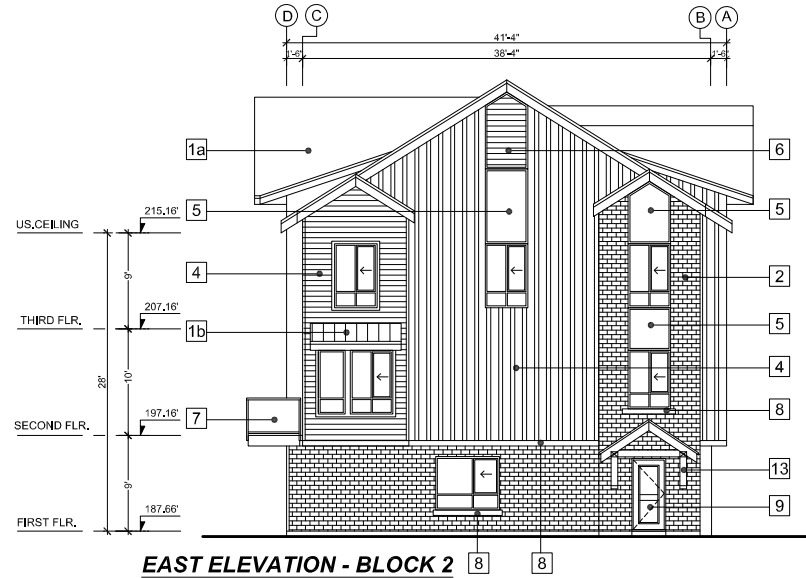
DRAWING TITLE:  
**BLOCK 1 SOUTH & WEST  
ELEVATIONS**

DATE:	Sep 2021	SHEET NO:
SCALE:	NTS.	
DESIGN:	AA	
DRAWING:	AA	
PROJECT NO:	-	

**A-3.2**

## EXTERIOR FINISHES

- |    |   |
|----|---|
| 1a | ASPHALT SHINGLE ROOF :<br>DRIFTWOOD - BY CERTANTEED<br>(FASCIA TO MATCH ROOF COLOR)                     |
| 1b | GALVANIZED METAL ROOF :<br>VW 6516 TWILIGHT BLUE - BY VIEWWEST<br>(FASCIA TO MATCH ROOF COLOR)          |
| 2  | BRICK<br>ONYX IRONSPOT SMOOTH - BY I.X.L.   |
| 3a | 6" HORIZONTAL HARDIE SIDING,<br>TRIMS & BAND BOARDS -<br>SW 7757 REFLECTIVE WHITE - BY SHERWIN WILLIAMS |
| 3b | 6" HORIZONTAL HARDIE SIDING,<br>TRIMS & BAND BOARDS -<br>SW 7019 GAUNTLET GRAY - BY SHERWIN WILLIAMS    |
| 4  | HARDIE BOARD & BATTEN & TRIMS -<br>SW 7757 REFLECTIVE WHITE -<br>BY SHERWIN WILLIAMS                    |
| 5  | SPANDREL<br>CLEAR GLASS WITH PAINTED WALL BEHIND -<br>WALL : SW 7019 GAUNTLET GRAY BY SHERWIN WILLIAMS  |
| 6  | WINDOWS - VENT GRILLES<br>VINYL - BLACK   |
| 7  | RAILING<br>- ALUMINUM - BLACK<br>- SAFETY GLASS WITH BLACK ALUMINUM FRAME                               |
| 8  | PRE-CAST CONCRETE SILL AND CAP<br>SW 0055 LIGHT FRENCH GRAY - BY SHERWIN WILLIAMS                       |
| 9  | ENTRY DOORS<br>STAINED CEDAR WOOD   |
| 10 | GARAGE DOORS<br>- SW 7757 REFLECTIVE WHITE - BY SHERWIN WILLIAMS<br>- GLASS                             |
| 11 | PRIVACY SCREEN<br>- BLACK ALUMINUM FRAME<br>- OBSCURE GLASS   |
| 12 | BALCONY FASCIA & CURB<br>STAINED CEDAR WOOD   |
| 13 | BRACKETS<br>STAINED CEDAR WOOD  |



## F. ADAB ARCHITECTS INC.

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FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, BC, V6V 2K3

**DRAWING TITLE:**  
**BLOCK 2 SOUTH & EAST  
ELEVATIONS**

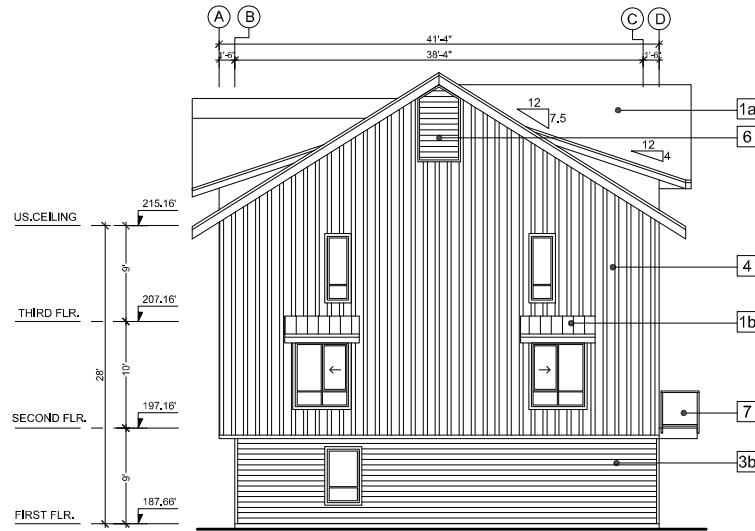
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SCALE: NTS.	
DESIGN: AA	
DRAWING: AA	
PROJECT NO: -	

**A-3.3**



## EXTERIOR FINISHES

- 1a ASPHALT SHINGLE ROOF :  
DRIFTWOOD - BY CERTANTEED  
(FASCIA TO MATCH ROOF COLOR)
- 1b GALVANIZED METAL ROOF :  
VW 6515 TWILIGHT BLUE - BY VIOWEST  
(FASCIA TO MATCH ROOF COLOR)
- 2 BRICK  
ONYX IRONSPOT SMOOTH - BY LXL
- 3a 6" HORIZONTAL HARDIE SIDING,  
TRIMS & BAND BOARDS -  
SW 7757 REFLECTIVE WHITE - BY SHERWIN WILLIAMS
- 3b 6" HORIZONTAL HARDIE SIDING,  
TRIMS & BAND BOARDS -  
SW 7019 GAUNTLET GRAY - BY SHERWIN WILLIAMS
- 4 HARDIE BOARD & BATTEN & TRIMS -  
SW 7757 REFLECTIVE WHITE -  
BY SHERWIN WILLIAMS
- 5 SPANDREL  
CLEAR GLASS WITH PAINTED WALL BEHIND -  
WALL : SW 7019 GAUNTLET GRAY BY SHERWIN WILLIAMS
- 6 WINDOWS - VENT GRILLES  
VINYL -BLACK
- 7 RAILING  
- ALUMINUM - BLACK  
- SAFETY GLASS WITH BLACK ALUMINUM FRAME
- 8 PRE-CAST CONCRETE SILL AND CAP  
SW 0055 LIGHT FRENCH GRAY - BY SHERWIN WILLIAMS
- 9 ENTRY DOORS  
STAINED CEDAR WOOD
- 10 GARAGE DOORS  
- SW 7757 REFLECTIVE WHITE - BY SHERWIN WILLIAMS  
- GLASS
- 11 PRIVACY SCREEN  
- BLACK ALUMINUM FRAME  
- OBSCURE GLASS
- 12 BALCONY FASCIA & CURB  
STAINED CEDAR WOOD
- 13 BRACKETS  
STAINED CEDAR WOOD



**WEST ELEVATION - BLOCK 2**



**NORTH ELEVATION - BLOCK 2**



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E-MAIL: fna@fmadadab.com

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LANGLEY, BC,  
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

**DRAWING TITLE:**  
**BLOCK 2 NORTH & WEST  
ELEVATIONS**

DATE:	Sep 2021	SHEET NO:
SCALE:	NTS.	
DESIGN:	AA	
DRAWING:	AA	
PROJECT NO:	-	

**A-3.4**



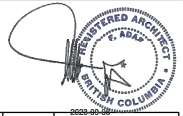
**F. ADAB  
ARCHITECTS  
INC.**

#138-1000 ROOSEVELT CRESCENT  
NORTH VANCOUVER, BC V7P 3B4  
TEL: (604) 987-0033 FAX: (604) 987-0033  
E-MAIL: info@muligordadab.com

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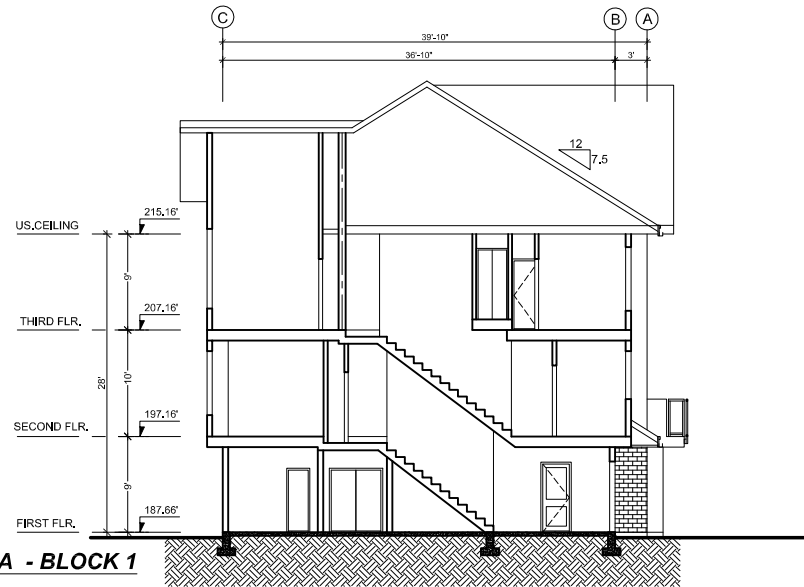
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4503, 4513 - 200 STREET,  
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FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**BLOCK 1  
SECTIONS A-A & B-B**

DATE:	Sep 2021	SHEET NO:
SCALE:	NTS.	
DESIGN:	AA	
DRAWING:	AA	
PROJECT NO:	-	

**A-4.1**



**SECTION A-A - BLOCK 1**



**SECTION B-B - BLOCK 1**



**F. ADAB  
ARCHITECTS  
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#138-1000 ROOSEVELT CRESCENT  
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Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawing.

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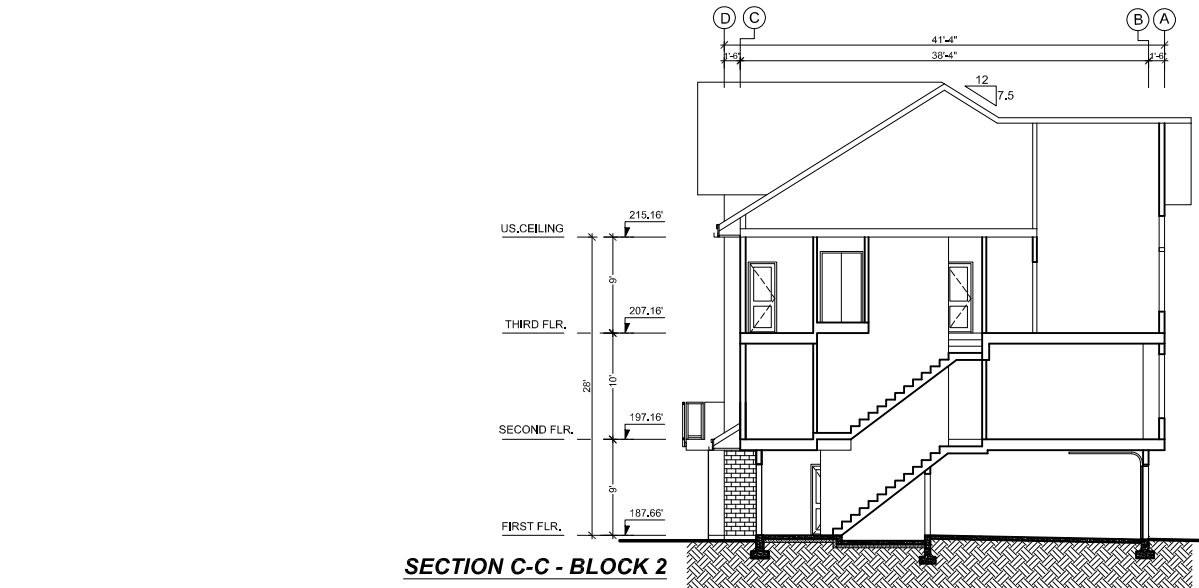
NO.	DATE	REVISION / ISSUED
4	AUG 25 - 23	ISSUED FOR ADP MEETING
3	MAR 14 - 22	ISSUED FOR REZONING & DP
2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING

PROJECT TITLE:  
**TOWNHOUSE  
DEVELOPMENT**  
4503, 4513 - 200 STREET,  
LANGLEY, BC,  
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**BLOCK 2  
SECTIONS C-C & D-D**

DATE:	Sep 2021	SHEET NO:
SCALE:	NTS.	<b>A-4.2</b>
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO:	-	

**SECTION C-C - BLOCK 2**



**SECTION D-D - BLOCK 2**



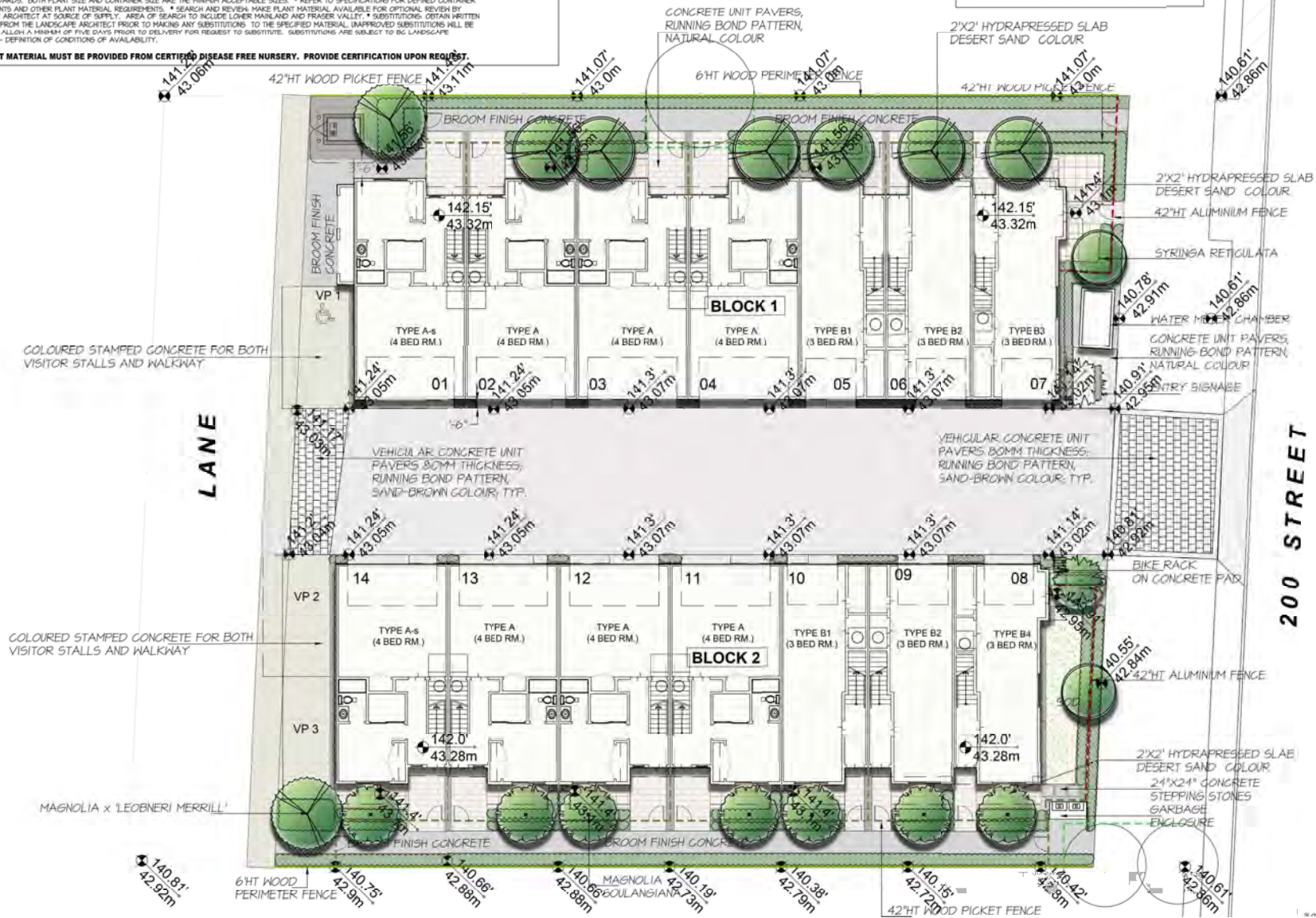


# PLANT SCHEDULE

KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
6	CERCIS CANADENSIS	EASTERN REDBUD	6CM CALIBR STD, B&B
1	MAGNOLIA SOULANGIANA	SAUCEUR MAGNOLIA	1.8 STD, B&B MULTI STEM
2	MAGNOLIA X LEONBERI MERRILL	MAGNOLIA	6CM CAL, 1.8M STD, SINGLE STEM, B&B
2	PIZZA ORNATA	SEBASTIAN SPRUCE	2.5M HT, B&B
2	SYRINGA RETICULATA	IVORY SILK TREE	6CM CAL, 1.8M STD, B&B

NOTES: \* PLANT QTY IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARDS, LATEST EDITION. CONTAINER QTY'S SPECIFIED AS PER COSTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SUBSTITUTIONS MATERIAL UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

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Email: office@m2la.com



NO.	DATE	REVISION DESCRIPTION	DR.
1	08/03/2021	REV AS PER NEW SITE PLAN	BN
2	08/03/2021	REV AS PER CITY COMMENTS	BN
3	08/03/2021	REV AS PER NEW SITE PLAN EXP	BN
4	08/03/2021	REV AS PER CITY COMMENTS	BN
5	08/03/2021	REV AS PER NEW SITE PLAN	BN
6	08/03/2021	ISSUED FOR EXP.	BN
7	08/03/2021	PRELIMINARY DRAWING	BN

PROJECT:  
**4503 200 STREET,  
CITY OF LANGLEY, BC**

DRAWING TITLE:  
**COLOURED  
PLAN**

DATE: NOV 30, 2021	DRAWING NUMBER:
SCALE: NTS	
DRAWN: BN	
DESIGN: BN	
CHECK: MTH	
M2LA PROJECT NUMBER:	2-078

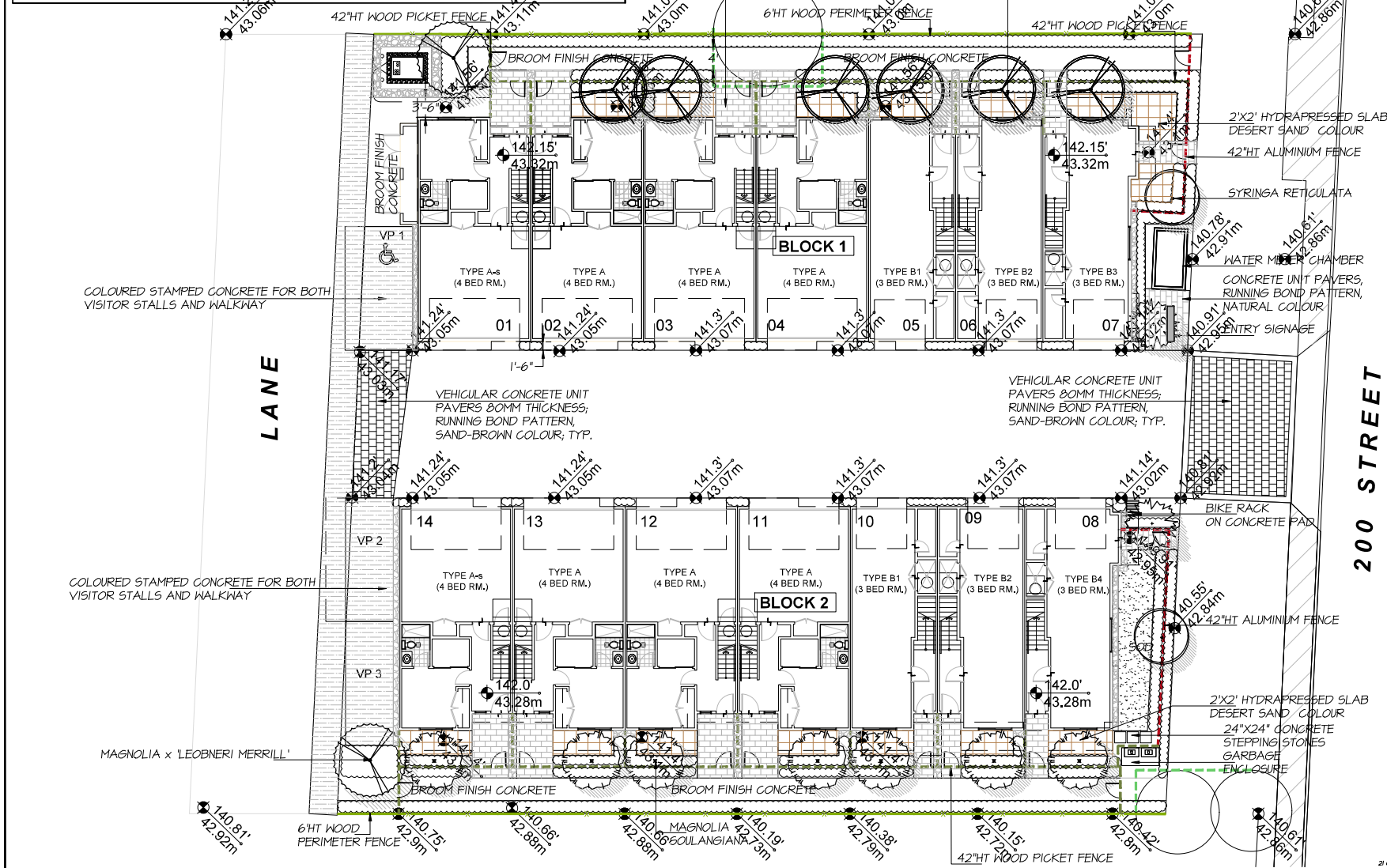
LO

OF 4

PLANT SCHEDULE				M2 JOB NUMBER: 21 078	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
TREE	6	GERGIS CANADENSIS	EASTERN REDBUD	6CM CAL, 80CM STD, B&B	18 STD, B&B MULTI STEM
	1	MAGNOLIA SOULANGIANA	SAUCEUR MAGNOLIA	6CM CAL, 12M STD, SINGLE STEM, B&B	
	2	MAGNOLIA x 'LEOBNERI MERRILL'	MAGNOLIA	2.5M HT, B&B	
	2	PIGEA OMORICA	SERBIAN SPRUCE	6CM CAL, 12M STD, B&B	
	2	SYRINGA RETICULATA	IVORY SILK TREE		

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CMTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: HANG PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

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NO.	DATE	REVISION DESCRIPTION	DR.
1	08/03/2021	REV AS PER NEW SITE PLAN	BN
2	10/03/2021	REV AS PER NEW SITE PLAN	BN
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PROJECT:  
**4503 200 STREET,  
CITY OF LANGLEY, BC**

DRAWING TITLE:	
<b>TREE PLAN</b>	
DATE: NOV/30/2021	DRAWING NUMBER:
SCALE: 1/8" = 1'-0"	
DRAWN: BN	<b>L1</b>
DESIGN: BN	
CHECK: MTL	
M2LA PROJECT NUMBER:	21 078-10-01



PLANT SCHEDULE

KEY QTY

BOTANICAL NAME

COMMON NAME

PLANTED SIZE / REMARKS

SHRUB

13

BUXUS MICROPHYLLA 'WINTER GEM'

LITTLE-LEAF BOX

#2 POT; 25CM

47

CHOISYA TERNAUTA 'SUNDANCE'

MEXICAN HOOK ORANGE

#2 POT; 40CM

46

ELONYMUS FORTUNEI 'COLORATUS'

WINTERKEEPER

#2 POT; 50CM

4

SKIMMIA JAPONICA (10% MALE)

JAPANESE SKIMMIA

#3 POT

221

TAXUS X MEDIA 'HICKSII'

HICKS YEW

# 5 POT

32

VEIBURNUM DAVIDII

DAVID'S VIBURNUM

#3 POT

52

CALLUNA VULGARIS 'DARK BEAUTY'

HEATHER, PINK

#1 POT

34

PACHYSANDRA TERMINALIS

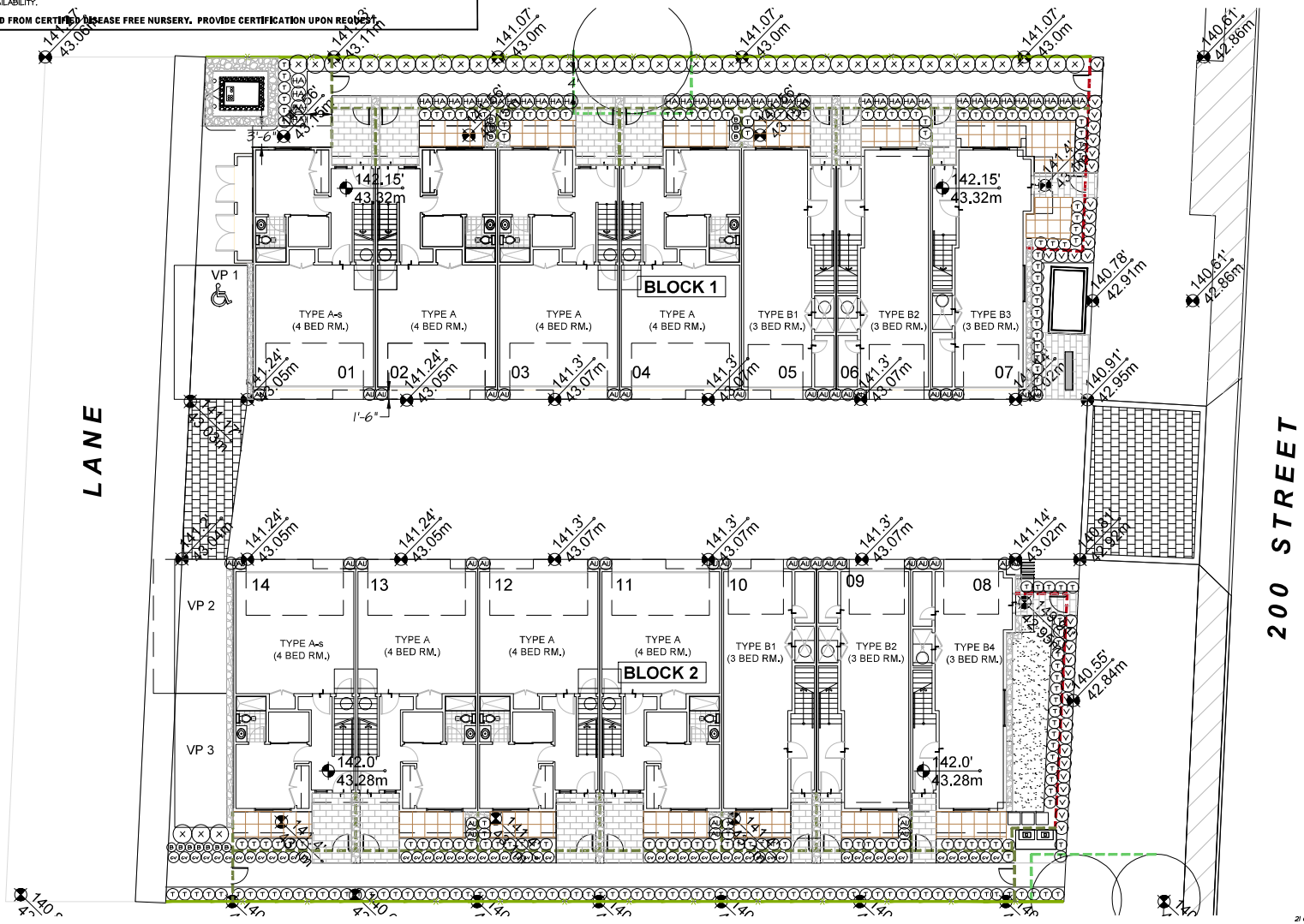
JAPANESE SPURGE

#1 POT; 15CM

NOTES:

\* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

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- TREE PROTECTION FENCE
- 42"HT ALUMINIUM FENCE
- 42"HT WOOD PICKET FENCE
- 6"HT WOOD PERIMETER FENCE

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M2

LANDSCAPE ARCHITECTURE

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V3M 3L7  
Tel: 604.553.0044  
Fax: 604.553.0045  
Email: office@m2la.com

↑

REGISTERED ARCHITECT  
B.C. ASSN.  
2023-05-05

1	08/01/2021	REV AS PER NEW SITE PLAN	BN
2	08/01/2021	REV AS PER CITY COMMENTS	BN
3	08/01/2021	REV AS PER NEW SITE PLAN	BN
4	08/01/2021	REV AS PER CLIENT COMMENT	BN
5	08/01/2021	REV AS PER NEW SITE PLAN	BN
6	08/01/2021	ISSUED FOR PER	BN
7	08/01/2021	PRELIMINARY DRAWING	BN

NO. DATE REVISION DESCRIPTION DR.

SEAL:

PROJECT:

4503 200 STREET,  
CITY OF LANGLEY, BC

DRAWING TITLE:

SHRUB  
PLAN

DATE: NOV 30, 2021

DRAWING NUMBER:

SCALE: 1/8" = 1'-0"

CHECKED: BN

DESIGN: BN

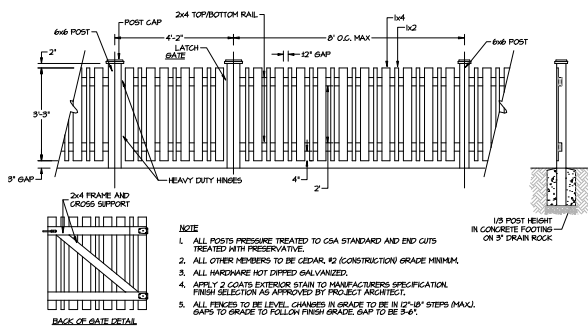
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CHIEF: MTLH

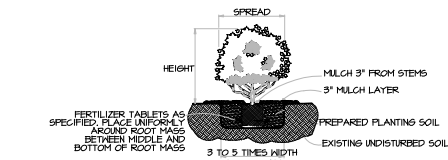
OF 4

M2LA PROJECT NUMBER:

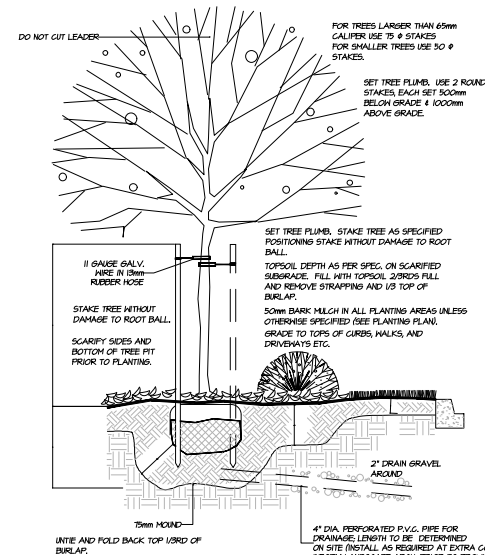
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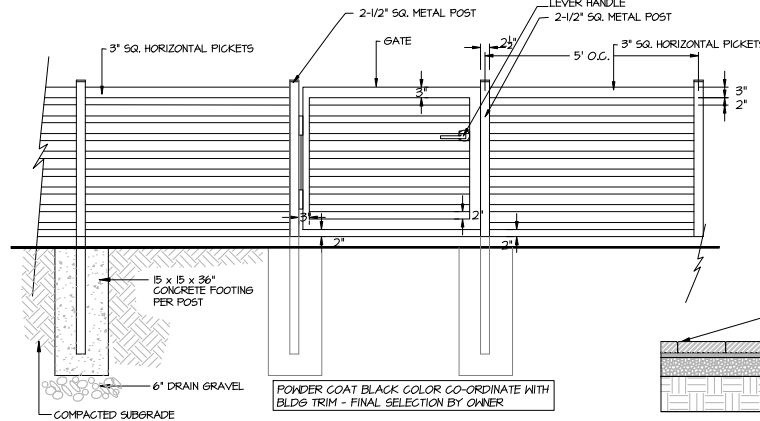
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L3 SCALE : 3/4" = 1'-0"



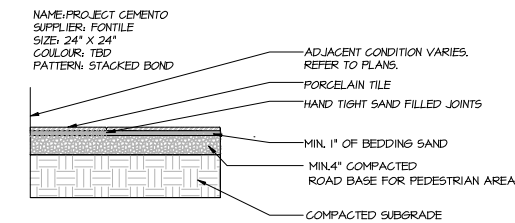
4 SHRUB & GROUNDCOVER PLANTING DETAIL  
L3 SCALE : NTS



8 TREE PLANTING DETAIL  
L3 SCALE : NTS



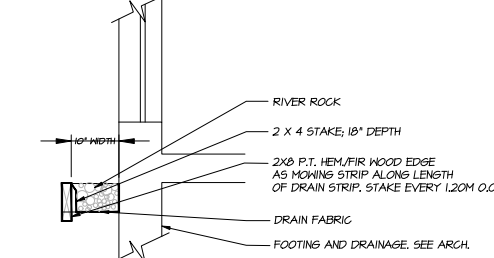
2 42"HT ALLUMINUM FENCE-ONLY @ 200 STREET  
L3 SCALE : 3/4" = 1'-0"



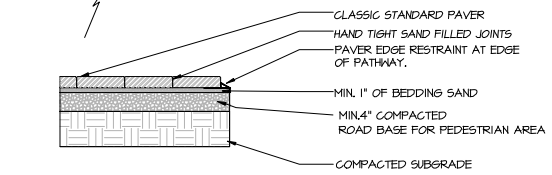
5 CONCRETE PAVER TYP.  
L3 SCALE : 1" = 1'-0"



6 SOD LAWN  
L3 SCALE : 1" = 1'-0"

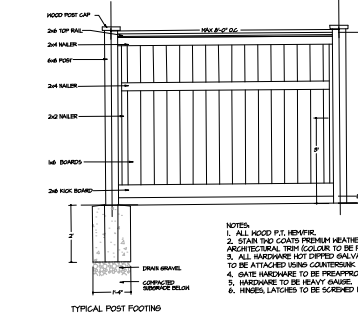


9 DRIP STRIP  
L3 SCALE : 1" = 1'-0"

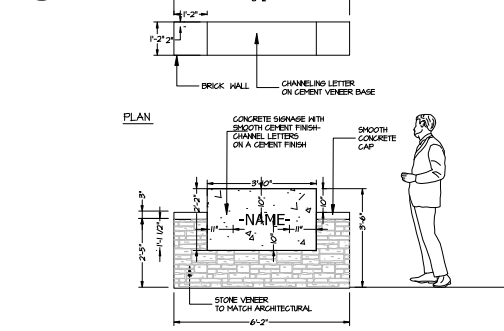


PAVERS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS  
ALL COMPACTION TO 98% PROCTOR DENSITY

3 CONCRETE PAVER TYP.  
L3 SCALE : 1" = 1'-0"



7 6'HT WOOD PERIMETER FENCE  
L3 SCALE : 1/2" = 1'-0"



10 ENTRY SIGNAGE  
L3 SCALE : 1/2" = 1'-0"

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V3M 3L7  
Tel: 604.553.0044  
Fax: 604.553.0045  
Email: office@m2la.com



NO.	DATE	REVISION DESCRIPTION	DR.
1	2023-05-18	PRELIMINARY DRAWING	BN
2	2023-05-18	SIGNED FOR E.P.	BN
3	2023-05-18	REV AS PER NEW SITE PLAN	BN
4	2023-05-18	REV AS PER CLIENT COMMENT	BN
5	2023-05-18	REV AS PER NEW SITE PLAN	BN
6	2023-05-18	REV AS PER CITY COMMENTS	BN
7	2023-05-18	REV AS PER NEW SITE PLAN	BN

PROJECT:  
**4503 200 STREET,  
CITY OF LANGLEY, BC**

DRAWING TITLE:  
**LANDSCAPE  
DETAILS**

DATE: NOV/30/2021 DRAWING NUMBER:  
SCALE: VARIES  
DRAWN: BN  
DESIGN: BN  
CHECK: MTH  
M2LA PROJECT NUMBER: 21-078-10-01

L3

OF 4  
21-078



