

CITY OF
LANGLEY



ADVISORY DESIGN PANEL

WEDNESDAY, MAY 29, 2024 AT 7:00 PM

Council Chambers
Langley City Hall
(In-Person Meeting)

A G E N D A

1) **AGENDA**

Adoption of the May 29, 2024 agenda.

2) **MINUTES**

Adoption of minutes from the April 3, 2024 meeting.

3) **DEVELOPMENT PERMIT APPLICATION DP 02-24**
ZONING BYLAW AMENDMENT APPLICATION RZ 02-24

6-storey, 95-unit apartment building at 5302 200 Street, 20030 53A Avenue, & 20011-20031 53 Avenue.

4) **NEXT MEETING**

June 19, 2024.

5) **ADJOURNMENT**



**MINUTES OF THE
ADVISORY DESIGN PANEL**

**HELD IN COUNCIL CHAMBERS,
LANGLEY CITY HALL**

**WEDNESDAY, APRIL 3, 2024
AT 7:03 PM**

Present: Councillor Paul Albrecht (Chair)
Councillor Mike Solyom (Co-Chair)
Mayor Nathan Pachal
Jaswinder Gabri
Matt Hassett
Dammy Ogunseitan
Tony Osborn
Ritti Suvilai

Absent: Blair Arbuthnot
Cst. Dennis Bell
Leslie Koole
Ella van Enter

Staff: C. Johannsen, Director of Development Services
K. Kenney, Corporate Officer
A. Metalnikov, Planner

Chair Albrecht began by acknowledging that the land on which we gather is on the traditional unceded territory of the Katzie, Kwantlen, Matsqui and Semiahmoo First Nations.

1) AGENDA

Adoption of the April 3, 2024 agenda.

It was **MOVED** and **SECONDED**

THAT the agenda for the April 3, 2024 Advisory Design Panel be approved.

CARRIED

2) **MINUTES**

Adoption of minutes from the March 13, 2024 meeting.

It was MOVED and SECONDED

THAT the minutes of the March 13, 2024 Advisory Design Panel meeting be approved as circulated.

CARRIED

3) **DEVELOPMENT PERMIT APPLICATION DP 13-23** **ZONING BYLAW AMENDMENT APPLICATION RZ 11-23**

5-storey, 132-unit apartment building at 20719-20731 Eastleigh Crescent.

Anton Metalnikov, Planner, spoke to the staff report dated March 22, 2024 and provided a brief overview of the Development Permit application.

In response to a question from a Panel member, staff advised that the lot adjacent to this property does meet the minimum lot width and area in the City's Zoning Bylaw (over 30 metres wide and over 1,850 m² in area). The site has previously had a conceptual design prepared for it by an architect which demonstrated its development potential as a single remaining parcel.

The Applicant team entered the meeting:

Andressa Linhares, Design Manager, Keystone Architecture & Planning
Noel Lim, Project Manager, Keystone Architecture & Planning
Jennifer Wall, Landscape Architect, Keystone Architecture & Planning

Mr. Lim presented the application, providing an overview of the development with details on the following:

- Project data;
- Site description;
- Site plan;
- Floor Plans;
 - Parkade level
 - 1 – 5 levels
 - Roof level
- Site sections; and
- Shadow Study.

Ms. Linhares provided information on the following:

- Context plans;
- Design rationale;
- Renderings:
 - South/West corner of development
 - North/West corner of development
 - North view of development
 - Main entrance
- Material palette.

Ms. Wall provided information on the Landscape design, providing information on the following:

- Landscape rendering;
- Patio pavers;
- Laser cut metal panel screening parkade entrance;
- Podium plan;
- Features/programming of amenity area;
- plant palette; and
- Podium rendering.

Panel members provided feedback on the form and character of the development and discussion took place regarding the following:

- A true terra cotta or true brown would be less jarring than the current accent colour which appears orange in the renderings;
- Amenity area lacks evergreen landscaping;
- Need higher privacy fence on private patios;
- Consider coloured rubber flooring for play area rather than black;
- Consider integrating recessed lighting for the main entrance;
- Consider using the same perforated metal used in the parking area for screening between units in order to give continuity, possibly in a light grey;
- use terra cotta square design on side of building facing Eastleigh Crescent to break up the green colour;
- put more greenery at north end of rooftop space;
- provide private patio, amenity space, or at least a window in the corridor on the roof, and pay attention to mechanical equipment up there;
- the roof on the entry area doesn't harmonize with rest of building, suggest using fewer elements;
- give more consideration to soffit material;
- reconfigure parkade exit stair to permit exit through lobby;
- review shadow studies with respect to location of vegetable planter boxes on northwest side to ensure there will be enough sun to grow things;
- transition grass boulevard at south facing side of building to a more active space such as a parkette;

- put some sort of treatment on roof of the indoor amenity space;
- put sunscreens on windows of south facing units;
- ensure plantings chosen will be sustainable in hotter conditions;
- ensure cars that drive into entrance have ability to turn around.

In response to questions from Panel members, the applicant team advised that:

- all the parking spots are wired to accommodate electric vehicles;
- the stairs from the parkade are within a secured area;
- the amenity room has full cooking facilities;
- the height of the privacy fencing on the private patios is 4ft. and is not a solid wood fence; like idea of lightening up programming below in amenity space;
- the private and community spaces will be delineated through the use of different coloured and textured pavers;
- coniferous trees could be used to add more evergreen trees to the podium; however, they are only 1m wide and would block sun to units, whereas deciduous trees are more open;
- the reason the rubber tiles for the play area are black is because they are the only ones that are a recycled product; the coloured ones aren't recycled; these tiles were also picked at they are complimentary to the other pavers in the area as they are the same size;
- access to the wheelchair ramp to the building is off 56th Ave.;
- it is a requirement that all entrances to the building be wheelchair accessible;
- the secondary entrance is intended to facilitate drop offs;
- the parking ramp is configured to rise half a level, where it splits into two accesses: one at the same level to the side to serve the surface parking area, and one that comes back down to the underground parking level;
- The loading zone was located at surface level to support compliance with Zoning Bylaw requirements on height clearance;
- although the applicant is open to other options for location of outdoor amenities, the location was chosen to ensure those areas would be shaded in summer when they would most often be used by residents;
- bike racks are located in the parkade; there are no bike racks above the first floor;
- there are perforated metal screen wraps all around the parkade; other than on the north or west side, it is possible for a light screen or more landscaping;
- no trees on-site are being retained;
- with respect to providing more accessibility to various amenities in the podium space, there is one open side on the picnic unit to accommodate a wheelchair, there is clearance around seating areas, they could remove one chair around the lounge table to accommodate a wheelchair; they could make some of the community garden boxes raised boxes;

- the building meets the City’s requirement for flood elevations;
- all appliances in the adaptable units are of wheelchair accessible height;
- the garbage room will have an automatic door opener;
- the stairway on the north elevation is gated;
- the applicant can look into the possibility of replacing the existing fencing on 208 Street with some recycled composite fencing that resembles wood;
- there will be non-intrusive downlighting in the amenity area;
- plantings will be chosen with consideration given to pollinators and those that are edible; given increasingly warmer seasonal temperatures, they may not be using native plants that require cooler temperatures.

The applicant team left the meeting.

It was MOVED and SECONDED

THAT:

1. The ADP receive the staff report for information; and
2. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
 - a. Consider softer earth tone shade of terra cotta material (i.e. less bright/orange and more representative of true terra cotta);
 - b. Provide more information on the amenity pavilion roof treatment, including considering a green roof or amenity access;
 - c. Review height of private unit patio fences adjacent to the courtyard for the openness/privacy trade-off;
 - d. Replace private unit patio fences with a more durable material (e.g. parkade podium fence material, recycled composite, etc.);
 - e. Consider opportunities for trees with greater winter visual interest, including additional evergreen plantings;
 - f. Consider incorporating coloured tiles in the children’s play area;
 - g. Provide more information on the logistics of waste & recycling pickup;
 - h. Review opportunities to improve solar access to outdoor amenity; space, including considering rooftop amenity areas on the 4th or 5th floors;
 - i. Consider potential for greening the parking podium fencing;
 - j. Consider greater use of the terra cotta colour on the Eastleigh Crescent and 208 Street elevations;
 - k. Provide more design attention to the north-facing wall on the 5th floor;
 - l. Provide more detail and drawings of the soffit materials;
 - m. Review the roof line for design harmony and interest;
 - n. Consider updating the southeast corner parkade exit stair to allow for exiting through the lobby;
 - o. Enhance the appearance of the entrance (e.g. deemphasizing the height of the brick wall, relocating utilities from east of the stairs,

- additional/enhanced landscaping, incorporating lighting into the podium wall, etc.);
- p. Review the positioning of the amenity pavilion for courtyard usability and garden plot viability and accessibility, including seating;
 - q. Review the design of the fronting green at the corner of Eastleigh Crescent and 56 Avenue;
 - r. Review south-facing windows for shading;
 - s. Update parkade ramp configuration to allow for turnaround by visitors.

**4) DEVELOPMENT PERMIT APPLICATION DP 10-23
ZONING BYLAW AMENDMENT APPLICATION RZ 09-23**

26-unit townhome complex at 5030-5064 208 Street & 20845 50A Avenue.

Anton Metalnikov, Planner, spoke to the staff report dated March 21, 2024 and provided a brief overview of the Development Permit application.

In response to questions from Panel members, staff advised that:

- there is a requirement to create a connection through the development from 50A Avenue to the park and it will be on the east edge of the property;
- as properties along 208 Street are developed, the goal is to transform the frontage and public realm by having a dedicated bike lane and tree strip added with private properties also being required to plant trees in order to create a double tree streetscape.
- The development will step down at the southeast end to be consistent with the height of a single family home;
- The City's Townhome and Plex-Home Best Practices Guide aims for an 8-metre setback between 3-storey townhomes and adjacent properties designated for single-detached homes in the OCP. While the southeast unit has its 3-storey portion set back 7 metres, it is sited beside the neighbouring property's front driveway and avoids backyard shadowing and privacy impacts. In addition, the 2-storey portion of this unit is set back 5.6 metres, compared to the standard 1.5 metre requirement. The unit adjacent to the neighbouring property's backyard is set back 8.6 metres;
- No balconies face the neighbouring single-detached property, and a new 6-foot fence will be installed for privacy;
- a statutory right-of-way in favour of the City and public access will be required over the park pathway to ensure the future strata cannot close it;
- fencing will be provided along the full length of the park pathway, with a gate from the path into the townhome complex itself. The path will feel like a separate public space;

- likely there will be different owners of the neighbouring properties to the north so there will be a requirement to provide cross access between the future developments.

The Applicant team entered the meeting:

Jaspreet Dayal, Owner
Caelan Griffiths, Principal, PMG Landscape Architects
Rajinder Warraich, Principal, Flat Architecture

Mr. Warraich presented the application, providing an overview of the development with details on the following:

- Site plan
- Material sheet;
- Buildings 1, 2, 3, 4, 5, 6, and 7
 - Main floor plan;
 - Top floor and roof plan;
 - Elevations;
- Renderings; and
- Shadow analysis.

Mr. Griffiths provided an overview of the landscape plan, with details on the following amenities:

- use of climate resilient trees;
- bike rack;
- park access;
- bike parking;
- community garden boxes;
- small outdoor dining area;
- pathways from back yards to front yards;
- blueberry bushes at end of pathways;
- colour and surfacing of concrete pavers to distinguish parking areas; and
- landscape lighting at outdoor amenity space.

Panel members provided feedback on the form and character of the development and discussion took place regarding the following:

- possibility of creating a pedestrian access through the middle of the development so residents don't have to walk so far to access units;
- site signage for way finding is important;
- possibility of having some architectural features, including windows, to break up massing on the end of the building facing 50th Ave.;
- privacy screening between decks is not shown on the renderings;
- landscaping is all one height, possibility of including some vertical features including taller coniferous trees;
- given the small size of the amenity space, garden boxes may not be the best amenity use for that area;

- recommend not putting shrubs between parking spots as it could be dangerous for children to play in that area where they are screened from approaching cars.

The applicant team responded to questions from Panel members, advising that:

- although they are currently meeting parking requirements, there is the potential for another parking spot;
- there will be metal privacy fencing between unit entries and balconies;
- more windows can be placed in some areas of the side of the buildings;
- the outdoor amenity space will be made secure with a four foot picket fence and lighting;
- the pathway orientation to the amenity space was necessary as space was needed for the last parking space adjacent to the amenity area;
- heat pumps are being used in the development;
- the applicant is waiting for an acoustics report to be conducted to determine whether extra sound attenuation features will be required for the buildings;
- metal fencing will be used on 208 Street and will be the same all the way around and will be 6 ft. high; the fencing against the park will be opaque;
- all yards will have gates.

Staff clarified that the fencing along the park is intended to be 4 ft. aluminum picket fencing, but alternative styles can be looked at.

The applicant team left the meeting.

Staff further clarified that no gates are allowed in the fencing along the park from units facing the park.

Panel members provided further feedback on the following:

- the area where the bike rack is located doesn't seem very secure;
- the location of the postal box for the development needs to be included on the rendering;
- would like architectural rendering showing true streetscape for Council.

In response to questions from Panel members, staff advised that:

- the bike rack area is intended for visitors;
- the pad for BC Hydro is located next to the bike rack as BC Hydro requires immediate drive up access;
- staff can report back on the potential for having addresses placed on the back of units to assist emergency services and delivery drivers in identifying units within the complex;
- the PMT, bike rack, and amenity space cannot swap spaces with the townhome blocks as this space is needed to provide the necessary setback with the neighbouring single-detached property;
- per new Provincial legislation, as of July 1 this neighbouring property will be able to build up to 4 units (e.g. fourplex);

- staff are continuing to work with the applicant and Engineering Department to be able to retain large trees on 208 Street where possible;
- Updated renderings with more accurate streetscape will be provided;
- noise attenuation is a requirement within the City’s Development Permit Area Guidelines.

The Panel compiled a list of recommendations for the applicant.

It was MOVED and SECONDED
THAT:

3. The ADP receive the staff report for information; and
4. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
 - a. Review opportunities for additional pedestrian access between internal lane and 208 Street;
 - b. Provide information on wayfinding, including unit addressing on the internal lane side;
 - c. Provide more detail on privacy fencing between unit patios and balconies;
 - d. Incorporate more design interest to side elevations, especially along 50A Avenue (e.g. windows, ornamentation, symmetry, landscaping, etc.);
 - e. Review opportunities to provide additional larger coniferous trees
 - f. Review protection between the outdoor amenity area and visitor parking spaces;
 - g. Review security of the visitor bicycle rack;
 - h. Show mailbox pad on drawings.

CARRIED

5) NEXT MEETING

April 24, 2024

6) ADJOURNMENT

It was MOVED and SECONDED

THAT the meeting adjourn at 9:25 pm.

CARRIED



ADVISORY DESIGN PANEL CHAIR



CORPORATE OFFICER

CITY OF
LANGLEY



ADVISORY DESIGN PANEL REPORT

To: **Advisory Design Panel**

Subject: **Development Permit Application DP 02-24
Rezoning Application RZ 02-24
(5302 200 Street, 20030 53A Avenue, &
20011-20031 53 Avenue)**

From: Anton Metalnikov, RPP, MCIP
Planner

File #: 6620.00
Bylaw #: 3285

Doc #:

Date: May 17, 2024

RECOMMENDATION:

THAT this report be received for information.

PURPOSE OF REPORT:

To consider Development Permit and Zoning Bylaw amendment applications by Paramorph Architecture Inc. for a 6-storey, 95-unit apartment development at 5302 200 Street, 20030 53A Avenue, & 20011-20031 53 Avenue.

POLICY:

The subject properties are currently zoned RS1 Single Family Residential in Zoning Bylaw No. 2100 and designated "Low Rise Residential" in the Official Community Plan Land Use map. The properties are also located within the Nicomekl River District Neighbourhood Plan "Sun Room" area. All lands designated for multi-unit residential use are subject to a Development Permit to address building form and character.

The density of the proposed development complies with the Official Community Plan but exceeds the parameters in the current Zoning Bylaw. As such, a Comprehensive Development Zone is proposed to accommodate it.

COMMENTS/ANALYSIS:

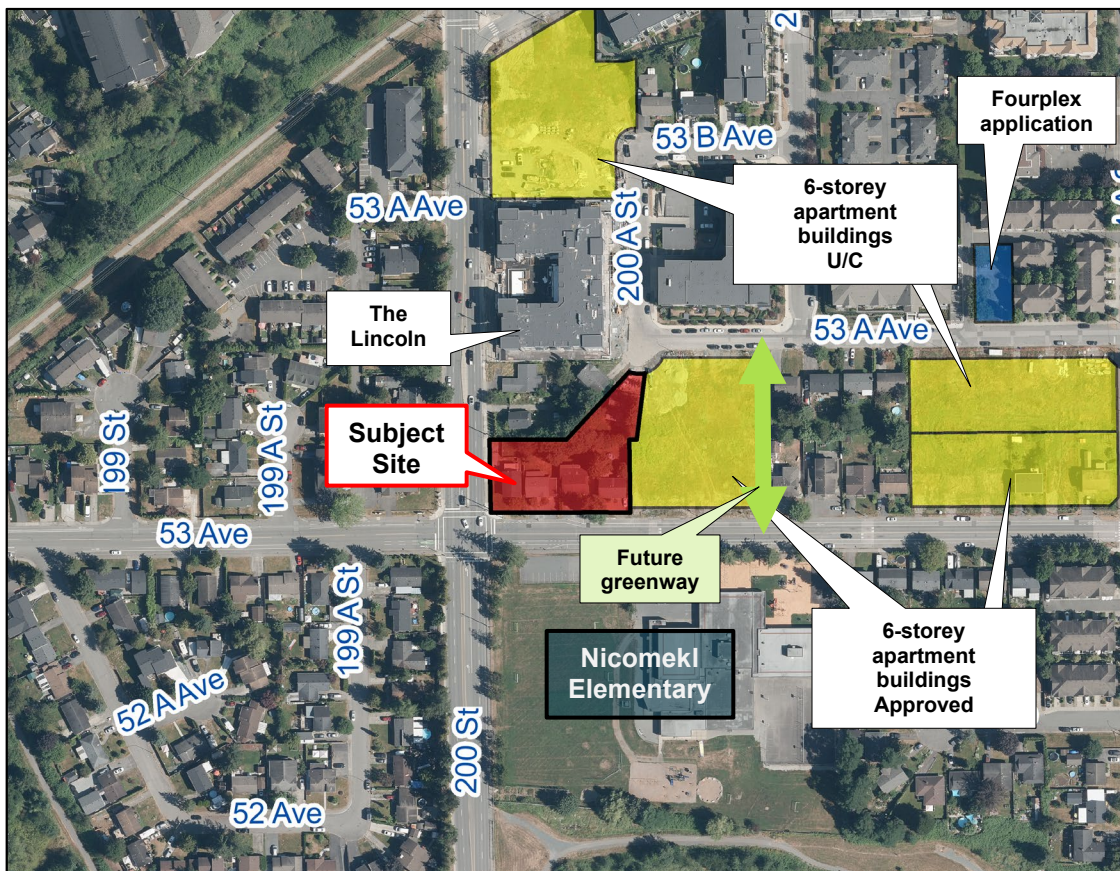
Background Information:

Applicant:	Paramorph Architecture Inc.
Owner:	Red Cardinal Homes (2021) Inc.
Civic Addresses:	5302 200 Street, 20030 53A Avenue, & 20011-20031 53 Avenue
Legal Description:	Lots 301 & 312-315, District Lot 305, Group 2, New Westminster District, Plan 42983
Site Area:	2,933 m ² (0.72 acres)
Number of Units:	95 apartments
Gross Floor Area:	6,160 m ² (66,301 ft ²)
Floor Area Ratio:	2.100
Lot Coverage:	41%
Total Parking Required:	134 spaces (including 7 h/c spaces) <i>*RM3 requirement</i>
Parking Provided:	
Resident	98 spaces
<u>Visitor</u>	<u>14 spaces</u>
Total	112 spaces (including 6 h/c spaces)
OCP Designation:	Low Rise Residential
Existing Zoning:	RS1 Single Family Residential
Proposed Zoning:	CD96 Comprehensive Development
Variances Requested:	Combined storage and bike parking (required to be separate) 55% small car spaces (40% max.) 2.4 m wide small car spaces (2.5 m required) 14 visitor parking spaces (19 required) <i>Note a resident parking variance is not required due to the use of CD Zone – see staff commentary in Variances section of this report for further details and rationale</i>
Development Cost Charges:	\$1,754,270.00 (City - \$815,110.00, GVS&DD - \$371,285.00, GVWD - \$371,335.00, SD35 - \$52,000.00, TransLink - \$141,540.00)
Community Amenity Contributions (CACs):	\$380,000.00

Discussion:

1. Context

The proposed development site consists of five single detached home lots at the northeast corner of 53 Avenue and 200 Street and extends through the block to the corner of 200A Street and 53A Avenue. The owner of these properties had previously submitted a development application on the same site, which received 3rd Reading from Council, but has cancelled that application and is proceeding with this updated concept in response to market conditions. The block includes several other development projects as shown in the image below.



Site context

Immediately to the north are three remaining single-detached homes beyond which sits a newer 4-storey apartment building (“the Lincoln”). Immediately to the east is the site of an approved 6-storey apartment building. Further east in the block between 53 and 53A Avenues are eight single-detached homes and two development sites for 5-storey apartment buildings, one of which has been approved and the other which is under construction. Bisecting the block is a planned greenway (landscaped walkway and bikeway) enabling north-south

travel between 53 and 53A Avenues in line with 201 Street where a future crosswalk will connect to Nicomekl Elementary School. To the west across 200 Street is the New Apostolic Church at the corner of 200 Street and 53 Avenue with a mix of single-detached homes and duplexes nearby.

The site is well positioned with connections to retail and service areas, with Downtown located within a 10-minute walk. It also benefits from proximity to key neighbourhood amenities, including:

- Nicomekl Elementary School (<5-minute walk);
- Nicomekl Floodplain Park (<5-minute walk); and
- Timms Community Centre (10-minute walk).

The site is also located near several transportation services, including:

- Three bus lines immediately adjacent;
- The frequent service 503 Fraser Highway Express bus (10 to 15-minute walk); and
- The planned Langley City Centre SkyTrain station and its associated transit exchange (10 to 15-minute walk).

2. Proposed Rezoning and the Official Community Plan (OCP)

The site is designated Low Rise Residential in the City's OCP, which allows for apartment development of up to 6 storeys in height and a Floor Area Ratio (FAR) of up to 2.1.

The subject properties are proposed to be rezoned to a site-specific Comprehensive Development (CD) Zone as no existing zones adequately accommodate the Low Rise Residential designation. A new Zoning Bylaw is currently in development and the project was designed to conform to the preliminary draft zoning regulations associated with this designation. Should the CD rezoning be adopted it is anticipated that, as part of adopting the new Zoning Bylaw, the City will rezone this site from its CD Zone to the new zone created to implement the Low Rise Residential designation.

3. Design

The applicant is proposing a wood-frame rectangular building with its entrance oriented toward the adjacent intersection corner. At ground level, a single row of walk-out apartments spread from the entrance to front onto 53 Avenue and wrap a surface level of parking at the rear. The building rises from this first floor with a double-loaded building design that sits on columns over top of the surface parking area. On the west side of the building facing 200 Street, the ground level is finished with a metal louver to screen the parking area while upper floors host balconies for the units located above. This parking area is accessed from a

driveway off 53A Avenue, which splits on site to access a gated underground parking level and a visitor parking area which is separated from a surface resident parking area by a sliding gate. The site fencing is located on the neighbouring properties to the north, which are owned by the same owners, due to a statutory right-of-way which straddles the shared property line.

The building's 53 Avenue base emphasizes a double-height glazed entrance and makes use of 2-storey wood-tone, darker, and lighter panelling to emulate a townhome expression, with a similar pattern provided on the 200 Street elevation incorporating metal louvers to accommodate the rear parking area. Upper floors see a more consistent use of the dark-and-light panelling, a mix of glass and picket-railed balconies, and a prominent roof line which angles on the corner to echo the treatment from the entrance below.

The development's landscaping wraps the site's edges with various shrub and tree species extending from the slightly elevated unit patios to grade-level planting beds below, and additional plantings lining the east property line. A larger landscaped area outside the parking area on 200 Street buffers the wall from the sidewalk while acknowledging to the underground rainwater detention tank planned for this space. Additional planting areas are located within the surface parking area, including along the north property line and at the 53A Avenue vehicular entrance. A total of 20 trees are proposed on-site, with additional street trees to be provided as part of required frontage upgrades. Two outdoor amenity spaces are provided: one outside the ground-level indoor amenity room, and the other on the building roof, which features seating and dining areas, a barbecue cooking station, and 14 garden plots. This rooftop patio is buffered by planters and set back from roof edges for safety and privacy.

The unit type distribution of the building includes 27 studios, 58 one-bedroom units, and 10 two-bedroom units. 23 (24%) of the units are adaptable. Resident storage facilities are provided in storage rooms in both the underground parkade level as well as within in-unit storage rooms. 335 m² (3,606 ft²) of total amenity space is provided, including 163 m² (1,755 ft²) of indoor amenity space and 192 m² (2,067 ft²) of outdoor amenity space. Two separate elevator cores (one near the street corner and one near the rear parking area) service the building.

4. Sustainability

The proposal incorporates several sustainable development features, including:

- Using construction techniques that minimize site disturbance and protect air quality;
- Using lighting systems meeting ground-level and dark skies light pollution reduction principles;
- Incorporating a construction recycling plan;

- Achieving an energy performance over 25% above the current Model National Energy Code;
- Reducing the heat island effect by use of landscaping and a rooftop amenity area;
- Using non-water dependent and drought-tolerant materials in the landscape design served by an irrigation system with central control and rain sensors;
- Using water-conserving toilets;
- Providing outlets for e-bike charging in all bike/storage lockers; and
- Providing 12 resident parking stalls with Level II electric vehicle (EV) chargers, with the remaining resident spaces pre-wired and visitor spaces pre-ducted for future installation; and
- Providing resident garden plots.

5. CPTED

The applicant's proposal benefited from a comprehensive Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

6. Variances

As noted above, the applicant's proposed development is generally consistent with the draft 4-6 storey apartment building zoning regulations that are being considered for the new Zoning Bylaw to implement the Official Community Plan's Low Rise Residential land use designation. However, given the proponent has applied to redevelop the site prior to the adoption of the new Zoning Bylaw, a site-specific Comprehensive Development (CD) Zone is proposed to be created to accommodate the redevelopment.

Despite the use of a CD Zone, the proposal requires variances from general Zoning Bylaw provisions to provide bicycle parking within storage lockers, increase the share of small car parking spaces, reduce the width of small car parking spaces, and reduce the number of visitor parking spaces. Staff support these variances per the rationales below.

The accommodation of bicycle parking spaces within storage lockers, rather than in separate bicycle parking rooms, is supported as the applicant has enlarged their storage lockers beyond the Zoning Bylaw requirement (5.67 m³ or 200 ft³) to a minimum of 7.2 m³ (254 ft³), which is an increase of 27%. Staff note that shared bicycle parking and storage lockers are being considered in the new Zoning Bylaw to allow for more flexibility and efficiency in their configuration.

The applicant is also requesting a variance to reduce the width of the small car spaces to 2.4 metres from the 2.5 metres required in the Zoning Bylaw. This adjustment was made to ensure this application meets the 112-space target that aligns with the residential rates being considered for the new Zoning Bylaw (additional discussion below). Reducing the width of small car spaces to 2.4 metres is under consideration for the new Zoning Bylaw to accommodate additional parking spaces in all development projects. This width is also similar to other municipalities in the region, such as Burnaby, which has a minimum small car space width of 2.4 metres, and Richmond, which has a minimum small car space width of 2.3 metres. Staff are not considering changes to the required drive aisle widths in the Zoning Bylaw to ensure safe and easy vehicle movements in parking areas are maintained.

The share of small car parking spaces is proposed as 55%. The current Zoning Bylaw allows a maximum of 40% small car spaces, but staff are considering increasing this to a maximum of 60% for properties in the “Core” and “Shoulder” areas of the OCP, with this site being in the “Shoulder”. This approach can significantly improve parkade space efficiency, as the use of slightly smaller individual spaces often results in the creation of additional stalls on the same amount of land without needing to further reduce parking rates. This in turn allows additional site density while maintaining reasonable parking supply.

Proposed Parking

If the current Zoning Bylaw requirement for a similar type of building (i.e. RM3 Zone) was applied to this application, the applicant’s proposed overall parking amount is 16.4% less than what would be required. Given that a CD zone is being proposed for this development, technically a variance is only required for visitor parking, along with those previously outlined. However, it is important to note that staff support the applicant’s overall parking approach, as the proposal (less 22 spaces or 16.4%) meets the rates under preliminary consideration for the new Zoning Bylaw. These rates are being contemplated based on research work conducted by the City’s Zoning Bylaw update consultant and staff to date, which has included a review of the Metro Vancouver Parking Study as well as of parking rate requirements in other municipalities within the Lower Mainland.

The project site is within the “Shoulder” of the OCP, which generally refers to properties within a 5-to-10-minute walk of the future SkyTrain station. If the preliminary “Shoulder” area rates being considered for the new Zoning Bylaw were applied to this application, 112 parking spaces would be required, based on rates of 1.0 spaces per studio and 1-bedroom unit, 1.25 spaces per 2-bedroom unit (=98 resident spaces), and 0.15 visitor spaces per unit (=14 visitor spaces). This total is equal to the applicant’s proposed parking amount of 112 spaces and is 16.4% less than the current RM3 Zone requirement of 134 spaces, which is based on rates of 1.2 spaces per studio and 1-bedroom units, 1.3 spaces

per 2-bedroom unit (=115 resident spaces), and 0.2 visitor spaces per unit (=19 visitor spaces). Similar variances have recently been approved by Council in the nearby area at 20191 53A Avenue (13% reduction), 20145 53 Avenue (13.2% reduction), and 20142 53A Avenue (14.5% reduction).

Based on the above commentary and analysis, staff support these variances.

7. Summary

The proposed development is consistent with the City's OCP and Development Permit Area guidelines for the area and presents a transit-supportive and efficient design providing housing in close proximity to parks, transit, and Downtown.

Engineering Requirements:

Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents.

All work to be done to the City of Langley's Design Criteria Manual (DCM), and the City's Subdivision and Development Servicing Bylaw (SDSB).

Per the City's DCM requirement, the developer and their consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Commitment by Owner and Consulting Engineer) prior to starting their design works.

Per the City's Watercourse Protection Bylaw No. 3152, the developer's consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Confirmation of Commitment by Qualified Environmental Professional - QEP) prior to starting their site monitoring works.

These requirements have been issued to reflect the application for development for a proposed **95-Unit Apartment Development located at 5302 200 Street, 20030 53A Avenue, & 20011-20031 53A Avenue.**

These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

- A) The developer is responsible for the following work which shall be designed by a Professional Engineer:
- I. A Qualified Environmental Professional (QEP) must be engaged to implement erosion and sediment control in accordance with the City of Langley Watercourse Protection Bylaw #3152, as amended.
 - II. A storm water management plan for the site is required. Rainwater detention measures used on site shall limit the release rate to pre-development levels to mitigate flooding and environmental impacts as detailed in the City's DCM. All calculations shall have 20% added to the tabulated data to account for climate change. A safety factor of 10% shall be added to the calculated storage volume. Pre-development release rates shall not include climate change effect.
 - III. All existing services shall be capped at the main by the City, at the Developer's expense prior to applying for a Demolition permit.
 - IV. New water, sanitary and storm sewer service connections are required. All pertinent pipe design calculations shall be submitted in spreadsheet format and shall include all formulas for review by the City. The Developer's engineer will determine the appropriate main tie-in locations and size the connections for the necessary capacity.
 - V. The capacity of the existing water and sanitary sewer mains shall be assessed through hydraulic modeling performed by the City's hydraulic modeling consultant at the Developer's expense.
 - a. Any upgrade requirement for either sanitary or water mains not covered under the City's DCC bylaw shall be designed and installed by the Developer at the Developer's expense.
 - b. At the Developer's expense, the City's hydraulic modeling consultant shall conduct a fire hydrant flow test to be used in the City's water modeling to determine if the existing water network is adequate for fire flows (based on architectural data supplied by the Developer's Architect). Upgrading of the existing watermain(s) may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995."
 - VI. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be approved by the City of Langley Fire Rescue Service.
 - VII. New sidewalk, cycle track, buffer strip (directional tactile pavers), barrier curb and gutter will be required along the entire project frontage, complete with boulevard trees and a planting strip. 2 wheelchair ramps will be required at the corner of 200 St. & 53 Ave. all per the City's DCM.
 - VIII. Bus stop pad to have minimum dimensions of 5m x 2m, complete with pre-ducting for future shelter lighting.

- IX. 53A Ave. shall be designed to the City's SS-R08 standard. 53 Ave. shall be designed to the City's SS-RO2A standard (modified). The Developer's consultant shall contact Engineering Services to obtain the City's road cross-section design standards and modification details.
- X. A cash contribution will be required (amount to be determined) toward a future pedestrian walkway east of 20054 53A Ave., connecting 53A Ave. & 53 Ave.
- XI. A property dedication of *approximately* 2.1m will be required along the 53 Ave. frontage of the proposed development to match the new south property line (P/L) of 20054 53A Ave. All dedications to be determined by a legal land surveyor.
- XII. A property dedication of *approximately* 2.5 meters will be required on the 200th St. frontage to match the west P/L of 5335 200A St.
- XIII. A 5 meter corner truncation will be required (after dedications) at the corner of 200 St. & 53 Ave.
- XIV. A traffic impact assessment will be required as per the City's DCM.
- XV. The condition of the existing pavement along the proposed project's entire frontage shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate, it shall be remediated at the Developer's cost.
- XVI. The site layout shall be designed by a civil engineer to ensure that the parking and access layout meets minimum design standards, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls and drive-aisles are accessible by the design vehicle.
- XVII. A dedicated on-site loading zone shall be provided by the developer.
- XVIII. Existing and proposed street lighting along the entire project frontage shall be reviewed by a qualified lighting consultant to ensure street lighting and lighting levels meet the City's DCM standards.
- XIX. An electrical design shall be submitted for street lighting, power source and signal modifications, this design must include clearance / conflict distance measurements in CAD based on new crosswalk and stop bars, detection loop requirements and numbering for the left turn lanes, pedestrian and cyclist push buttons, etc. Also, load calculations per service panel, i.e. new additions and removals and wattage difference.

XX. Eliminate the existing overhead telecommunication wiring and poles along the development's entire frontage by replacing with underground telecommunication infrastructure.

B) The Developer is required to deposit the following bonding and fees:

- I. The City would require a Security Deposit based on the estimated construction costs of installing civil works, as approved by the Director of Engineering, Parks and Environment.
- II. The City will require inspection and administration fees in accordance with the Subdivision Bylaw based on a percentage of the estimated construction costs, as per the City's Subdivision and Development Servicing Bylaw 2021 #3126.
- III. A deposit for a storm, sanitary and water connection is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
- IV. The City would require a \$40,000 bond for the installation of a water meter to current standards.
- V. A cash contribution (amount to be determined) toward the future pedestrian walkway/crosswalk will also be required.
- VI. Permanent pavement restoration of all pavement cuts, and all associated fees, shall be as per the City of Langley's DCM.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the developer with an estimate of connections costs, and the Developer will declare in writing that the estimate is acceptable.

C) The Developer is required to adhere to the following conditions:

- I. Unless otherwise specified by the City Engineer, all engineering works shall be designed based on the City's DCM specifications in accordance with the City's Subdivision and Development Servicing Bylaw 2021, No. 3126
- II. Undergrounding of hydro, telephone and cable services to the development site is required, complete with underground or at-grade transformer.
- III. Transformers servicing developments are to be located on private property with maintenance access located on private property. All transformers to be wrapped upon installation by the Developer.
- IV. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner. Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.

- V. A water meter is required to be installed on private property, preferably in the mechanical room, in accordance to the City's DCM specifications at the Developer's cost.
- VI. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
- VII. A Stormceptor or equivalent oil separator is required to treat site surface drainage.
- VIII. A complete set of as-built drawings, service record cards, a completed tangible capital asset form (TCA) and a completed pavement cut form all sealed by a Professional Engineer shall be submitted to the City within 60 days of the substantial completion date. Digital drawing files in .pdf and .dwg formats shall also be submitted. All the drawing submissions shall:
 - a. Use City's General Note Sheet and Title Block; and
 - b. Closely follow the format and sequence outlined in the City's "Drawing Specifications" that will be provided to the Developer's Consulting Engineer.
- IX. The selection, location and spacing of street trees and landscaping are subject to the approval of the Director of Engineering, Parks & Environment
- X. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
- XI. Garbage and recycling enclosures shall accommodate on the site and be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update." Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.

Fire Department Comments:

Fire department access for the whole project was reviewed to ensure adequate access was in place for apparatus and firefighters. A construction fire safety plan shall be completed, complete with crane inspection records. Ensure any crane on site is registered with the BC Construction Safety Alliance. A progressive standpipe installation will be required as construction rises. Standpipes will be required at each rooftop stairways. Standpipes will be required at the parkade entrance, and in elevator lobby. All garbage/recycling containers must be stored in a fire rated, sprinklered room, and must be of adequate size to prevent spillover into adjacent area. Stairwells must be constructed to accommodate shelter in place applications. Marked Exits must not be on a fob. Consideration will be given to the installation of power banks in the storage room lockers for e-bikes charging. A Fire Safety plan and FD lock box (knox box) will be required before occupancy. The 4" FDC will be located on a pedestal detached from the front of the building, exact location to be discussed with the Fire Department at a later date.

Advisory Design Panel:

In accordance with Development Application Procedures Bylaw No. 2488, the subject Zoning Bylaw amendment and Development Permit application will be reviewed by the Advisory Design Panel (ADP) at the May 29, 2024 meeting. According to the Council-approved ADP Terms of Reference, the ADP is to provide form and character and urban design-related advice and recommendations for Council's consideration. ADP recommendations will be presented to Council through the ADP meeting minutes and, if applicable, through an additional City staff report, prior to Council consideration of the proposed Zoning Bylaw amendment and Development Permit Applications.

A copy of the ADP minutes will be presented to Langley City Council at a future Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$815,110.00 to City Development Cost Charge accounts and \$380,000.00 in Community Amenity Contributions.

Prepared by:



Anton Metalnikov, RPP, MCIP
Planner

Concurrence:



Roy M. Beddow, RPP, MCIP
Deputy Director of Development Services

Concurrence:



Carl Johannsen, RPP, MCIP
Director of Development Services

Concurrence:



David Pollock, P.Eng.
Director of Engineering, Parks,
& Environment

Concurrence:



Scott Kennedy, Fire Chief

Attachments



DEVELOPMENT PERMIT APPLICATION DP 02-24 REZONING APPLICATION RZ 02-24

Civic Addresses: 5302 200 Street, 20030 53A Avenue, & 20011-20031 53 Avenue
Legal Description: Lots 301 & 312-315, District Lot 305, Group 2, New Westminster District, Plan 42983
Applicant: Paramorph Architecture Inc.
Owner: Red Cardinal Homes (2021) Inc.





ADP PRESENTATION
DATE : May 29th, 2024

MULTI FAMILY DEVELOPMENT
5302 - 200 St, 20011, 21, 31 - 53 Ave, 20030-53A Ave,
Langley City, British Columbia



DRAWING LIST

COVER PAGE	A-0.1
LOCATION MAP AND TEAM	A-0.2
LAND USE & CONCEPT PLAN	A-0.3
CONTEXT PLAN	A-0.4
DESIGN RATIONALE	A-0.5
PROGRAM SUMMARY	A-0.6
BASE PLAN	A-0.7
STREETSCAPE	A-0.8
SHADOW STUDY	A-0.9
DESIGN CONCEPT	A-0.10
SITE PLAN	A-1.0
SITE CIRCULATION	A-1.1
FLOOR PLANS	A-2.0 TO A-2.7
PERSPECTIVES	A-3.0 TO A-3.4
ELEVATIONS	A-3.5 TO A-3.6
SECTIONS	A-4.0 TO A-4.1
UNIT PLANS	A-5.0 TO A-5.5
GARBAGE ENCLOSURE DETAIL	A-6.0
MAILBOX ROOM DETAIL	A-6.1

LOCATION



PROJECT TEAM

ARCHITECT - PARAMORPH ARCHITECTURE INC.
 308 - 9639 137A Street
 Surrey, BC V3T 0M1
 (604)608-0161
 info@paramorph.com

SURVEYOR - CAMERON LAND SURVEYING LTD.
 Unit 234 - 18525 - 53rd Avenue
 Surrey, BC, V3S 7A4
 (604) 597-3777

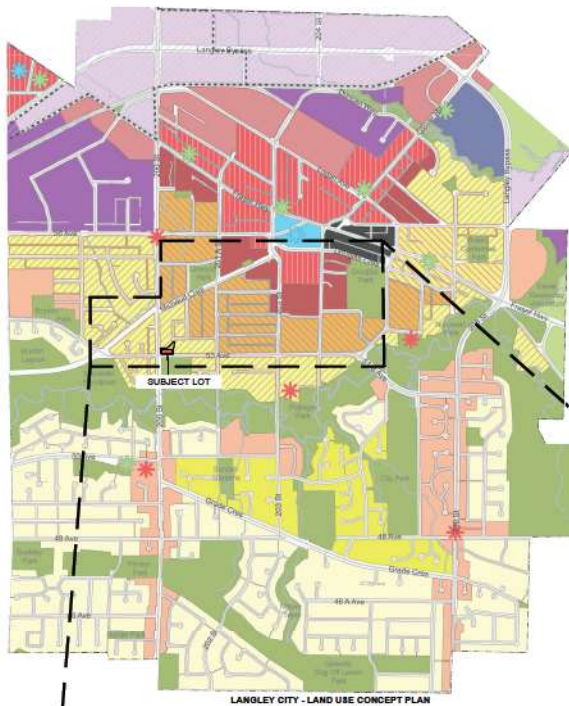
LANDSCAPE - DAVID STOYKO LANDSCAPE ARCHITECT
 2686 6th Avenue East
 Vancouver, BC V5M 1R3
 (604)720-0048
 david@davidstoyko.com

CIVIL - CENTRAS ENGINEERING LTD.
 218 - 2630 Croydon Drive
 Surrey, BC V3S 6T3
 (778)879-7602
 aman@centras.ca

GEOTECH - GEOPACIFIC CONSULTANTS
 1779 West 75th Avenue
 Vancouver, BC V6P 6P2
 (604)439-0922
 reception@geopacific.ca

ARBORIST - FROGGERS CREEK TREE CONSULTANTS LTD.
 7763 McGregor Avenue
 Burnaby, BC V5J 4H4
 (604)721-6002
 glenn@froggerscreek.ca

CPTED - TESSERACT SECURITY CONSULTING INC.
 Vancouver, BC
 (604)779-6164
 tesseraactsci@telus.net

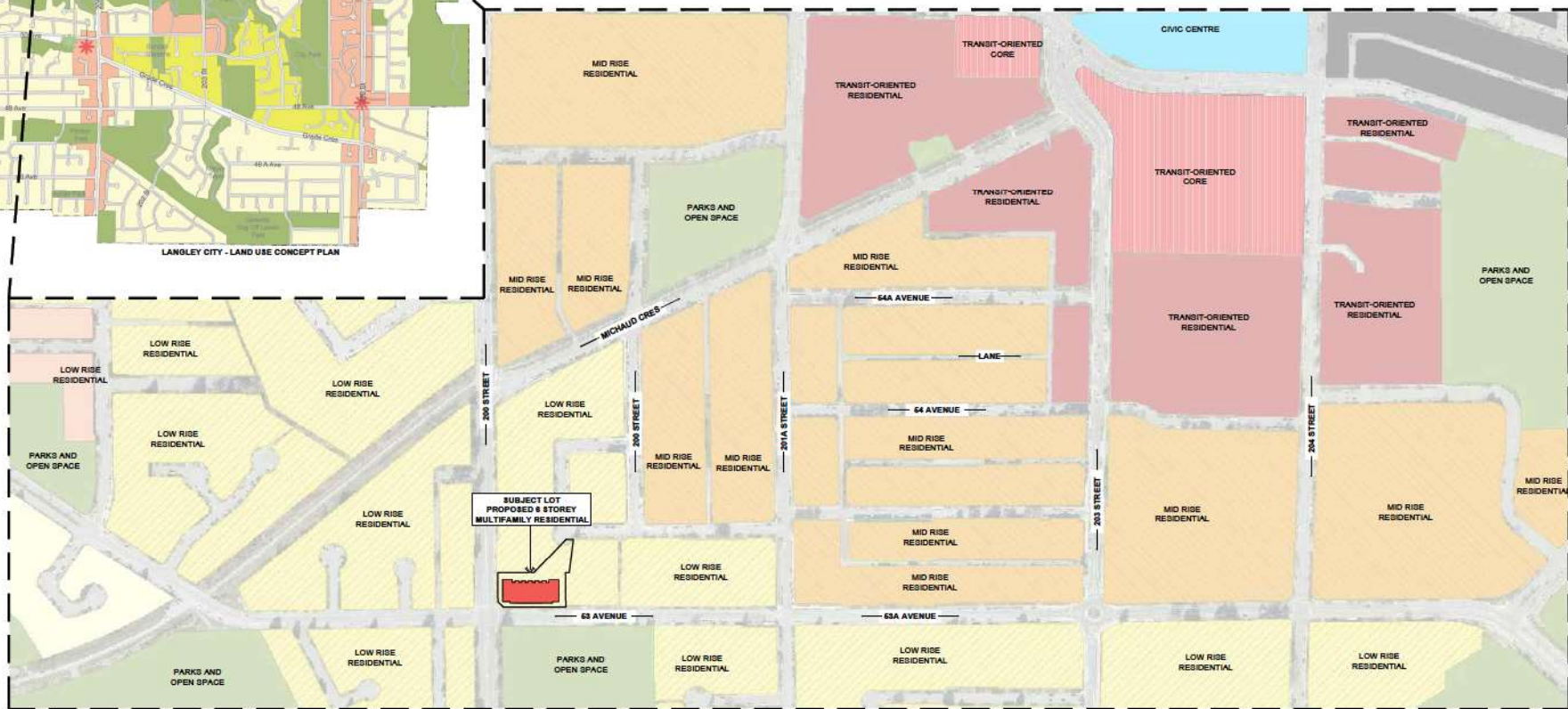


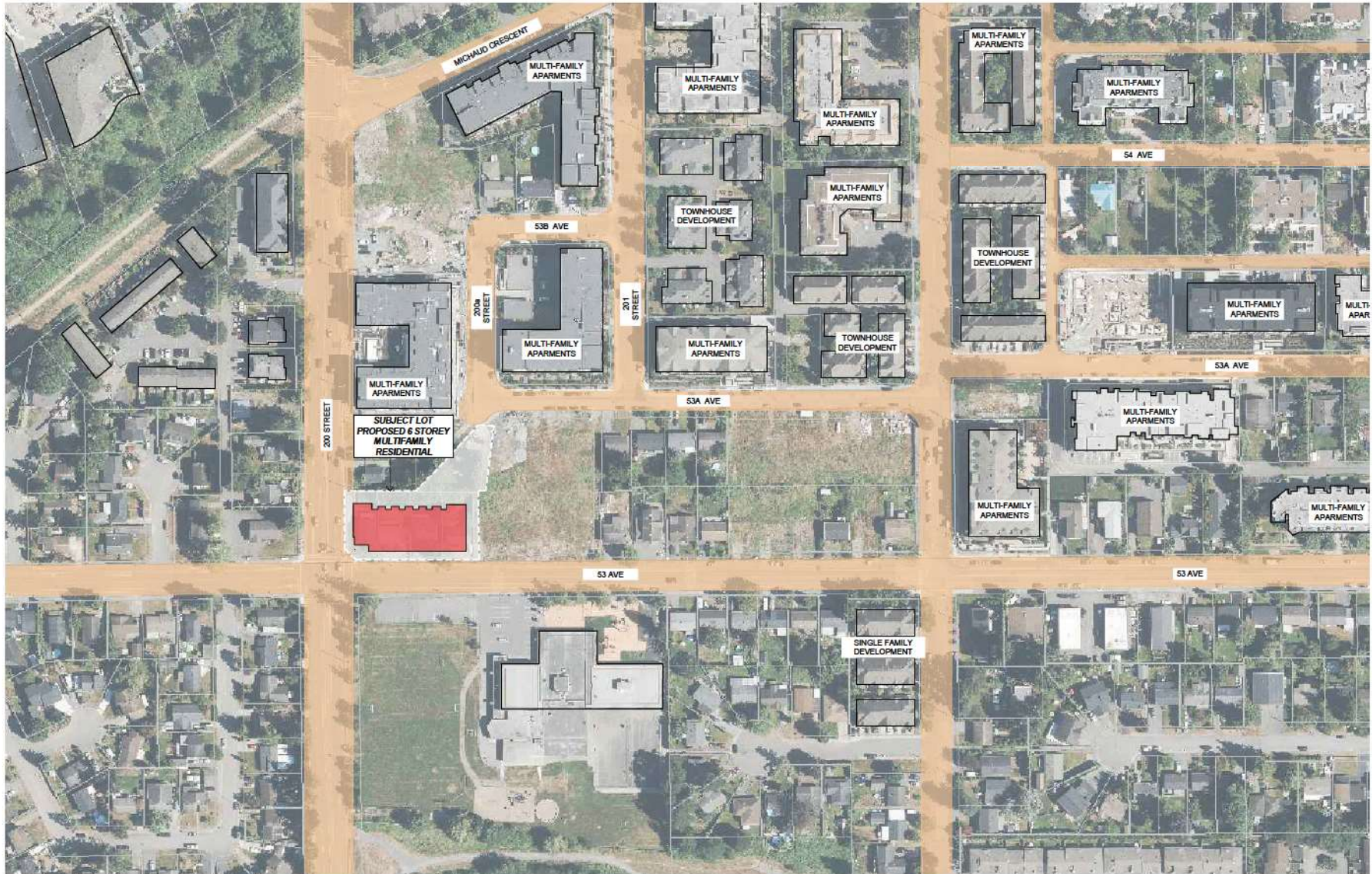
LEGEND FOR LAND USE CONCEPT PLAN

- Agriculture
- Core Centre
- Ground Oriented Residential
- Historic Downtown Core
- Industrial
- Mixed Use
- Low Rise Residential
- Mid Rise Residential
- Mixed Employment
- Parks and Open Space
- Popular Study Area
- Service Commercial
- Suburban
- Transit-Oriented Core
- Transit-Oriented Residential
- University District
- Urban Residential

LEGEND FOR TRANSPORTATION CONCEPT-ROAD NETWORK

- FUTURE**
- Existing Bike Route
 - Proposed Bike Route
 - Potential Rapid Bus Alignment (TR)
 - Rapid Transit (RT)
 - Local Transit Route
 - Main Regional Road (Major Artery)
 - Potential Rapid Bus Alignment (TR)
 - Rapid Transit (RT)
 - Local Transit Route
- ACTIVE**
- Existing Bike Route
 - Proposed Bike Route
 - Potential Rapid Bus Alignment (TR)
 - Rapid Transit (RT)
 - Local Transit Route
 - Main Regional Road (Major Artery)
 - Potential Rapid Bus Alignment (TR)
 - Rapid Transit (RT)
 - Local Transit Route
- Other Symbols:**
- Potential Park Trail
 - Unimproved Park Trail
 - Major Venues and Regional Greenways
 - Major Road Network
 - Multi-Use Routes
 - Potential Location for New Plaza or Open Space
 - Potential Greenway
 - Plaza or Open Space
 - Park
 - School District (No. 33)





PROPOSED MULTI UNIT RESIDENTIAL DEVELOPMENT
5302-200 ST., 20011, 21, 31-53 AVE, 20030-53A AVE, LANGLEY CITY, BC



The proposed development is a 6-storey residential building of 6161.03 sqm (66319 sq.ft) with 95 dwelling units, slated on a 5-parcel land assembly, fronting 53 Avenue and providing access to parking from North Lane. The proposal classifies the subject lot as RS1, based on **CD (Multiple Residential zone)**, which allows multiple unit residential buildings and related amenity spaces, we are proposing FAR of 2.10 on Gross lot area.

Increasing the supply of market multi-unit housing near City's center, this multi-family development provides mix of Studio, 1BR, 1BR+Den, 2BR, Jr 2BR units with average unit size ranging from 368 sqft to 715 sqft catering to varying family units in the growing City of Langley.

In response to the parking requirements, we are providing 112 parking stalls (based on 1/1BR, Studio unit, 1.25/ 2BR unit+ 0.15/unit for visitors) including 6 accessible stalls & 100% prewired out of which 10 parking spaces will have electrical vehicles charging stations pre-installed. Also, 30 bike Storage Lockers are provided in the underground parkade and 3 visitor bicycle parking near both entrances (front & rear) to encourage alternative transportation. All the street-facing ground level units are approachable from the street, and all public entrances are accessible.

We feel quite excited about what this design will do for the area, to hopefully follow the urban design approach on this street to fit in this rapidly developing neighborhood. This is a contemporary design that will add a fresh face to the block with the contrasting tones of White and Gray. The proposed materials will be Hardie panels, lux aluminum clad and longboard siding.

Proposed Building is fronting 53 Ave with Indoor amenity area & Outdoor amenity spilling on Easten side of building. We have also proposed an Outdoor amenity space on the roof with open seating areas, harvest table and Urban agricultural community garden. There are multiple opportunities for all ages to come together in the amenity space on the roof top.

Seeking to enhance the existing identity, the proposed landscape connects the building to 53 Ave, and the surroundings through a pedestrian friendly design.

The Proposal also incorporates principles of Crime prevention through environmental design (CPTED), so that extensive windows from upper living levels provide direct visual surveillance. Landscape contributes to CPTED with low shrubs and high canopy trees allowing clear pedestrian site lines. As light is an important security measurement, adequate lighting is provided in the parking lot to avoid criminal activity.

Regards,

Manpreet Singh, Architect AIBC

Principal, ParaMorph Architecture Inc.

LOT INFO	ADDRESS	5302-200 Street, 20011,21,31 - 53 Avenue 20030-53A Avenue, Langley City			
	LEGAL DESCRIPTION	Plan NWP42983 Lot 315,Plan NWP42983 Lot 314,Plan NWP42983 Lot 313,Plan NWP42983 Lot 301,Plan NWP42983 Lot 312			
	SITE AREA	(Sqft)	(Sqm)	(Acre)	(Ha)
	GROSS AREA	31,572	2,933	0.72	0.29
	ROAD DEDICATION	2,525	235	0.06	0.02
	NET AREA (AFTER DEDICATION)	29,047	2,698	0.67	0.27

ZONING	ZONING	CURRENT	PROPOSED
		RS1	CD

ZONING	FAR (GROSS)	PERMITTED	PROPOSED
	FAR		2.100
	TOTAL AREA(Sq.ft.)		66301

ZONING	SETBACKS	PERMITTED	PROPOSED
	NORTH (Along Cul De Sac)		6.00m
	SOUTH(Along 53 Ave)		4.00m
	EAST (Along Neighbouring Lot)		6.00m
	WEST (Along 200 Street)		4.00m

ZONING		PERMITTED	PROPOSED
	BLDG HEIGHT		6 STOREY
	NO. OF DWELLING UNITS		95
	NO. OF ADAPTABLE UNITS		23 (24% OF TOTAL UNITS)

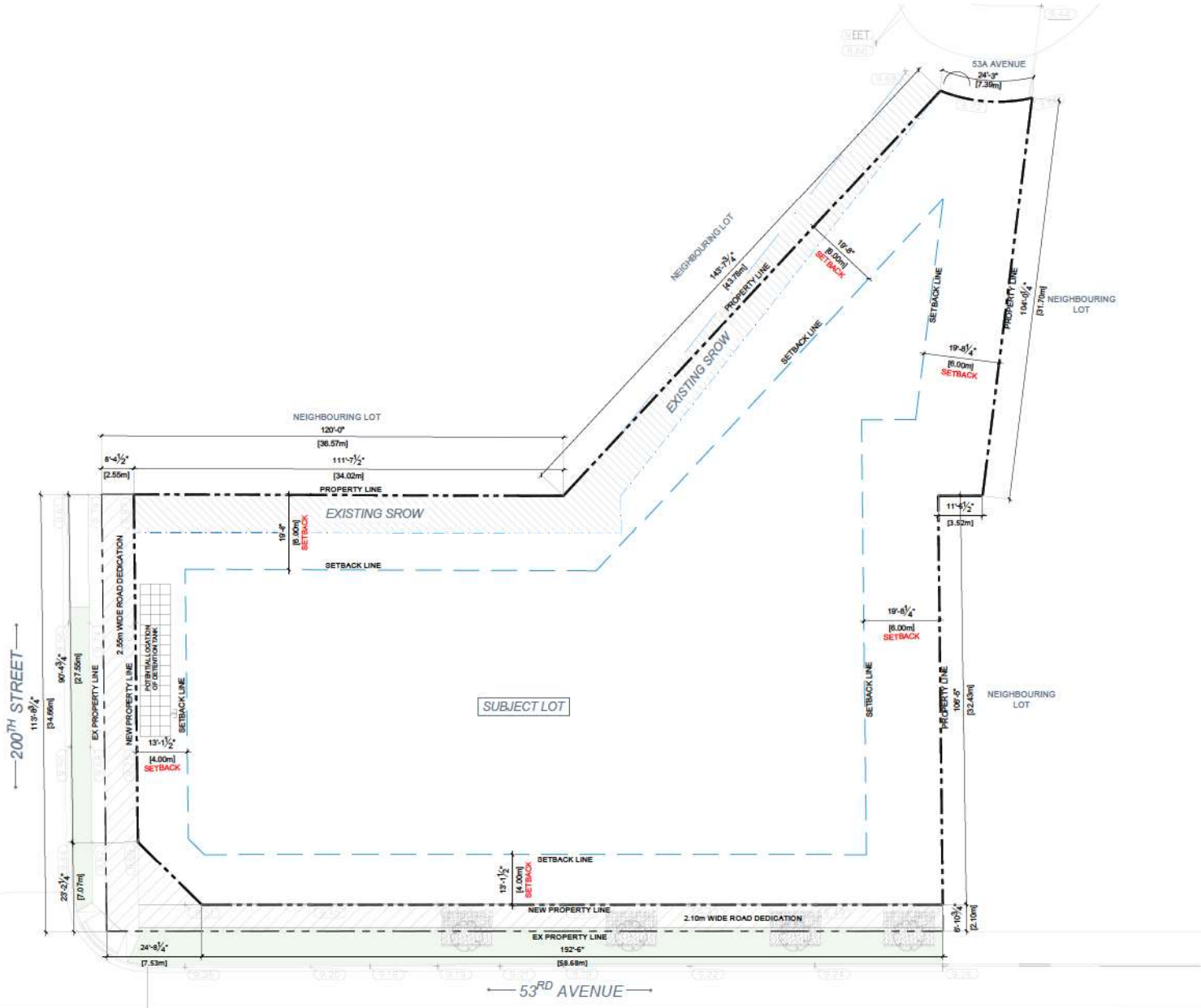
PROPOSED FLOOR AREA SUMMARY	SITE COVERAGE	(Sqft)	(Sqm)	(%age)	REMARKS
	PROPOSED	12012	1,116	41.35%	On NET AREA

PROPOSED FLOOR AREA SUMMARY	FAR CALCULATION (GROSS)					
	RESIDENTIAL (EXCLUDING PARKING)	RESIDENTIAL (Sqft)	CIRCULATIONS (Sqft)	AMENITY (Sqft)	BUILDABLE (Sqft)	EFFICIENCY
	MAIN FLOOR LVL	3,846.00	1,632.00	1,755	7,233	53%
	SECOND FLOOR LVL	10,069.00	1,291.00	0	11,360	89%
	THIRD FLOOR LVL	10,652.36	1,274.64	0	11,927	89%
	FOURTH FLOOR LVL	10,652.36	1,274.64	0	11,927	89%
	FIFTH FLOOR LVL	10,652.36	1,274.64	0	11,927	89%
	SIXTH FLOOR LVL	10,652.36	1,274.64	0	11,927	89%
	TOTAL FAR(SQFT)				66,301	

PROPOSED FLOOR AREA SUMMARY	UNIT COUNT				
	TYPE	NO. OF BR.	AREA	TOTAL UNITS	TOTAL AREA(Sqft)
	UNIT-A	1BR	530.00	4	2,120
	UNIT-A1	1BR	530.00	2	1,060
	UNIT-B(ADAP.)	1BR+DEN	715.00	18	12,870
	UNIT-C	STUDIO	512.00	17	8,704
	UNIT-D	1BR	676.00	5	3,380
	UNIT-E	STUDIO	390.00	5	1,950
	UNIT-F	Jr. 2BR	651.00	5	3,255
	UNIT-G	1BR	621.00	20	12,420
	UNIT-G1(ADAP.)	1BR	662.00	5	3,310
	UNIT-H	Jr. 2BR	639.00	5	3,195
	UNIT-I	STUDIO	368.00	5	1,840
	UNIT-J	1BR	602.00	4	2,408
	TOTAL			95	56,512

OFF STREET PARKING	PARKING REQUIREMENTS BREAKDOWN				
	RESIDENTIAL	NO. OF UNITS	PERMITTED	REQUIRED STALLS	PROVIDED (@Parkade lvl-1 & Surface)
	1 Bedroom , 1 Bedroom+Den, Studio	85	1.0 / Unit	85	85(@Parkade lvl-1 & Surface)
	2 bedroom	10	1.25/ Unit	12.5 SAY 13	13(@Parkade lvl-1 & Surface)
	Visitor's	95	0.15	14.25 SAY 14	14(@ Surface)
	TOTAL			112	112
	SMALL CARS		60% of Total Stalls	67.2 SAY 67	62(@ Parkade lvl-1 & Surface)
	ACCESSIBLE		5% of Total Stalls	5.6 SAY 6	6(@ Parkade lvl-1 & Surface)
	LOADING BAY			1	1(@Surface)
	COMBINED BICYCLE PARKING & STORAGE LOCKER	95	1 / Unit & 4sqm/Unit	95	95
Provided @ Parkade Lvl-1				30	
Provided @ Unit-A, Unit-C, Unit-D, Unit-E, Unit-G, Unit-G1, Unit-I, Unit-J				65	

AMENITY CALCULATIONS	AMENITIES			
	INDOOR AMENITY	Sq.m.	Sq.ft.	REMARKS
	PROPOSED(@ MAIN FLOOR)	163	1,755	
	OUTDOOR AMENITY	Sq.m.	Sq.ft.	REMARKS
PROPOSED(@ ROOF TOP)	192	2,065		





1 STREETScape VIEW
ALONG 53 AVE



2 STREETScape VIEW
ALONG 200 ST.



3 STREETScape VIEW
ALONG 200 ST.



4 STREETScape VIEW
ALONG 53 AVE



1 SHADOW @ EQUINOX MARCH 20 9AM



2 SHADOW @ EQUINOX MARCH 20 12NOON



3 SHADOW @ EQUINOX MARCH 20 3PM



4 SHADOW @ EQUINOX SEP 20 9AM

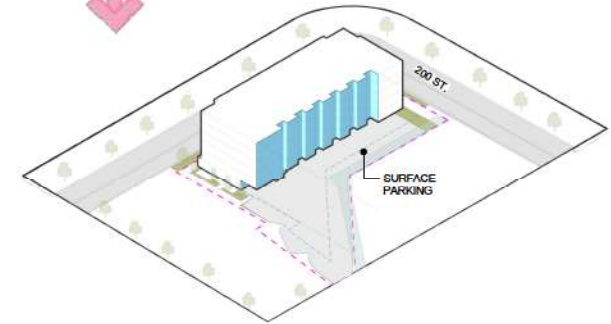
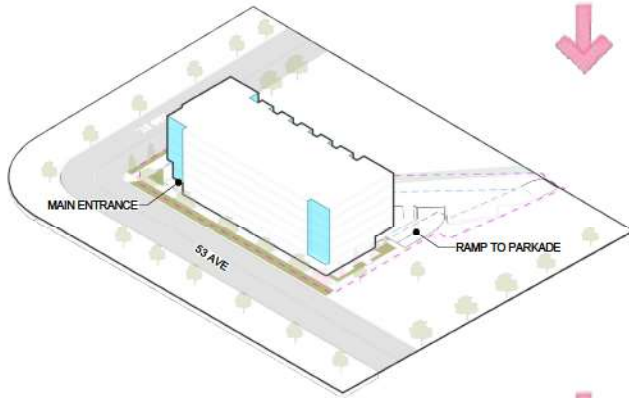
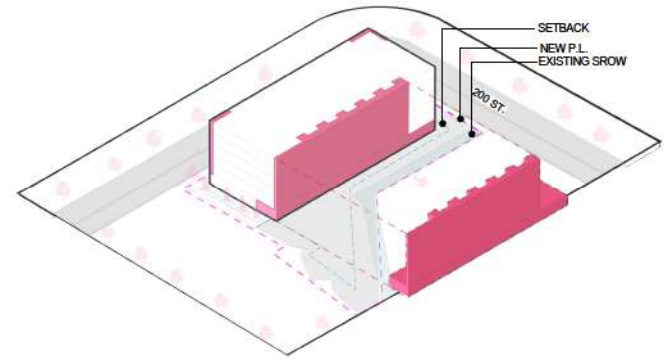
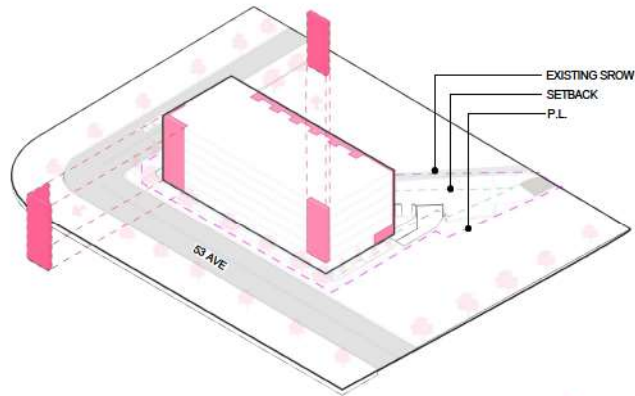


5 SHADOW @ EQUINOX SEP 20 12NOON

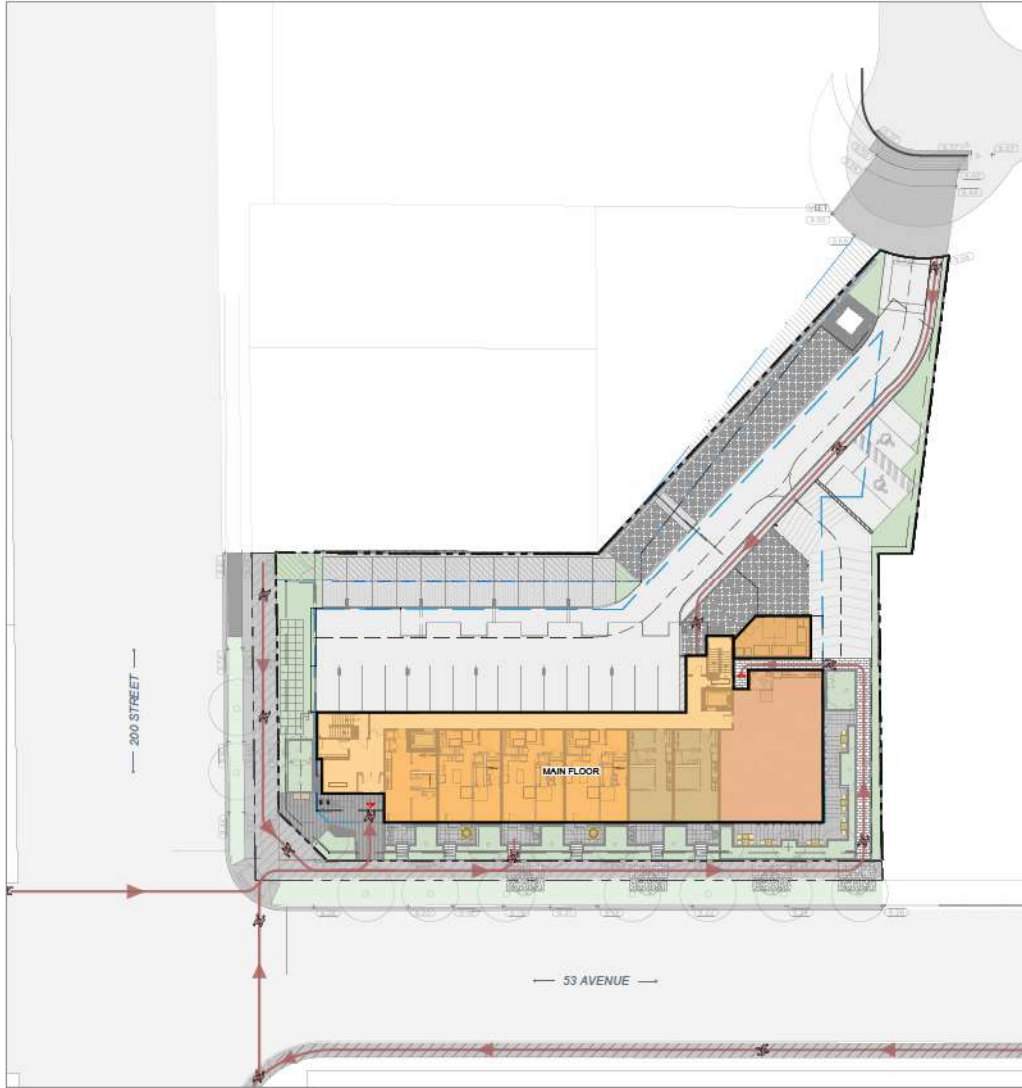


6 SHADOW @ EQUINOX SEP 20 3PM





PEDESTRIAN MOVEMENT

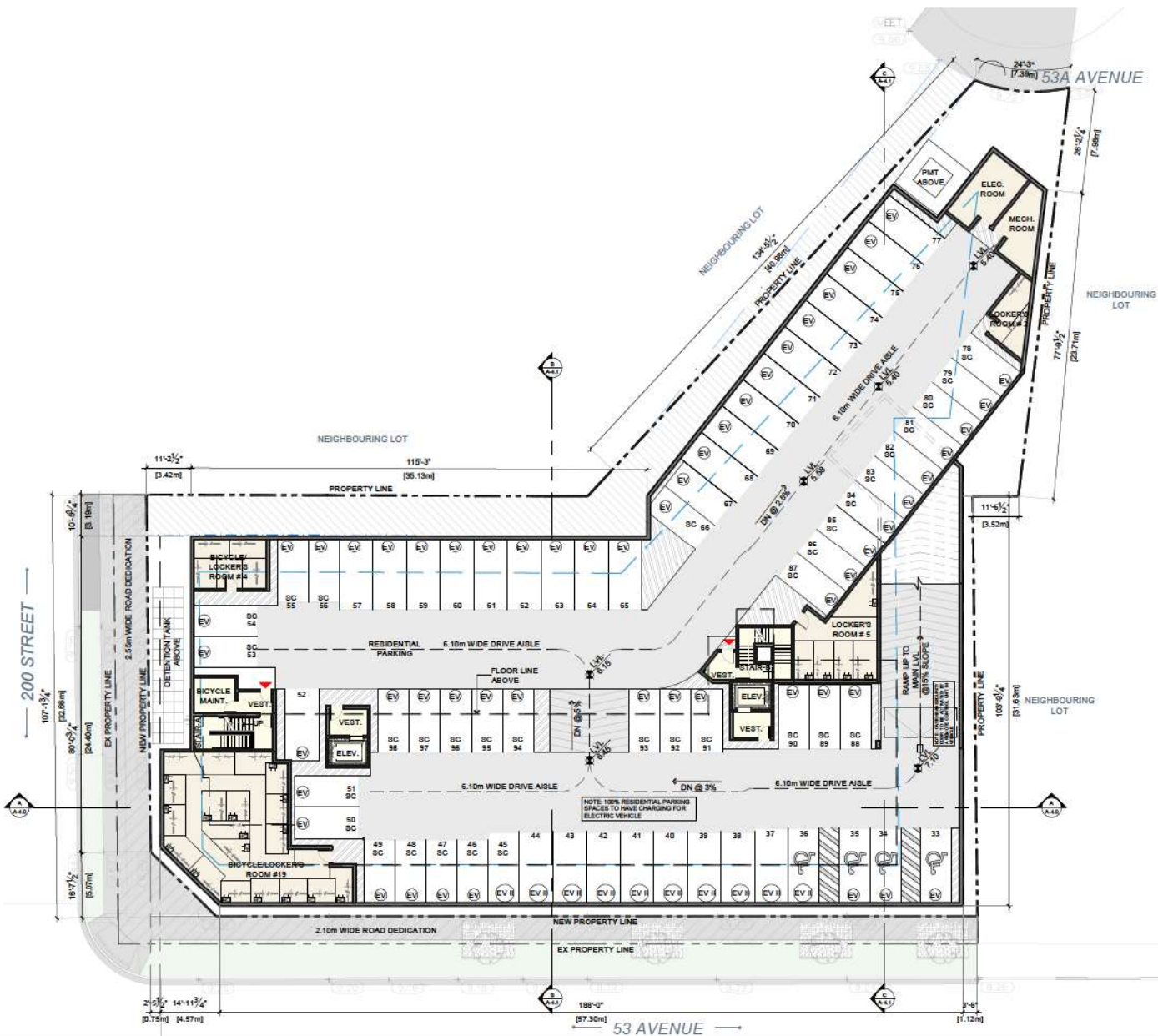
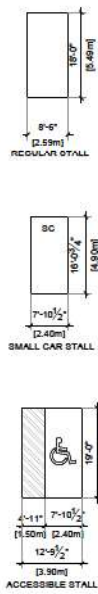


VEHICULAR MOVEMENT



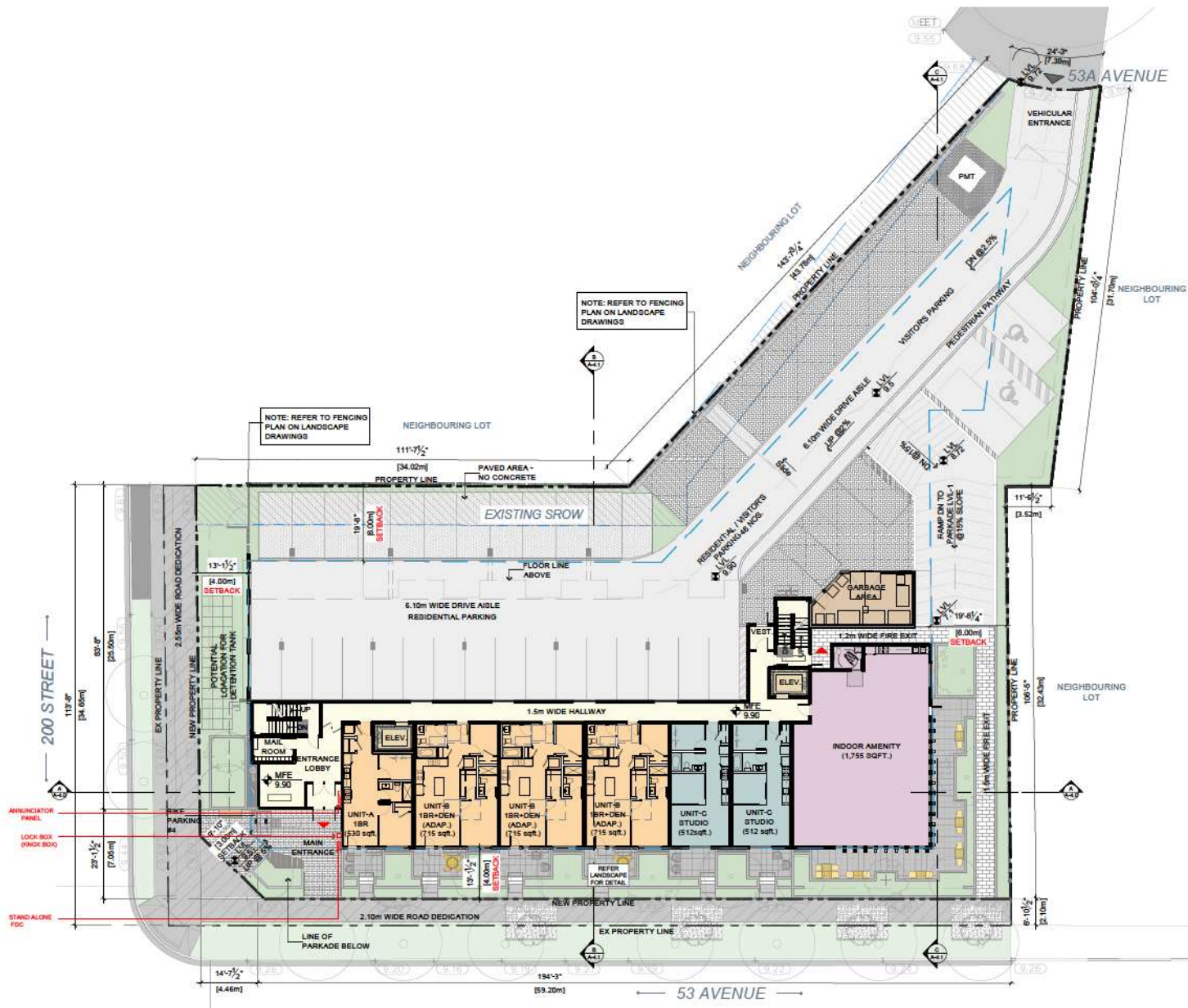
LEGEND	
VEHICULAR	VEHICULAR
PEDESTRIAN	PEDESTRIAN





NOTE: 100% RESIDENTIAL PARKING SPACES TO HAVE CHARGING FOR ELECTRIC VEHICLE





NOTE: REFER TO FENCING PLAN ON LANDSCAPE DRAWINGS

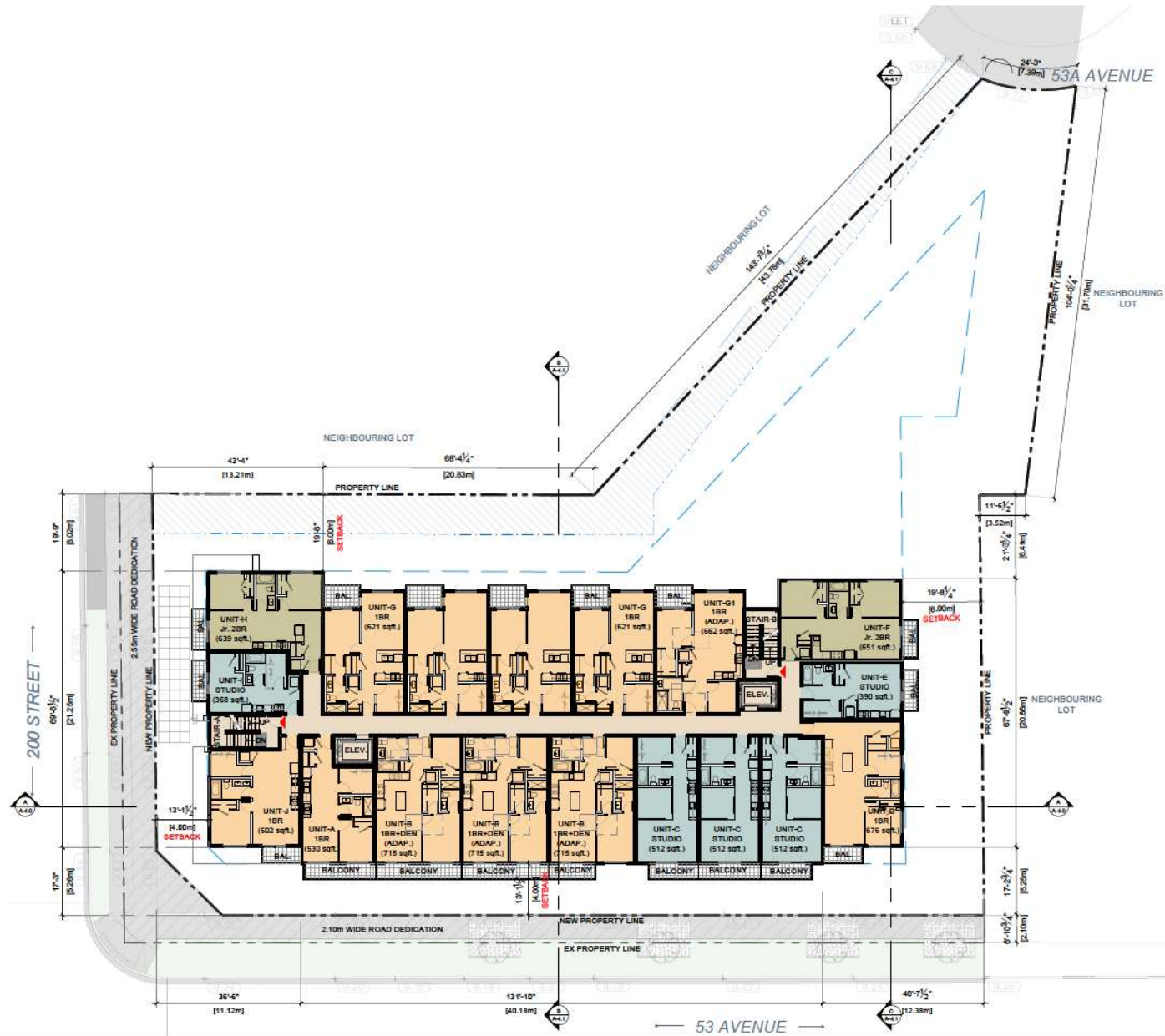
NOTE: REFER TO FENCING PLAN ON LANDSCAPE DRAWINGS

- ANNUNCIATOR PANEL
- LOCK BOX (KNICK BOX)
- STAND ALONE FDC



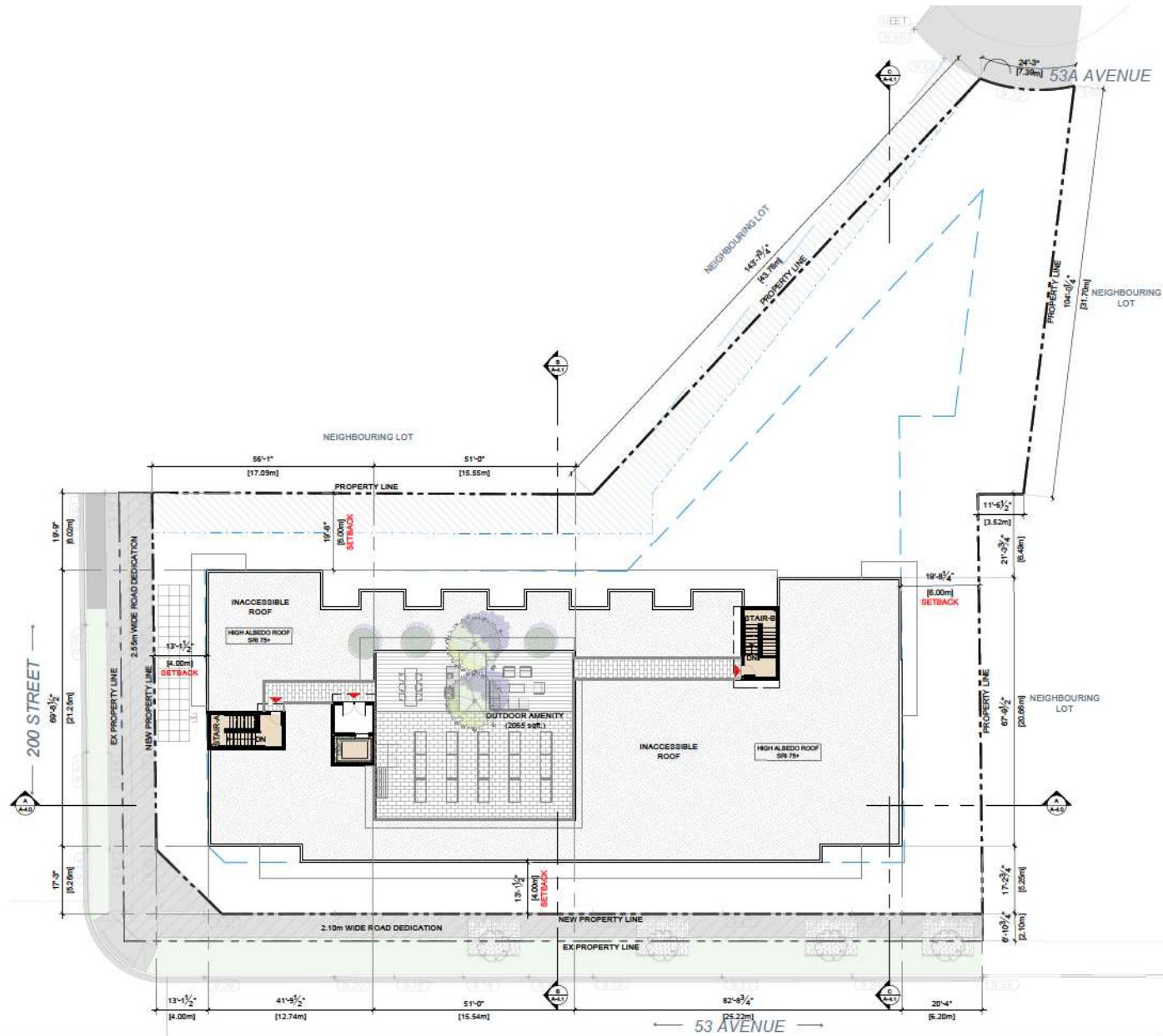






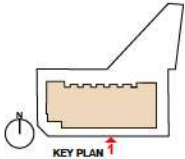






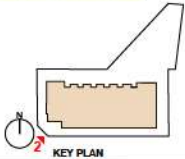


1 PERSPECTIVE VIEW
ALONG 53 AVENUE





2 PERSPECTIVE VIEW
ALONG SOUTH-WEST CORNER

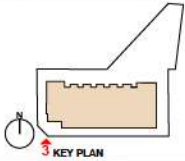


KEY PLAN



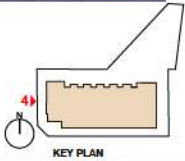


3 PERSPECTIVE VIEW
ALONG SOUTH-WEST CORNER (ENTRANCE)



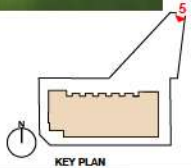


4 PERSPECTIVE VIEW
ALONG 200 STREET





5 PERSPECTIVE VIEW
ALONG 53A Ave

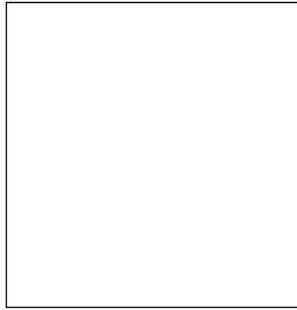


KEY PLAN

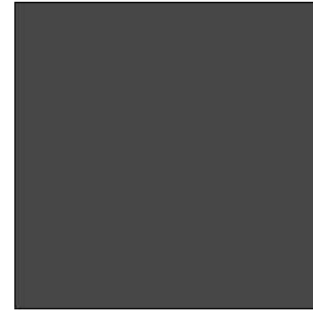




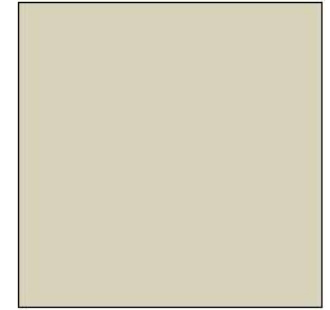
SOUTH ELEVATION (ALONG 53 AVE)



1 - Hardie Panel with matching reveals
Color to Match: Primary white



2 - Hardie Panel with matching reveals
Color to Match: Benjamin Moore Graphite 1603



3 - Hardie Panel with matching reveals
Color to Match: Benjamin Moore Berber White 955



4 - Aluminum Composite Paneling:
Color: Longboard Architectural Products - Dark Fir



5 - Aluminium Metal Louver
Color to Match: Benjamin Moore Graphite 1603



6 - Aluminium Railing
Clear and Translucent
Color: Black



*** NOTE: All fiber cement panels/trims/recess, reveals, reglets, fascia etc. must be colored matching to the panels they are attached to.**



7 - Aluminium Railing:
Color : Black



8 - Glazed Windows
Color : Black
Glass: Clear



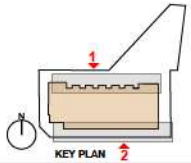
9 - Aluminium Door with Glass
Color : Black
Glass: Clear



1 NORTH ELEVATION
SCALE- NTS



2 SOUTH ELEVATION
SCALE- NTS

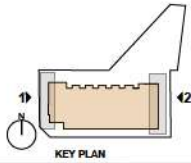


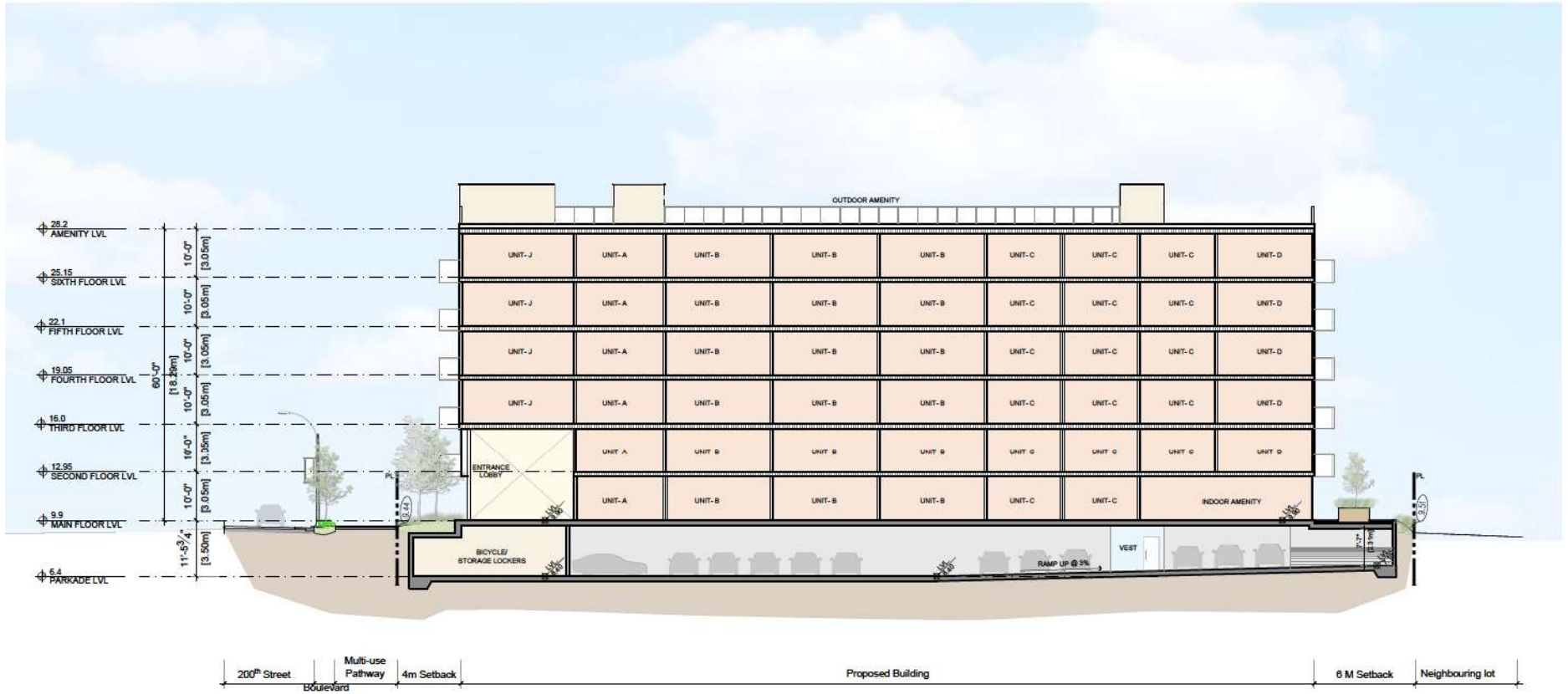


1 WEST ELEVATION
SCALE- NTS

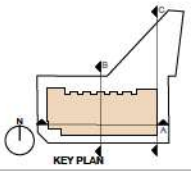


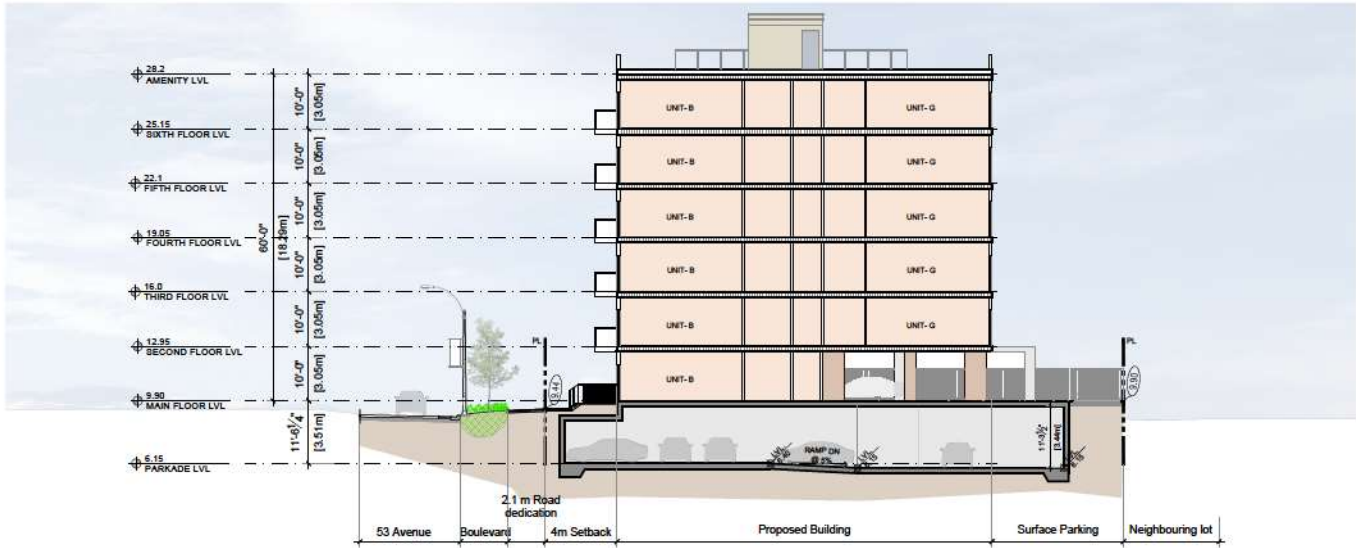
2 EAST ELEVATION
SCALE- NTS



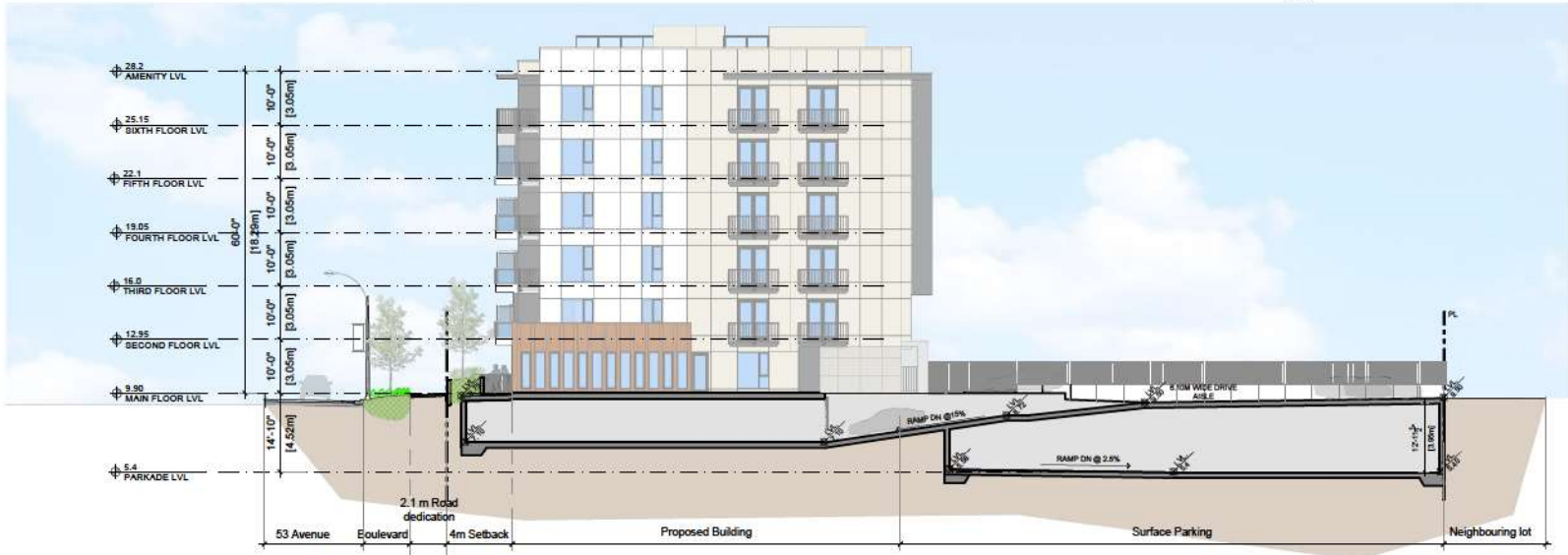


1 SECTION A-A

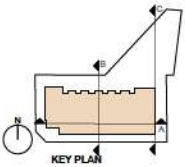


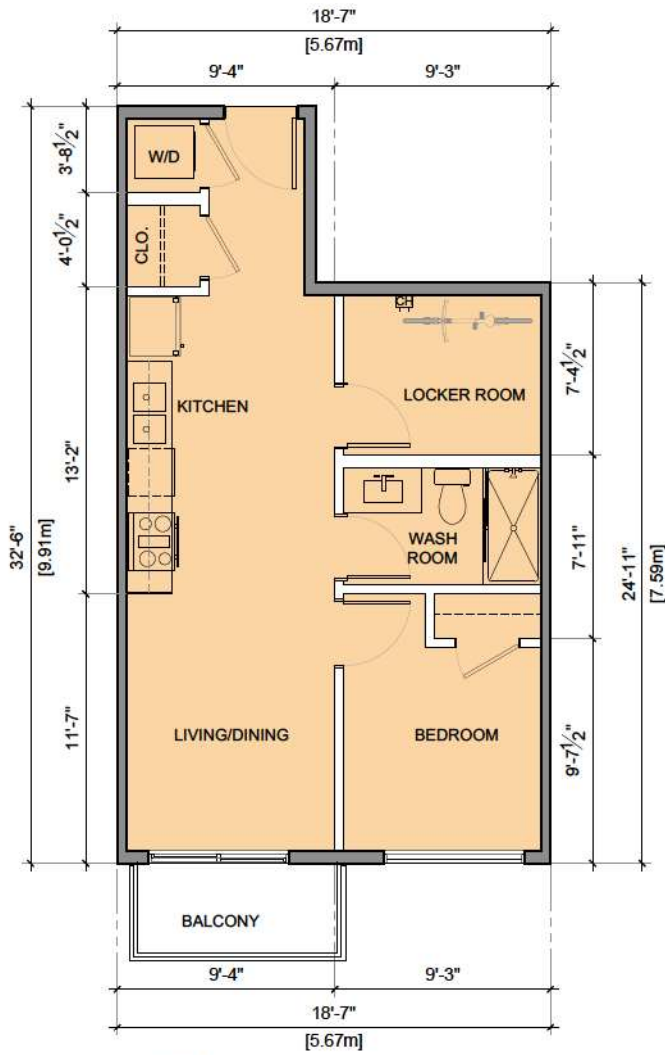


1 SECTION B-B

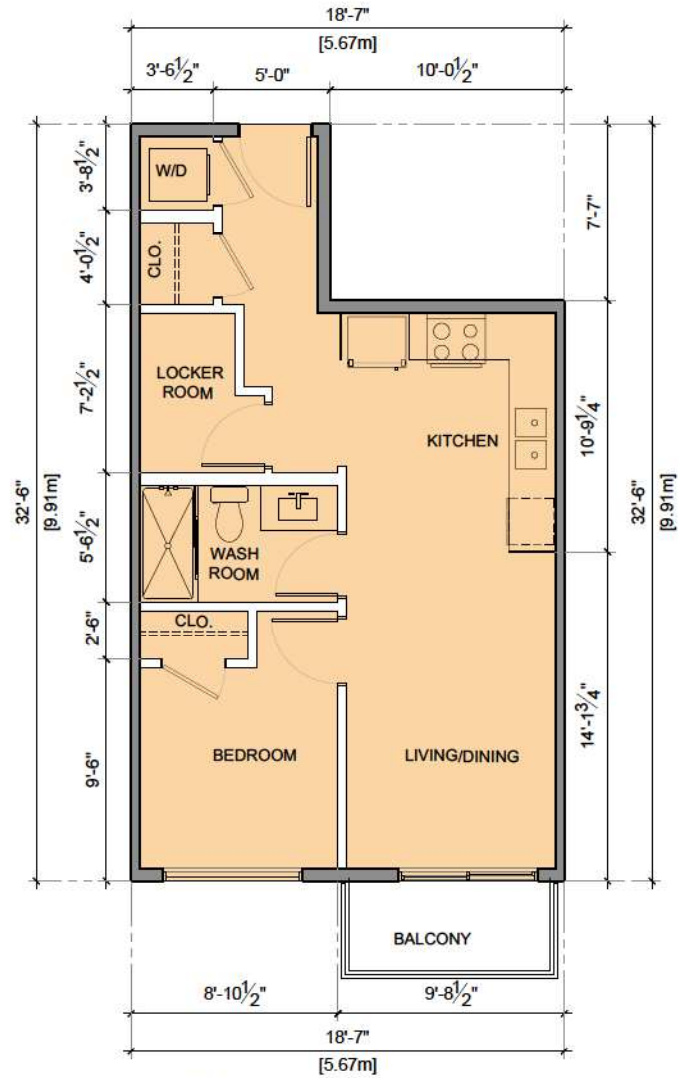


1 SECTION C-C



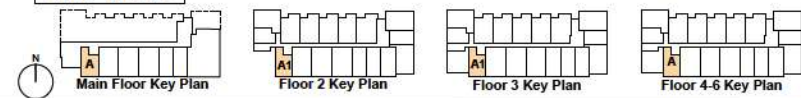


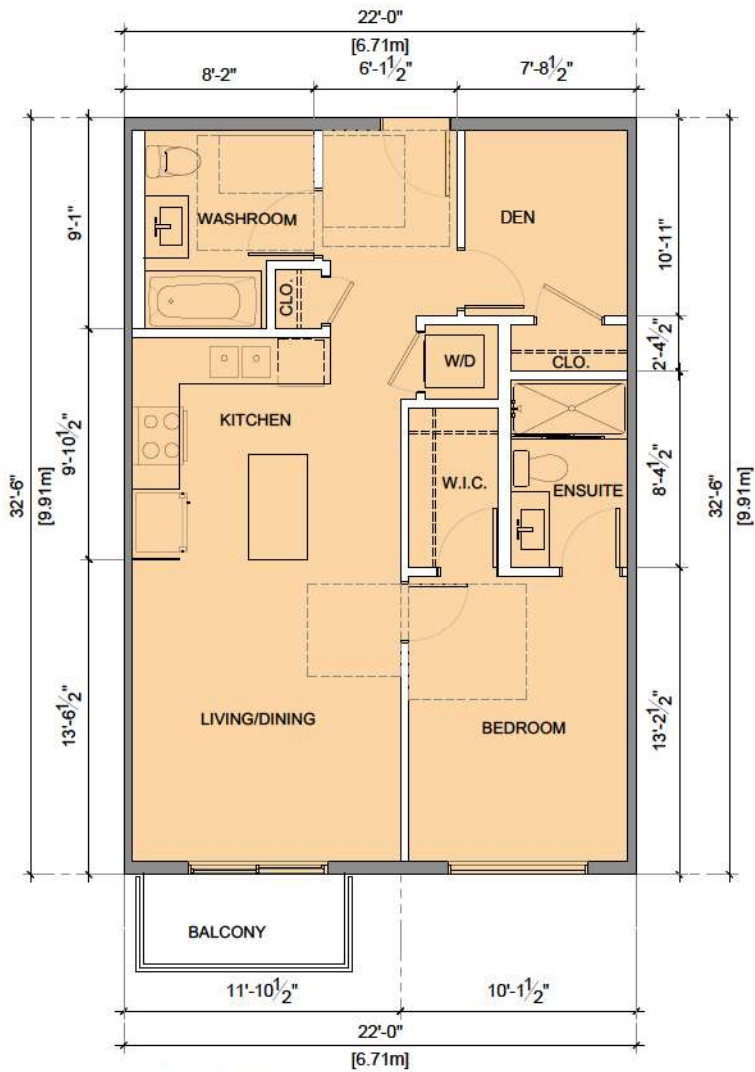
1 UNIT-A
 3/16"=1'-0"
 AREA = 530 Sq.ft.



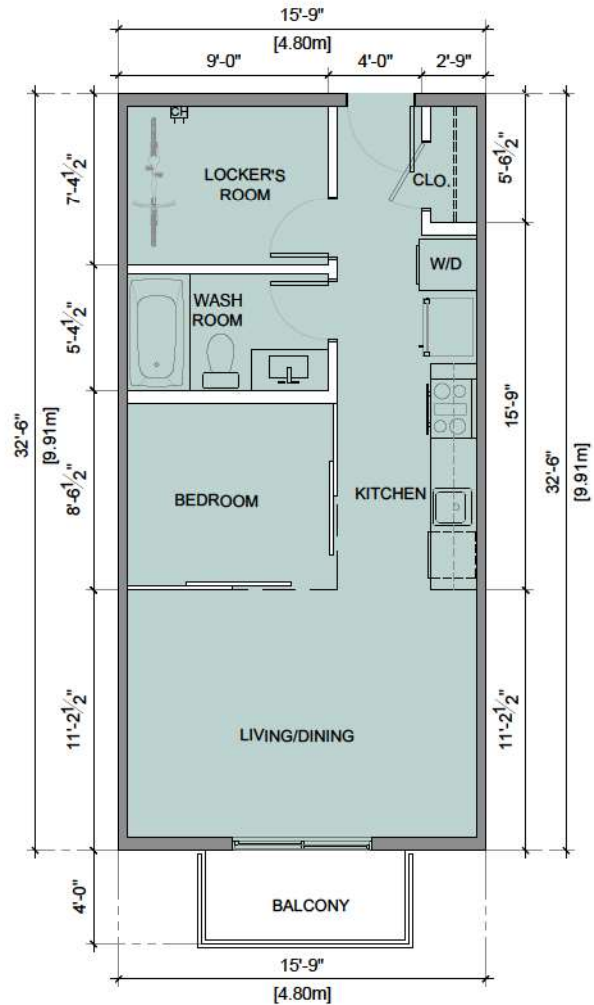
2 UNIT-A1
 3/16"=1'-0"
 AREA = 530 Sq.ft.

LEGEND	
[Light Green Box]	STUDIO
[Light Orange Box]	1BR
[Light Yellow Box]	2BR





1 UNIT-B (ADAP.)
 3/16"=1'-0" AREA = 715 Sq.ft.

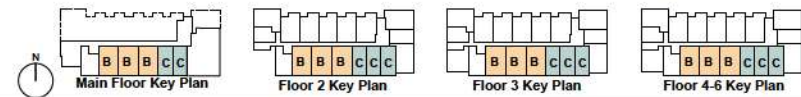


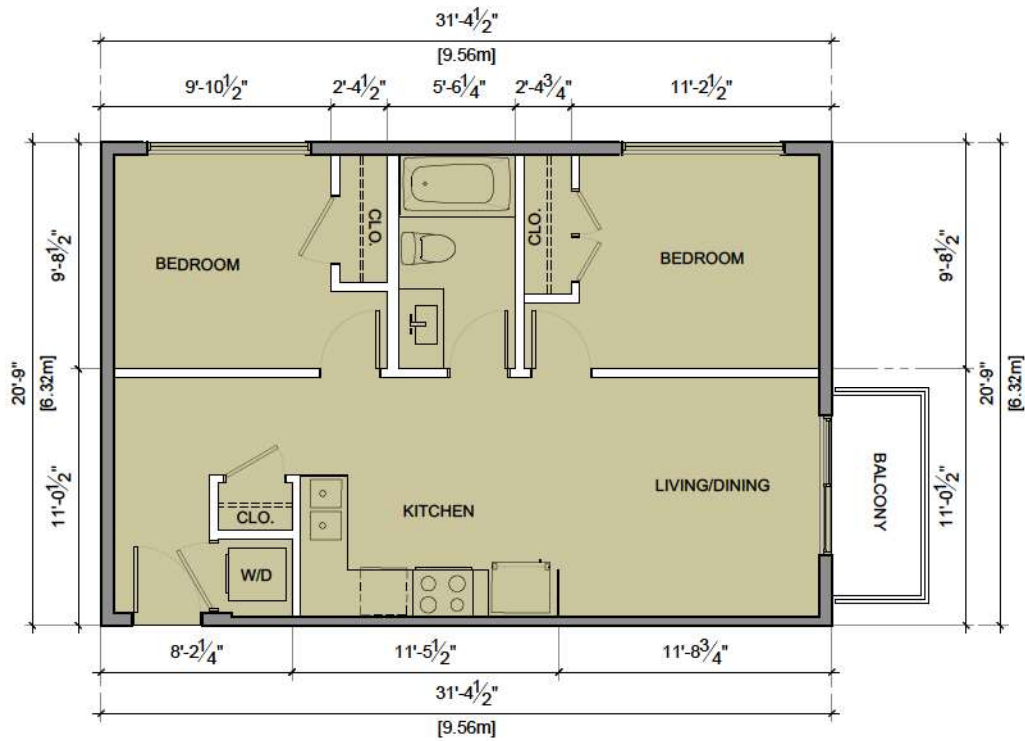
AREA = 512 Sq.ft.

2 UNIT-C
 3/16"=1'-0"

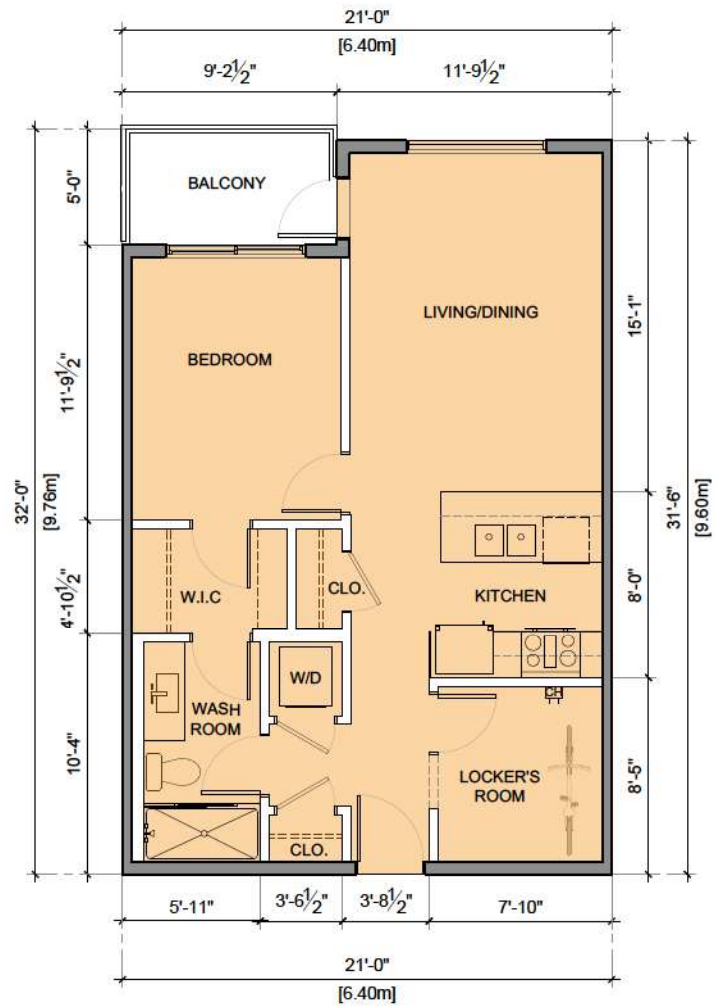
LEGEND

STUDIO
1BR
2BR





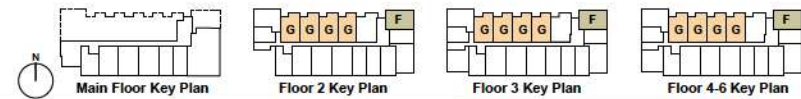
1 UNIT-F
3/16"=1'-0"

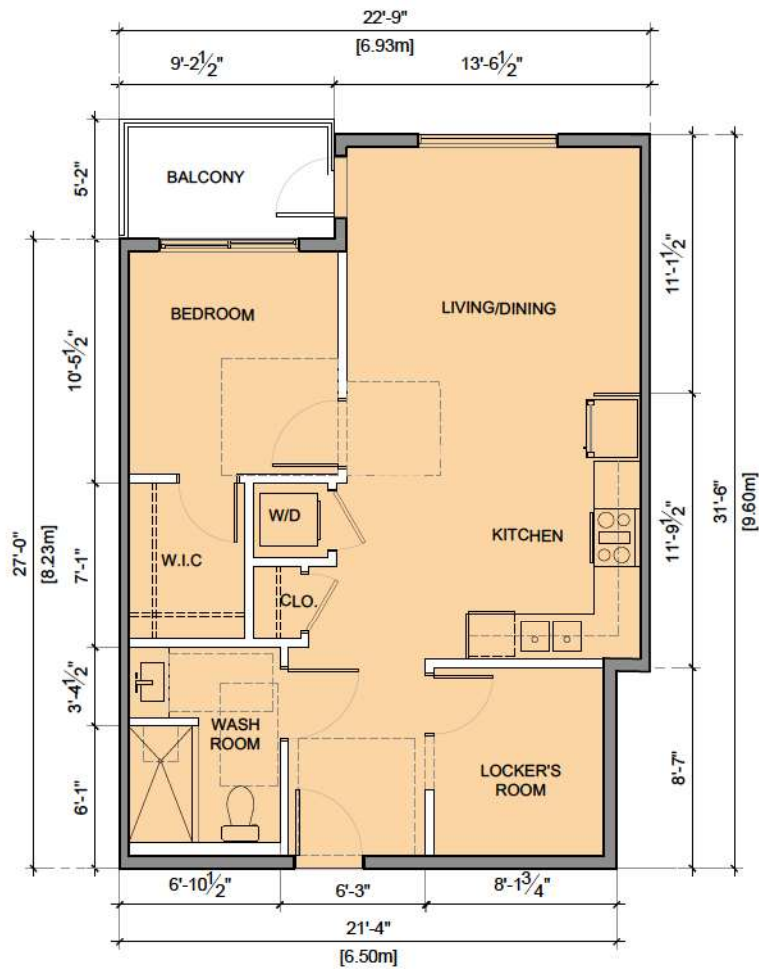


2 UNIT-G
3/16"=1'-0"

LEGEND

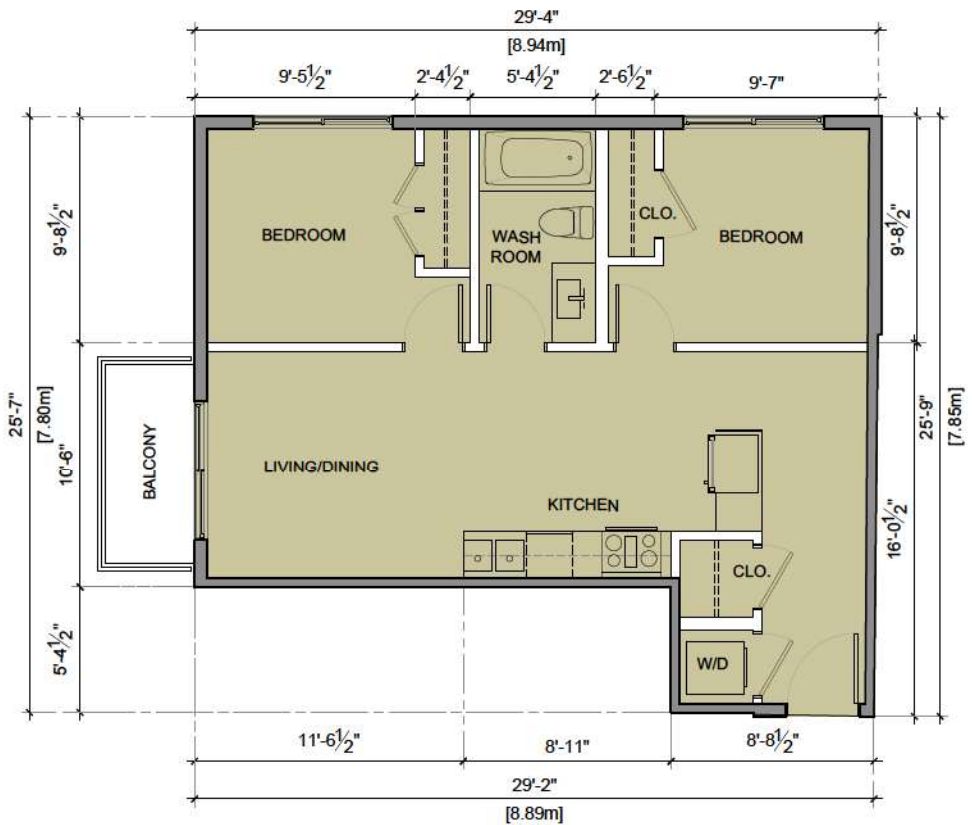
STUDIO
1BR
2BR





AREA = 662 Sq.ft.

1 UNIT-G1
 3/16" = 1'-0"

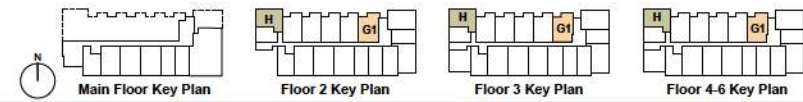


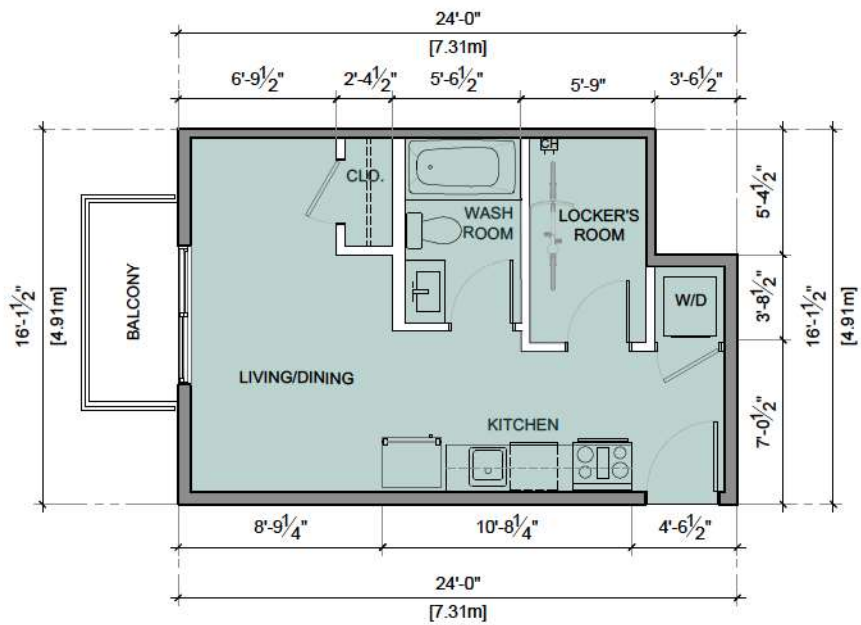
AREA = 639 Sq.ft.

2 UNIT-H
 3/16" = 1'-0"

LEGEND

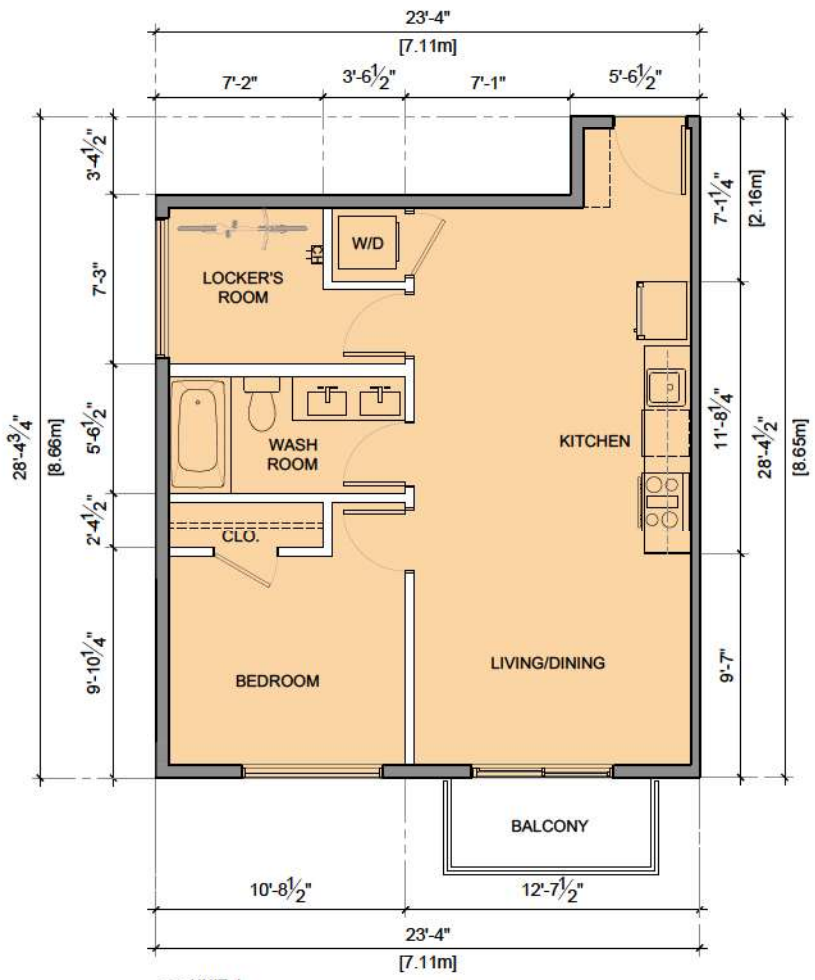
STUDIO
1BR
2BR





AREA = 368 Sq.ft.

1 UNIT-I
 3/16" = 1'-0"

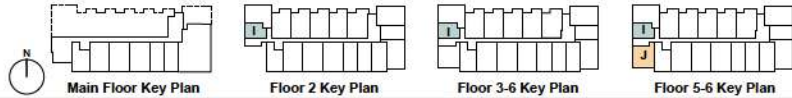


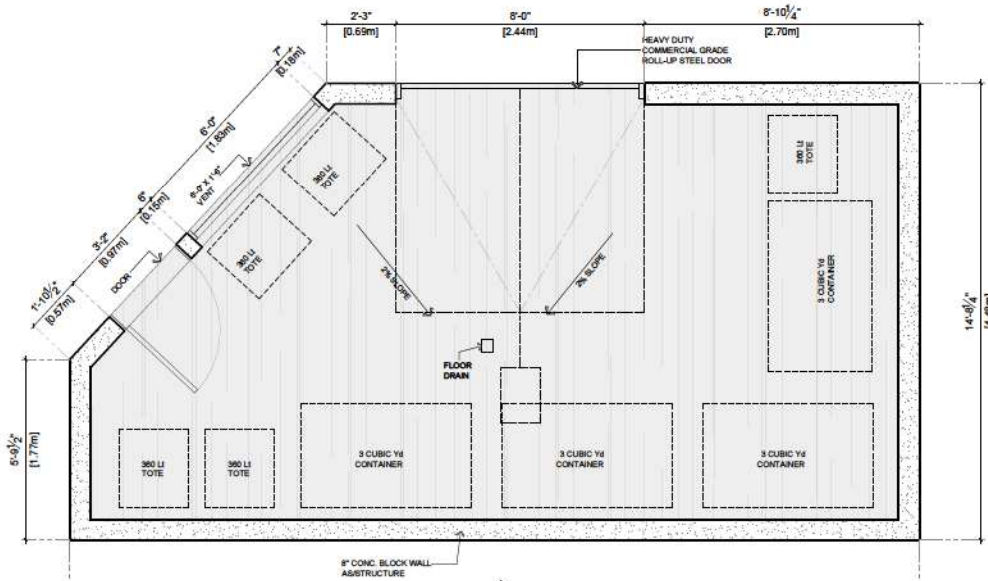
AREA = 602 Sq.ft.

2 UNIT-J
 3/16" = 1'-0"

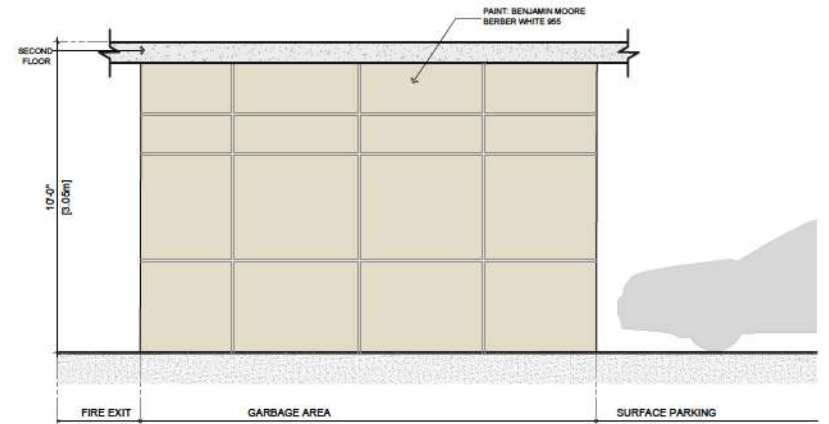
LEGEND

STUDIO
1BR
2BR

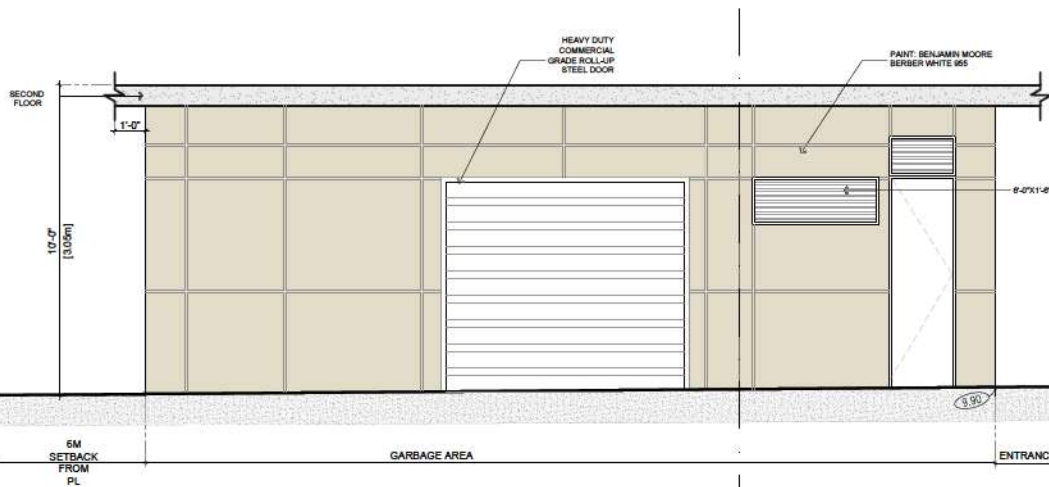




1 GARBAGE ENCLOSURE PLAN
Scale: 1/4"=1'-0"

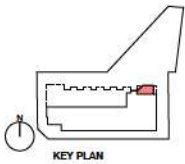


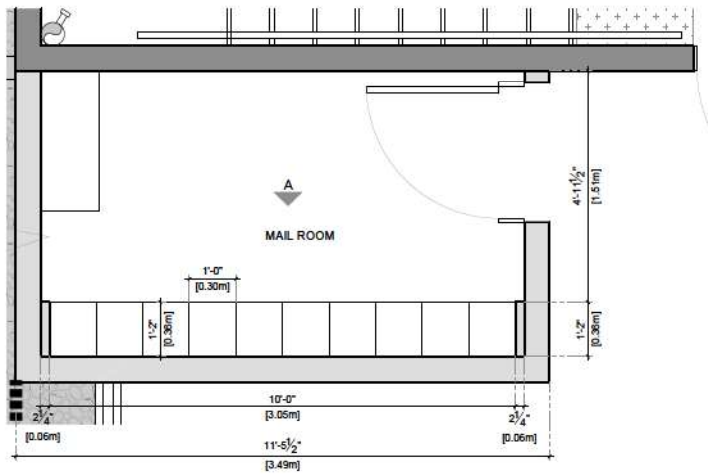
3 EAST ELEVATION
Scale: 1/4"=1'-0"



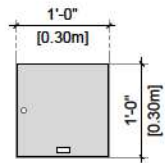
2 NORTH ELEVATION
Scale: 1/4"=1'-0"

- NOTES:
- ENCLOSURE ARCHITECTURE (MATERIALS, etc.) IS TO CONFORM TO MUNICIPAL BUILDING AND DEVELOPMENT PERMIT REQUIREMENTS (AS REQUIRED).
 - STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH THE BC BUILDING CODE. ENCLOSURES ARE TO BE DESIGNED TO WITHSTAND SNOW LOADING, VEHICULAR DAMAGE, OPERATIONAL DAMAGE, AND BEARS.
 - STEEL ENTRY DOOR IS TO BE 36" WIDE (915MM) AND BE EQUIPPED WITH A SELF-CLOSING MECHANISM. DOOR MAY HAVE A ROUND TURNING KNOB COMPLETE WITH A COVERED KEYED KNOB GUARD ON THE EXTERIOR FOR ACCESS AND PANIC HARDWARE ON THE INTERIOR FOR EGRESS.
 - ADEQUATE MOTION ACTIVATED INTERIOR AND EXTERIOR LIGHTING (IF REQUIRED).

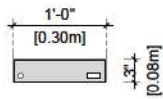




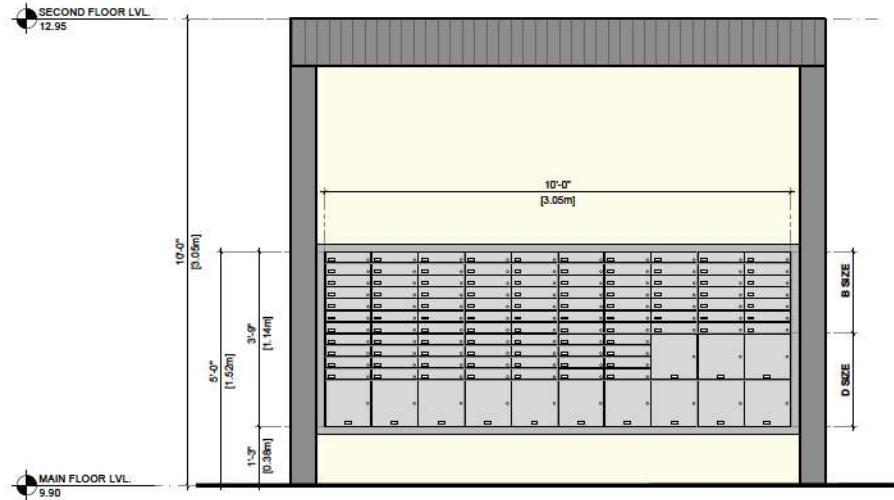
1 MAIL ROOM PLAN
Scale: 3/8" = 1'-0"



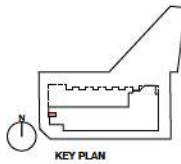
"D" size [13 UNIT]
Approximately 30.5 cm x 30.5 cm. Used for large volume receivers in business applications as well as optional parcel compartments.



"B" size [98 UNIT]
Personal compartments for residential and small business applications. These are minimum size requirements, regardless of front-loading or rear-loading lockbox assemblies. All with 35 cm of minimum (min.) depth. (As/Canada Post)



2 MAIL ROOM ELEVATION - A
Scale: 3/8" = 1'-0"



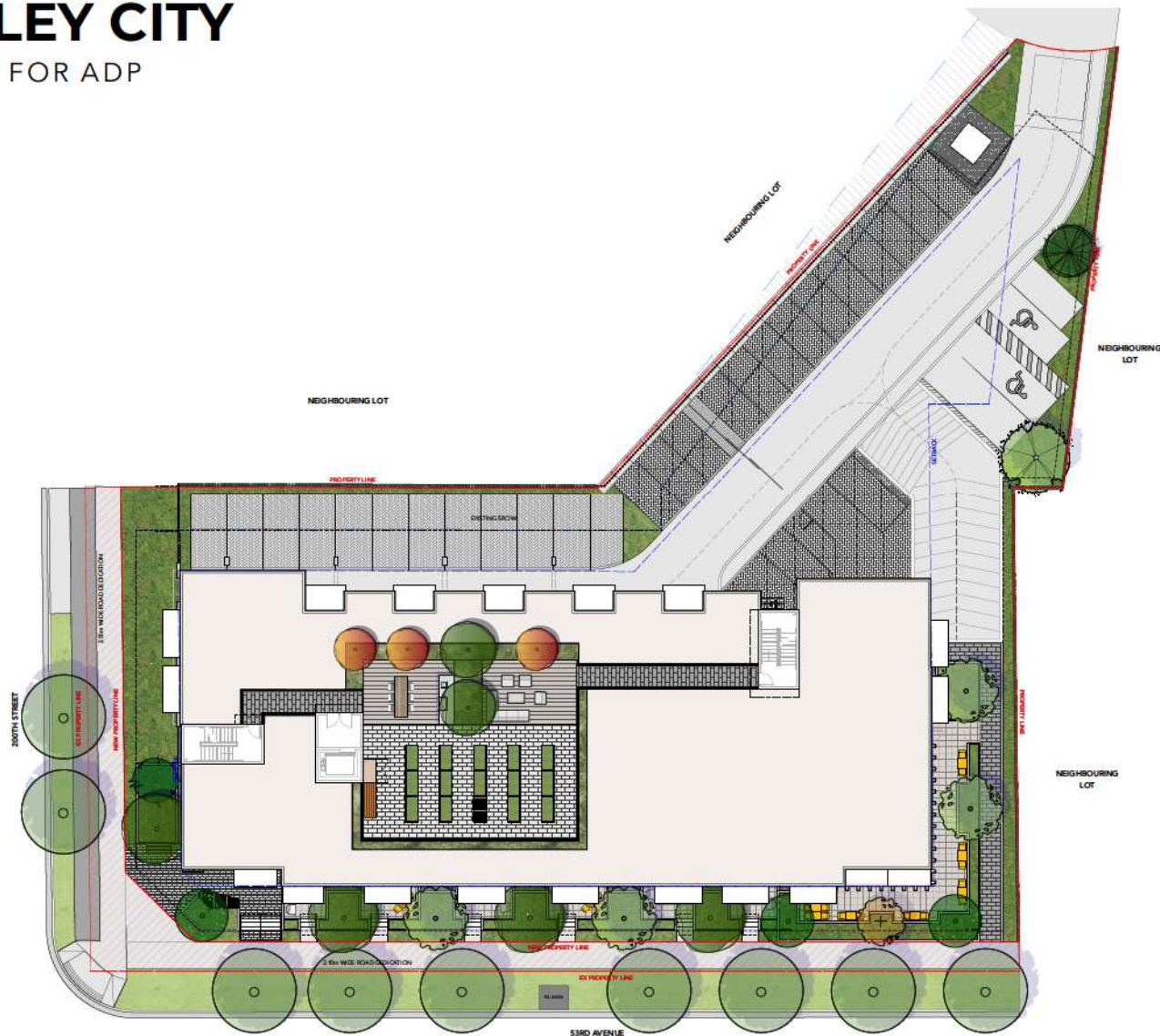
KEY PLAN

53 AVE. LANGLEY CITY

LANDSCAPE SET - ISSUED FOR ADP
MAY 7th, 2024

LANDSCAPE DRAWING INDEX

L0.0	COVER SHEET
L0.1	TREE MANAGEMENT PLAN
L0.2	SOIL VOLUME DIAGRAM
L1.0	LANDSCAPE PLAN - GROUND
L1.1	LANDSCAPE PLAN - ROOFTOP
L1.2	DETAILED PLANS
L2.0	GRADING PLAN - GROUND
L3.0	PLANTING PALETTE
L3.1	PLANTING PLAN - GROUND
L3.2	PLANTING PLAN - ROOFTOP
L4.0	LIGHTING PLAN - GROUND
L4.1	LIGHTING PLAN - ROOFTOP
L4.2	LIGHTING MATERIALITY
L4.3	FENCING PLAN
L5.0	SECTIONS
L6.0	DETAILS
L6.1	DETAILS
L6.2	DETAILS
L6.3	DETAILS
L6.4	DETAILS



David Stoyko
Landscape Architect

2884 6TH AVENUE EAST
VANCOUVER BC V6M 1R3
P.604.200.0488

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7	ISSUED FOR ADP 2404.24
6	ISSUED FOR DP 2403.04
5	ISSUED FOR COORDINATION 2403.01
4	ISSUED FOR REVIEW 2402.16
3	ISSUED FOR OPTED REVIEW 2402.02
2	ISSUED FOR REVIEW 2402.01
1	ISSUED FOR PRELIMINARY REVIEW 23.12.22

REVISIONS



200TH STREET & 53RD
AVENUE

5302 200th Street & 2011-31 53rd
Avenue
Langley, British Columbia

Scale:	
Drawn:	PP
Reviewed:	DS
Project No.	22-017

COVER SHEET

L0.0

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5	ISSUED FOR COORDINATION 2403-01
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3	ISSUED FOR CP'D REVIEW 2402-02
2	ISSUED FOR REVIEW 2402-01
1	ISSUED FOR PRELIMINARY REVIEW 23-12-22
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Langley, British Columbia

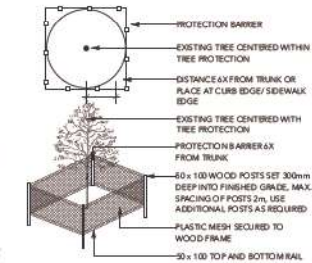
Scale:	
Drawn:	MGC
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Project No.:	22-017

TREE MANAGEMENT PLAN

L0.1

TREE RETENTION / REMOVAL LEGEND

SYMBOL	DESCRIPTION
	TREE TO BE RETAINED PER ARBORIST REPORT
	TREE TO BE REMOVED PER ARBORIST REPORT
	TREE PROTECTION FENCING TREE PROTECTION FENCING TO BE INSTALLED PER CITY OF LANGLEY STANDARDS AND INSPECTED BY ARBORIST PRIOR TO CONSTRUCTION ACTIVITY
#12	TREE TAG PER ARBORIST REPORT

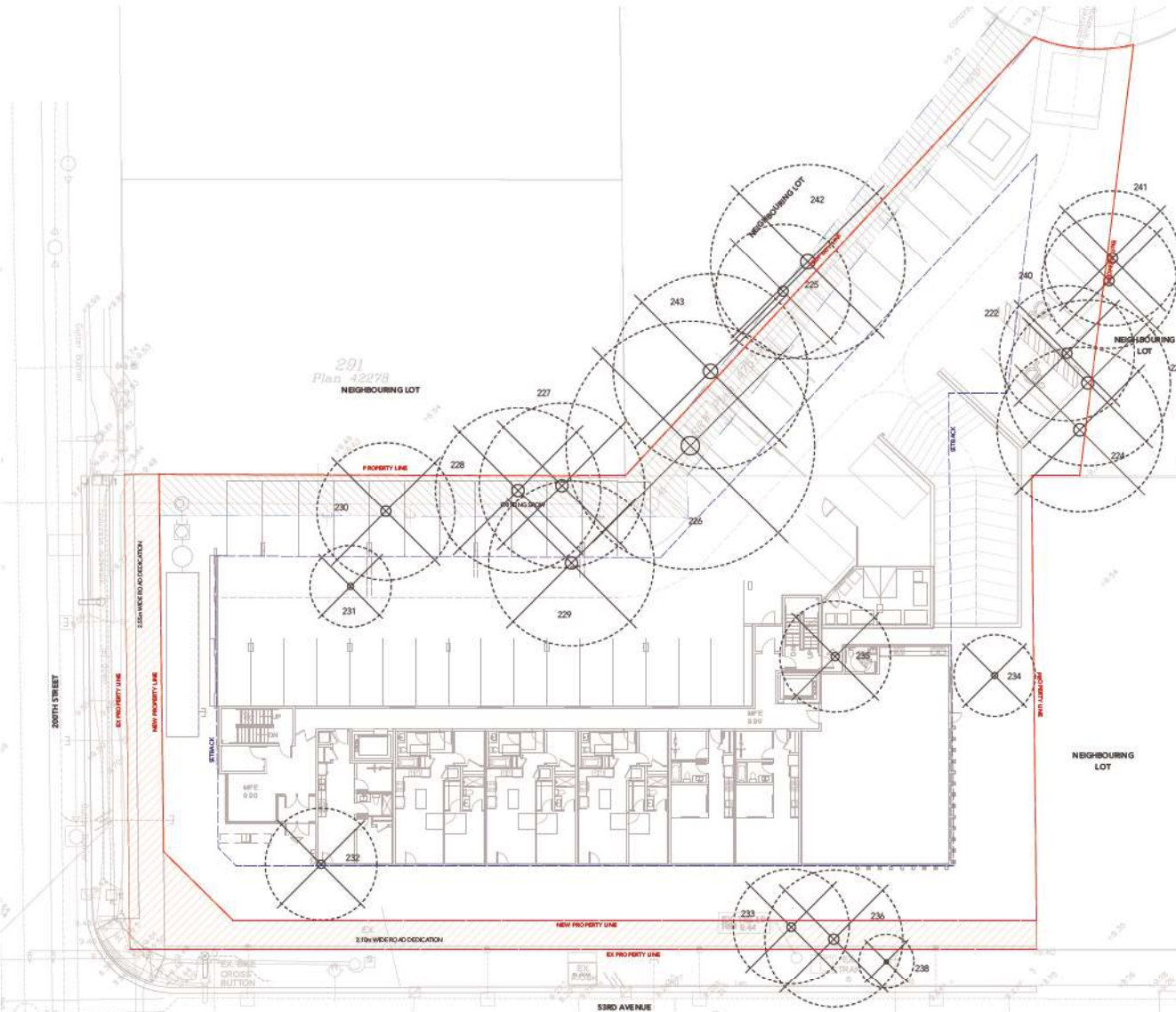


NOTES:

1. THIS PLAN HAS BEEN PREPARED WITH INFORMATION SUPPLIED BY THE PROJECT SURVEYOR, ARCHITECT, PLANNER, LANDSCAPE ARCHITECT, ARBORIST, AND CIVIL ENGINEER AND HAS BEEN REVIEWED AND SIGNED OFF BY EACH CONSULTANT AS BEING ACCURATE AND COMPLETE WITH RESPECT TO EXISTING AND ULTIMATE SITE CONDITIONS RELATED TO TREE RETENTION AND PROTECTION MATTERS.
2. ELEVATIONS SHOWN ARE IN METRIC.

TREE PROTECTION NOTES:

1. DO NOT REMOVE OR RELOCATE ANY TREE, EXCEPT AS INDICATED ON PLANS.
2. INSTALL TREE PROTECTION BARRIERS AROUND ALL TREES TO BE PRESERVED. REMOVE ALL TREE PROTECTION BARRIERS AFTER CONSTRUCTION.
3. CONSULTANT TO PROVIDE WRITTEN INSPECTION AND APPROVAL OF ALL BARRIERS BEFORE CONSTRUCTION BEGINS.
4. LANDSCAPE ARCHITECT TO BE ON-SITE FOR WORK WITHIN TREE PROTECTION ZONES OR EXISTING TREE ROOTS.
5. ALL TREE PROTECTION FENCING MUST REMAIN IN PLACE AND IN GOOD ORDER THROUGHOUT THE CONSTRUCTION PROCESS. ANY ALTERATION OF THE FENCES MUST BE PRE-APPROVED BY THE ARBORIST.
6. ANY DAMAGE TO EXISTING TREES SHALL BE REPAIRED TO THE SATISFACTION OF THE CONSULTANT AT CONTRACTOR EXPENSE.



1 Tree Management Plan
Scale: 1:150

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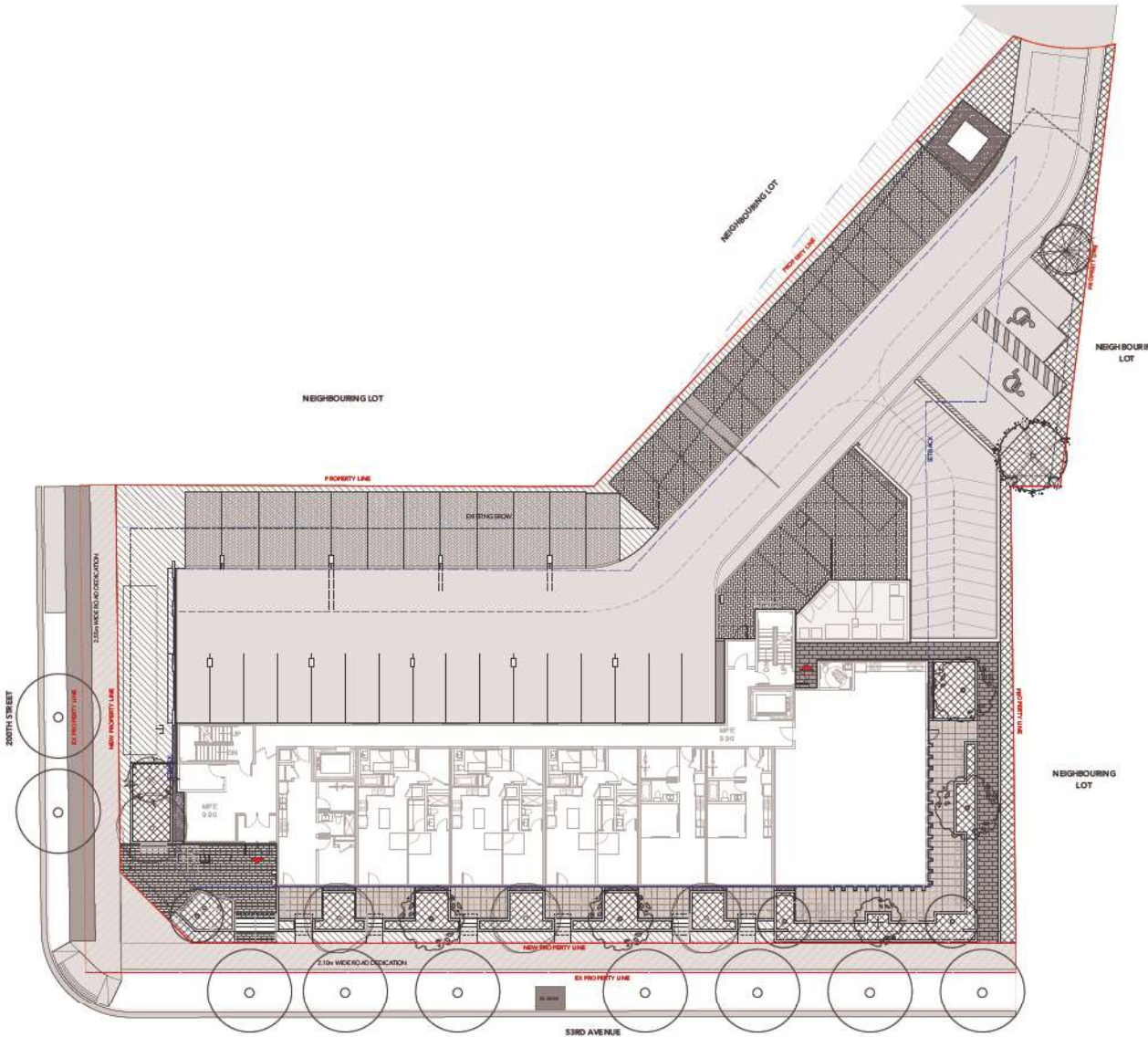
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Project No.:	22-017

SOIL DEPTH DIAGRAM

SOIL DEPTH LEGEND

SYMBOL	DESCRIPTION
	915MM (3'0") TREE PLANTING MINIMUM DEPTH
	610MM (1'6"-2'0") SHRUB PLANTING MINIMUM DEPTH
	450MM (1'6") GROUND-COVER PLANTING MINIMUM DEPTH

NOTES:
1. ALL SOIL DEPTHS TO MEET OR EXCEED THE BC LANDSCAPE STANDARD, LATEST EDITION.



1 Landscape Plan - Ground
Scale: 1:150



LAYOUT AND MATERIALS LEGEND - GROUND

KEY	SYMBOL	DETAIL	DESCRIPTION
1		3.4 L6.1	LINEAR UNIT PAVERS TECHO-BLOC LINNEA (CHAMPLAIN GREY)
2		3.4 L6.1	FEATURE PAVERS BARKMAN BROADWAY PLANK (STERLING, NATURAL)
3		7 L6.1	VEHICULAR CONCRETE PAVERS BARKMAN - HOLLAND PAVERS (NATURAL, SIERRA GREY)
4		1.2 L6.1	CIP CONCRETE PAVING PER PLANS AND DETAILS
5		6 L6.1	2x2 SLAB PAVERS (TYPE 1) BELGARD - TEXADA HYDRO-PRESSED SLABS (NATURAL)
6		8 L6.1	GRAVEL PER PLANS AND DETAILS
7		1.7 L6.0	PROPOSED PLANTING REFER TO PLANT LIST
8			PROPOSED SODDED LAWN PER PLANS AND DETAILS
9		9 L6.2	BIKE RACK 2 CLASS B SPACES EACH
10			SMALL BOULDERS AND LOGS PER PLANS AND DETAILS
11		9 L6.1	CONCRETE PLANTER WALL PER PLANS AND DETAILS
12		1 L6.3	LOBBY ENTRY SEATING PLATFORM PER PLANS AND DETAILS



1 Landscape Plan - Ground
Scale: 1:150

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NO.	REVISIONS	DATE
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8	ISSUED FOR ADP	2405-07
7	ISSUED FOR ADP	2404-24
6	ISSUED FOR DP	2403-04
5	ISSUED FOR COORDINATION	2403-01
4	ISSUED FOR REVIEW	2402-16
3	ISSUED FOR CP/ED REVIEW	2402-02
2	ISSUED FOR REVIEW	2402-01
1	ISSUED FOR PRELIMINARY REVIEW	23-12-22



200TH STREET & 53RD AVENUE

5302 200th Street & 20011-31 53rd Avenue
Langley, British Columbia

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Project No.:	22-017

LANDSCAPE PLAN - LEVEL 1

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8	ISSUED FOR ADP 2405-07
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6	ISSUED FOR DP 2403-01
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4	ISSUED FOR REVIEW 2402-16
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REVISIONS



200TH STREET & 53RD
AVENUE

5302 200th Street & 20011-31 53rd
Avenue
Langley, British Columbia

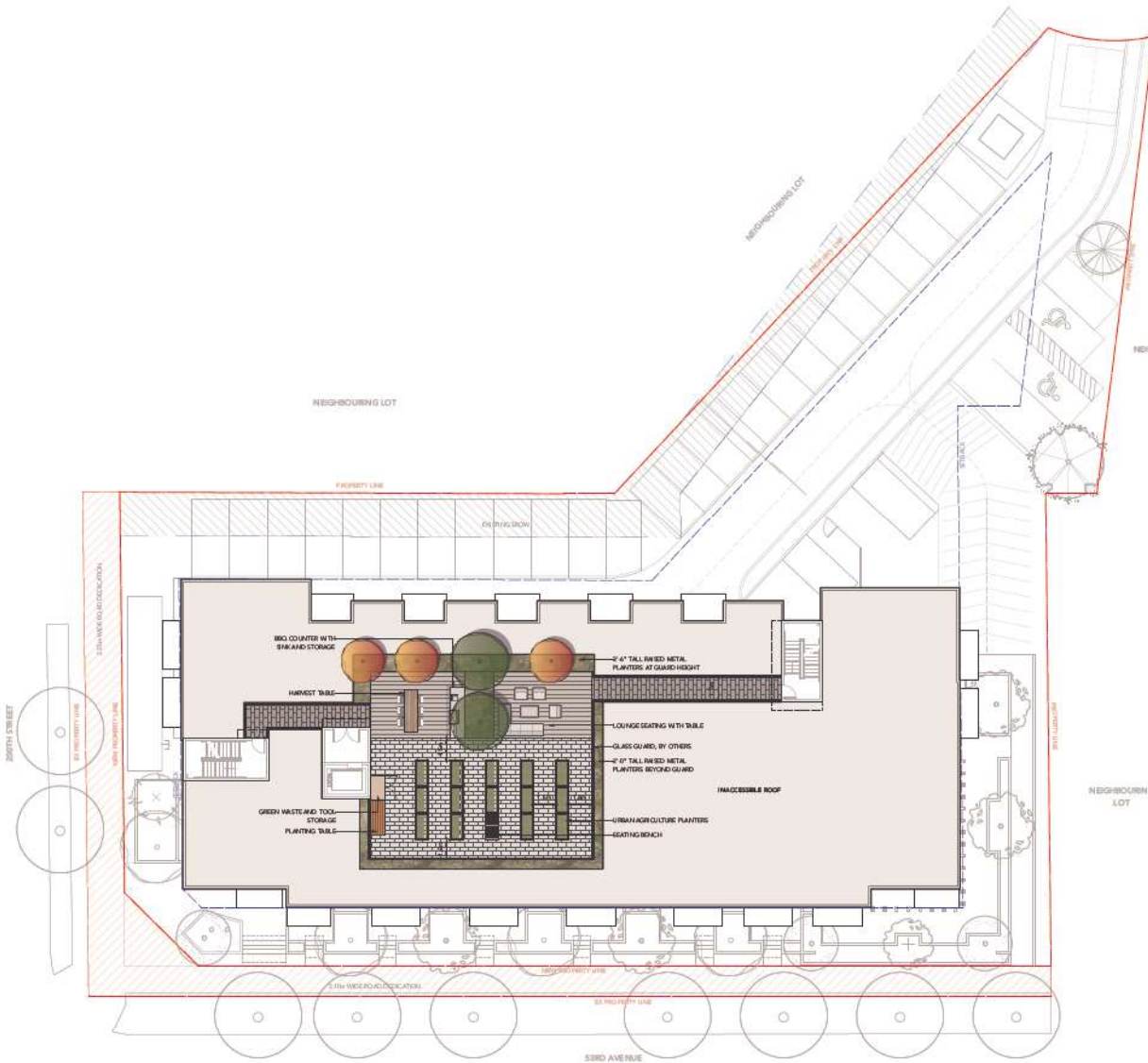
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Project No. 22-017

LANDSCAPE PLAN -
ROOF LEVEL

L1.1

LAYOUT AND MATERIALS LEGEND - ROOF

KEY	SYMBOL	DETAIL	DESCRIPTION
1		6 L6.1	12"x24" SLAB PAVERS (TYPE 2) BELGARD: TEXADA SLAB (NATURAL)
2		6 L6.1	12"x24" SLAB PAVERS (TYPE 3) BELGARD: TEXADA SLAB (CHARCOAL)
3		10 L6.1	WOOD-LIKE PORCELAIN PAVERS DALTILE: COMMISSARY SERIES (COMMANDER BEIGE)
4		1 L6.2	RAISED METAL PLANTERS PER PLANS AND DETAILS
5		3 L6.3	BENCH SEATING PER PLANS AND DETAILS
6		4 L6.2	URBAN AGRICULTURE PLANTERS PER PLANS AND DETAILS
7		8 L6.2	BBQ AND COUNTER PER PLANS AND DETAILS
8		7 L6.2	HARVEST TABLE AND SEATING PER PLANS AND DETAILS
9		2 L6.3	TOOL STORAGE PER PLANS AND DETAILS
10		5-6 L6.2	LOUNGE SEATING AND TABLE PER PLANS AND DETAILS



1 Landscape Plan - Roof
Scale: 1:150



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REVISIONS		



200TH STREET & 53RD AVENUE

5302 200th Street & 20011-31 53rd Avenue
Langley, British Columbia

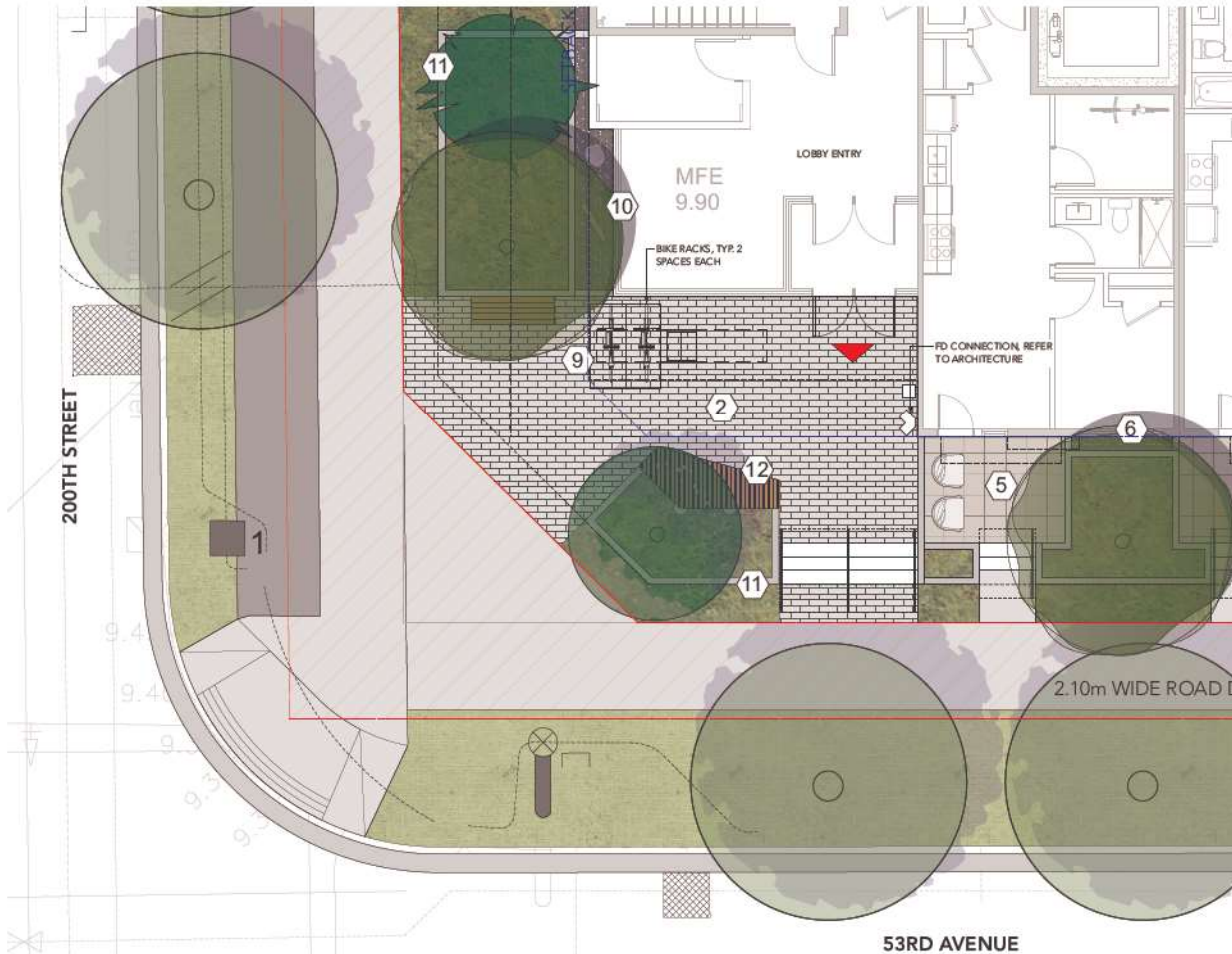
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Drawn:	PP
Reviewed:	DS
Project No.:	22-017

DETAILED PLANS

L1.2

LAYOUT AND MATERIALS LEGEND - GROUND

KEY	SYMBOL	DETAIL	DESCRIPTION
1		3.4 L6.1	LINEAR UNIT PAVERS TECHO-BLOC LINNEA (CHAMPLAIN GREY)
2		3.4 L6.1	FEATURE PAVERS BARKMAN BROADWAY PLANK (STERLING, NATURAL)
3		7 L6.1	VEHICULAR CONCRETE PAVERS BARKMAN - HOLLAND PAVERS (NATURAL, SIERRA GREY)
4		1.2 L6.1	CIP CONCRETE PAVING PER PLANS AND DETAILS
5		6 L6.1	2'x2' SLAB PAVERS (TYPE 1) BELGARD: TEXADA HYDRAPRESSED SLABS (NATURAL)
6		8 L6.1	GRAVEL PER PLANS AND DETAILS
7		1.7 L6.0	PROPOSED PLANTING REFER TO PLANT LIST
8			PROPOSED SODDED LAWN PER PLANS AND DETAILS
9		9 L6.2	BIKE RACK 2 CLASS B SPACES EACH
10			SMALL BOULDERS AND LOGS PER PLANS AND DETAILS
11		9 L6.1	CONCRETE PLANTER WALL PER PLANS AND DETAILS
12		1 L6.3	LOBBY ENTRY SEATING PLATFORM PER PLANS AND DETAILS



1 Detailed Plan - Lobby Entry
Scale: 1:50

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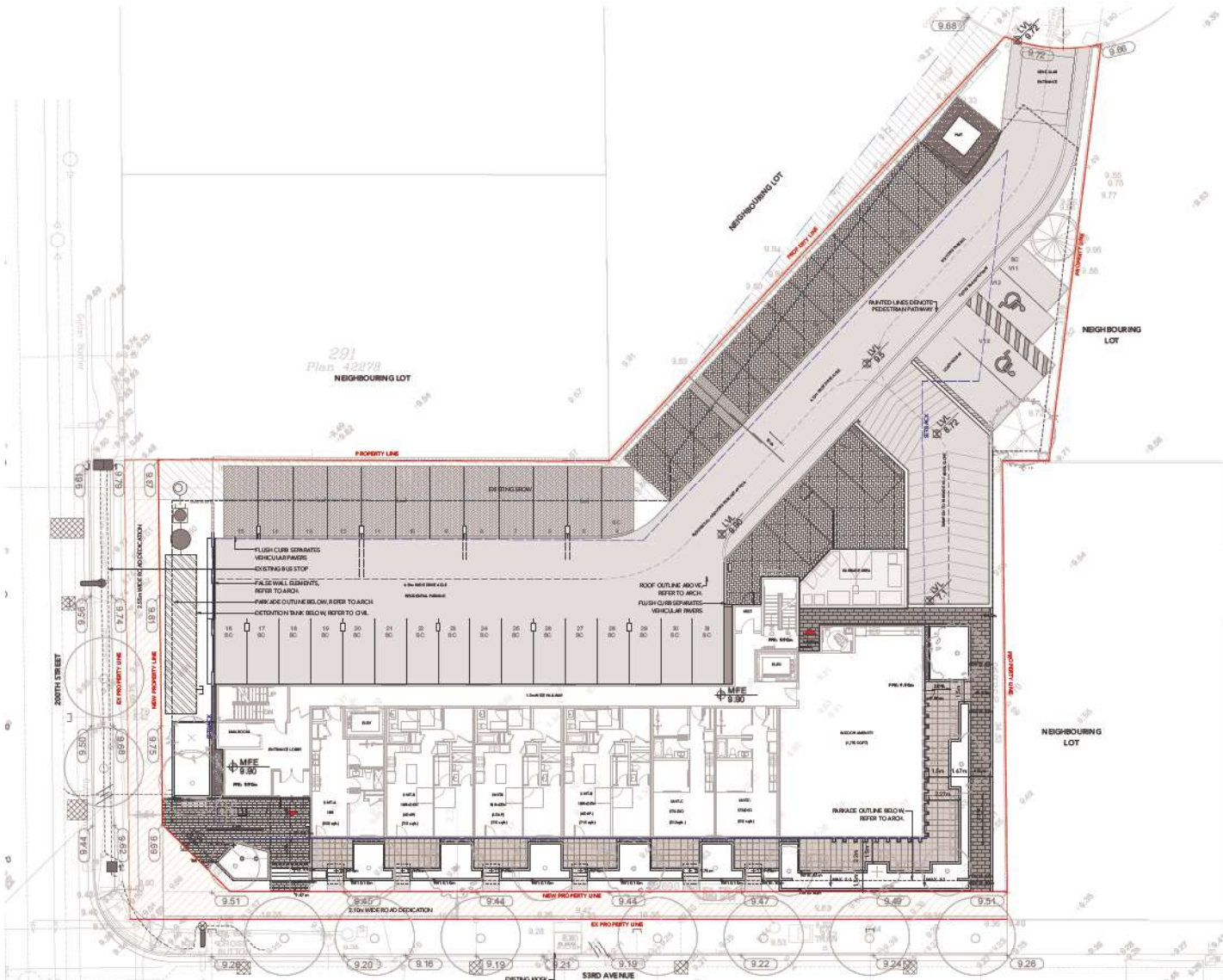
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GRADING PLAN -
LEVEL 1

L2.0

GRADING LEGEND

SYMBOL	DESCRIPTION
+TW10.32m	LANDSCAPE GRADES
MFE 9.90	ARCHITECTURAL GRADES
9.26	CIVIL GRADES



1 Grading Plan - Ground
Scale: 1:150



OVERALL CONCEPT



LAYERED & TEXTURED PLANTING SCHEME THAT PROVIDES ALL-SEASON INTEREST USING PREDOMINANTLY NATIVE PLANTS

TREES



TALL SHRUBS



LOW SHRUBS



PERENNIALS & GROUND COVER



PLANT LIST

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
TREES					
9	Acer x freemanii	Freeman's Maple	7cm cal.	As shown	
1	Pinus heldreichii 'Compact Gem'	Compact Gem Bosnian Pine	5cm cal. Wire Basket	As shown	
3	Acer shirasawanum 'Moonrise'	Full Moon Maple	5cm cal. Wire Basket	As shown	
6	Zelkova serrata	Japanese Zelkova	7cm cal. Wire Basket	As shown	
1	Cercis canadensis	Eastern Redbud	5cm cal. Wire Basket	As shown	
1	Pinus contorta var. contorta	Show Pine	5cm cal. Wire Basket	As shown	
1	Liquidambar styraciflua	Tulip Tree	7cm cal. Wire Basket	As shown	
3	Arbutus unedo	Strawberry Tree	5cm cal. Wire Basket	As shown	
4	Acer glabrum	Paperbark Maple	5cm cal. Wire Basket	As shown	
20	TOTAL TREES (excluding street trees)				
TALL SHRUBS					
14	Hamamelis x intermedia	Witch Hazel	#5 Pot	24" o.c.	
26	Ceanothus 'Victoria'	California Lilac	#2 pot	24" o.c.	
23	Rubus spectabilis	Salmonberry	#5 Pot	36" o.c.	
14	Fatsia japonica	Japanese Aralia	#2 pot	24" o.c.	
61	Lonicera pileata	Box-Leaved Honeysuckle	#2 pot	24" o.c.	
18	Symphoricarpos albus	Snowberry	#2 Pot	36" o.c.	
LOW SHRUBS					
15	Gaultheria shallon	Salal	#2 pot	24" o.c.	
33	Cornus sericea 'Yalesey'	Dwarf Red Osier Dogwood	#2 pot	24" o.c.	
53	Mahonia nervosa	Dwarf Oregon Grape	#2 pot	24" o.c.	
71	Fothergilla gardenii	Dwarf Fothergilla	#1 pot	18" o.c.	
57	Sarcococca hookeriana 'Humilis'	Himalayan Sweet Box	#2 pot	18" o.c.	
55	Spiraea betulifolia var. lucida	White Spirea	#2 pot	36" o.c.	
56	Rhododendron 'Ken Janeck'	Ken Janeck Rhododendron	#5 pot	24" o.c.	
23	Blechnum spicant	Deer Fern	#1 Pot	18" o.c.	
26	Polystichum munizum	Western Sword Fern	#1 pot	24" o.c.	
GROUNDCOVERS					
147	Arctostaphylos uva-ursi	Kinnikinnick	4"(10cm) pot	18" o.c.	
199	Fragaria chiloensis	Beach Strawberry	4" (10cm) Pot	15" o.c.	
228	Pachysandra terminalis	Japanese Spurge	4" (10cm) Pot	15" o.c.	
PERENNIALS					
56	Carex obovata	Slough Sedge	#1 Pot	18" o.c.	
93	Stipa tenuissima	Mexican Feather Grass	#1 Pot	18" o.c.	
SOD LAWN					
		sq. m. sod			

NATIVE PLANTS
 DROUGHT TOLERANT PLANTS
 POLLINATOR FRIENDLY PLANTS
 SEASONAL INTEREST PLANTS
 FOOD RESOURCE PLANTS
 HABITAT VALUE PLANTS
 EVERGREEN PLANTS

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REVISIONS



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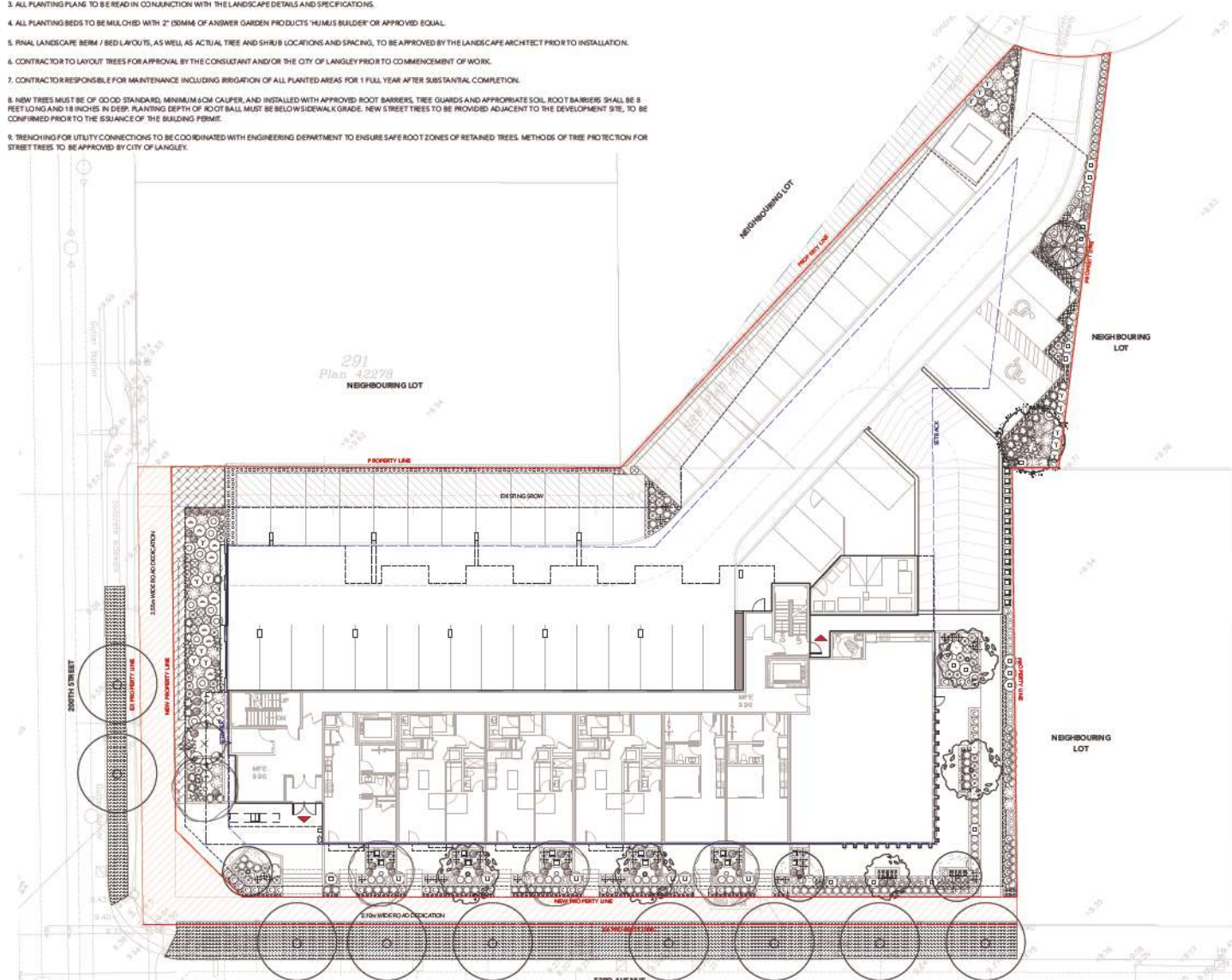
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Drawn:	MGC
Reviewed:	DS
Project No.:	22-017

PLANTING CONCEPT

PLANTING NOTES

1. IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS ON THIS LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
2. ALL PLANTING SHALL MEET OR EXCEED THE REQUIREMENTS AS OUTLINED IN THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION.
3. ALL PLANTING PLANS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE DETAILS AND SPECIFICATIONS.
4. ALL PLANTING BEDS TO BE MULCHED WITH 2" (50MM) OF ANSWER GARDEN PRODUCTS 'HUMUS BUILDER' OR APPROVED EQUAL.
5. FINAL LANDSCAPE BERM / BED LAYOUTS, AS WELL AS ACTUAL TREE AND SHRUB LOCATIONS AND SPACING, TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. CONTRACTOR TO LAYOUT TREES FOR APPROVAL BY THE CONSULTANT AND/OR THE CITY OF LANGLEY PRIOR TO COMMENCEMENT OF WORK.
7. CONTRACTOR RESPONSIBLE FOR MAINTENANCE INCLUDING IRRIGATION OF ALL PLANTED AREAS FOR 1 FULL YEAR AFTER SUBSTANTIAL COMPLETION.
8. NEW TREES MUST BE OF GOOD STANDARD, MINIMUM 4CM CALIPER, AND INSTALLED WITH APPROVED ROOT BARRIERS, TREE GUARDS AND APPROPRIATE SOIL. ROOT BARRIERS SHALL BE 8 FEET LONG AND 18 INCHES IN DEEP. PLANTING DEPTH OF ROOT BALL MUST BE BELOW SIDEWALK GRADE. NEW STREET TREES TO BE PROVIDED ADJACENT TO THE DEVELOPMENT SITE, TO BE CONFIRMED PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
9. TRENCHING FOR UTILITY CONNECTIONS TO BE COORDINATED WITH ENGINEERING DEPARTMENT TO ENSURE SAFE ROOT ZONES OF RETAINED TREES. METHODS OF TREE PROTECTION FOR STREET TREES TO BE APPROVED BY CITY OF LANGLEY.



1 Planting Plan - Ground
Scale: 1:150

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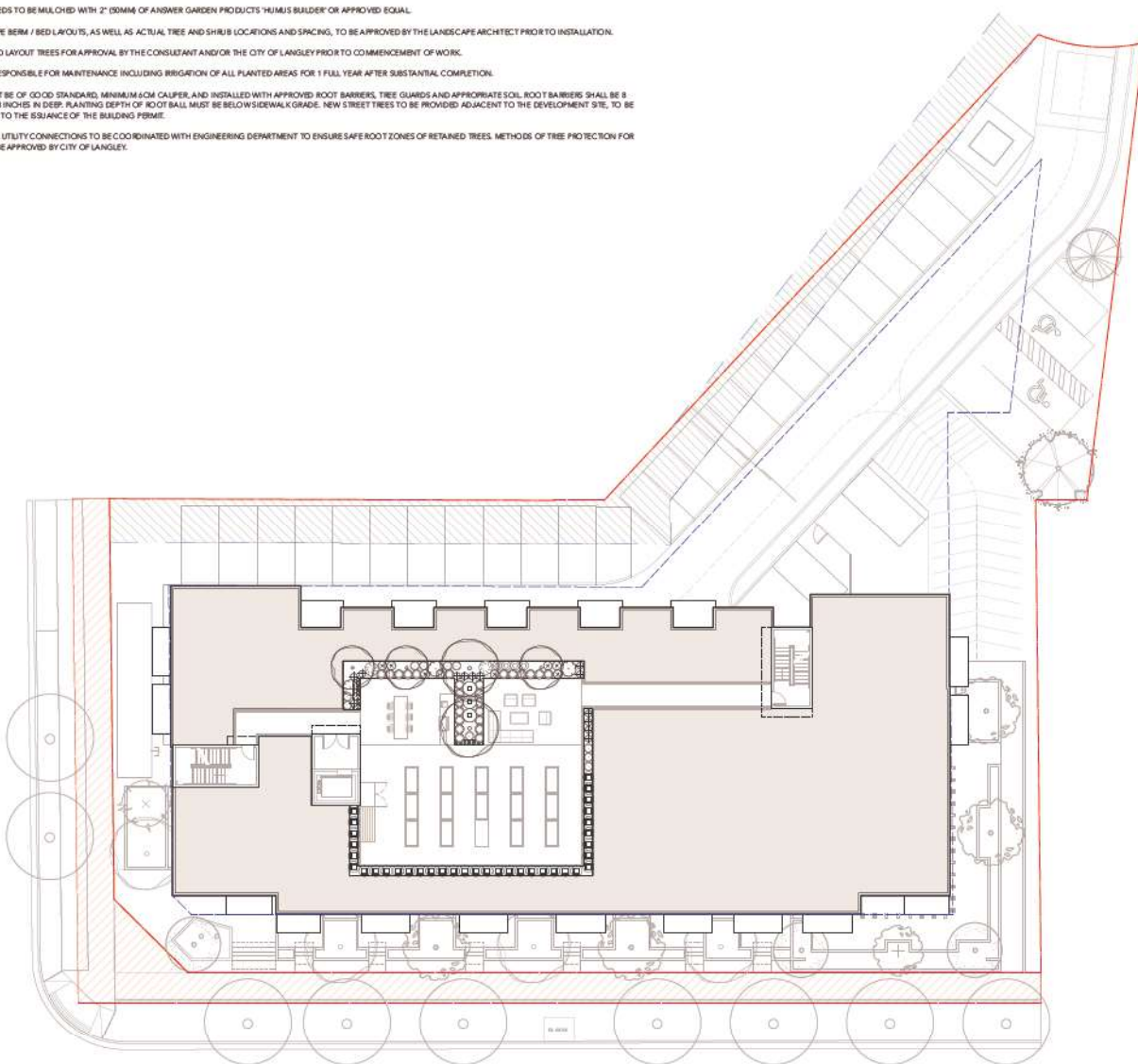
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PLANTING PLAN - LEVEL 1

L3.1

PLANTING NOTES

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1 Planting Plan - Roof
Scale: 1:150

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PLANTING PLAN -
ROOF LEVEL

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LIGHTING PLAN -
LEVEL 1

L4.0

LIGHTING LEGEND

SYMBOL	DESCRIPTION
	UPLIGHT
	WALL LIGHT
	BOLLARD LIGHT
	LED STRIP LIGHT
	METAL PLANTER-MOUNTED LIGHT

NOTE:
LIGHTING PLAN PROVIDED FOR INFORMATION ONLY. ELECTRICAL ENGINEER TO DESIGN SITE LIGHTING AND PROVIDE SPECS AND QUANTITIES DURING BUILDING PERMIT APPLICATION.



1 Lighting Plan - Ground
Scale: 1:150



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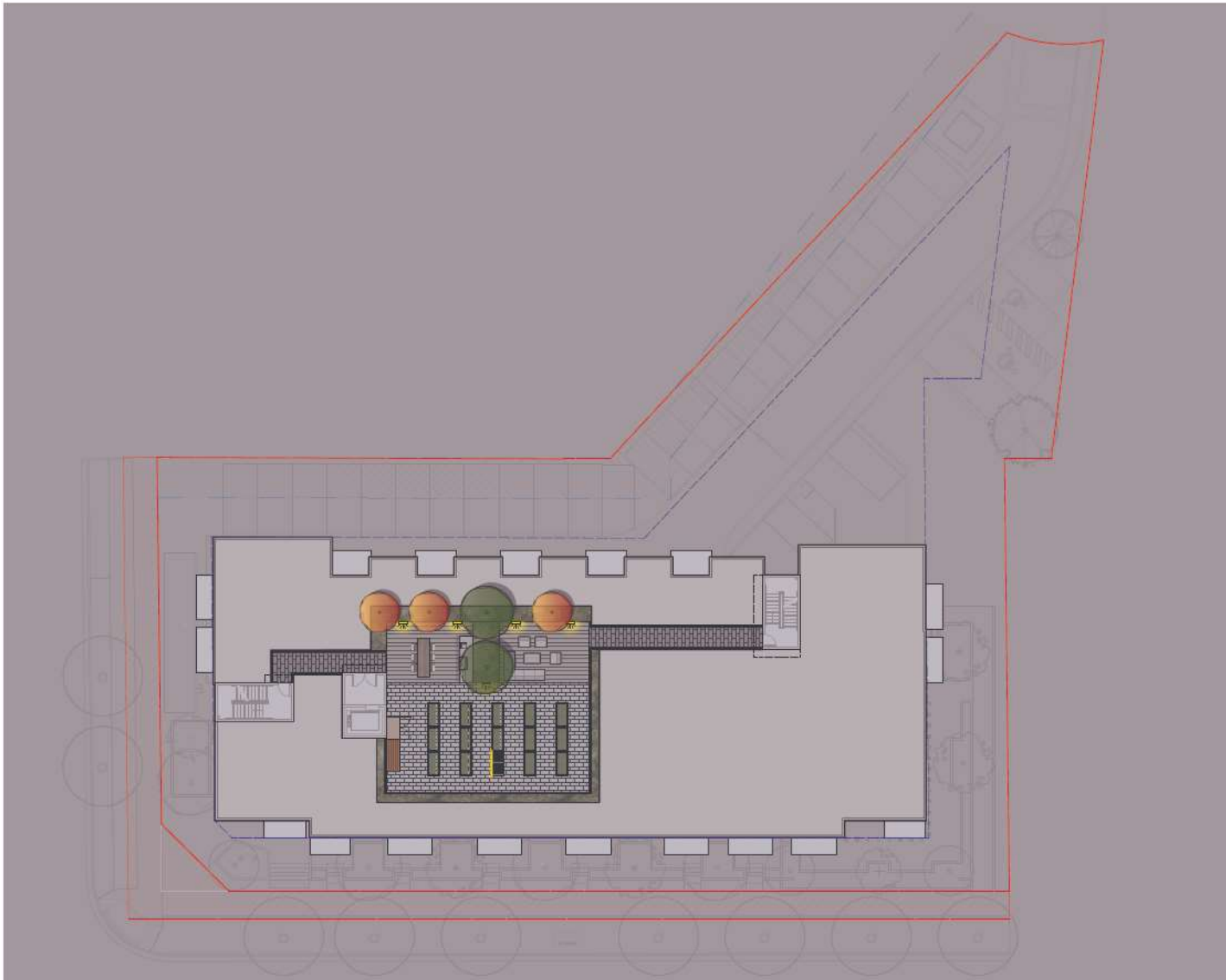
LIGHTING PLAN - ROOF LEVEL

L4.1

LIGHTING LEGEND

SYMBOL	DESCRIPTION
	UPLIGHT
	WALLLIGHT
	BOLLARD LIGHT
	LED STRIP LIGHT
	METAL PLANTER-MOUNTED LIGHT

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1 **Lighting Plan - Roof**
Scale: 1:150

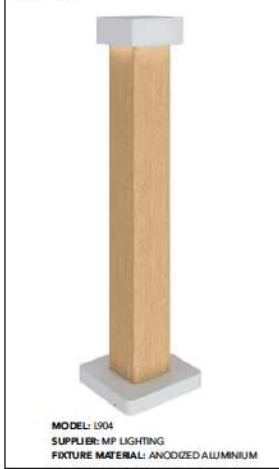


LIGHTING MATERIALITY

WALL LIGHT



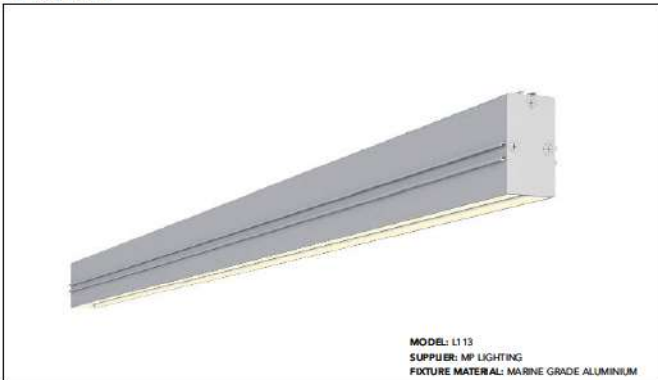
BOLLARD



PLANTER LIGHT



LINEAR LIGHT



UP LIGHT



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LIGHTING
 MATERIALITY

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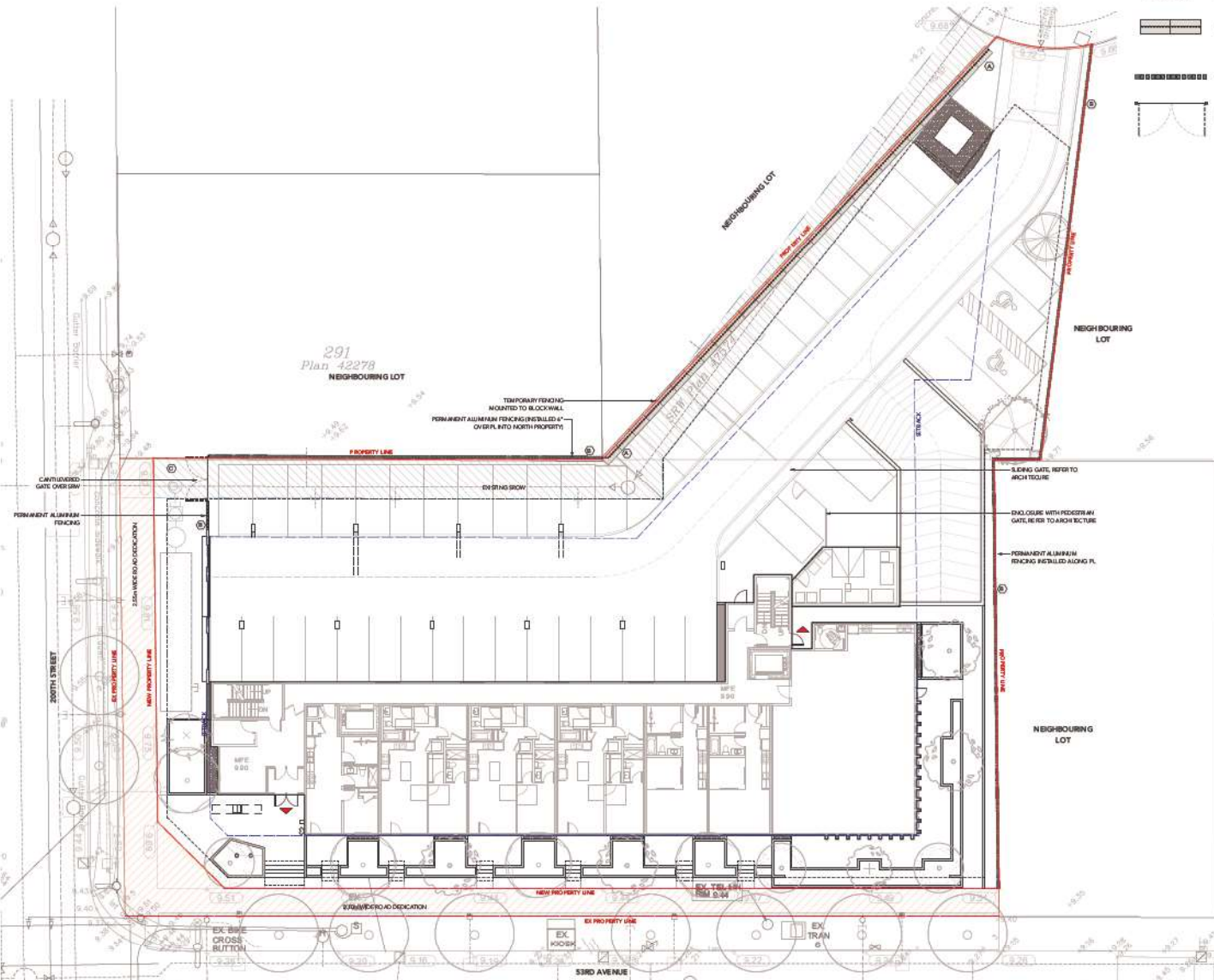
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FENCING PLAN - LEVEL 1

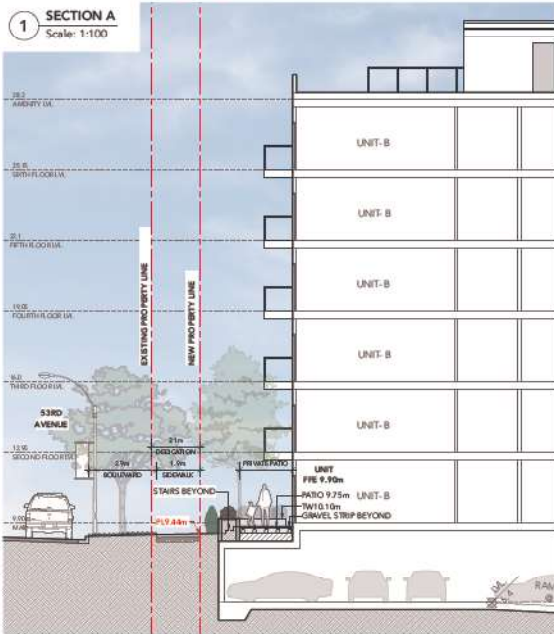
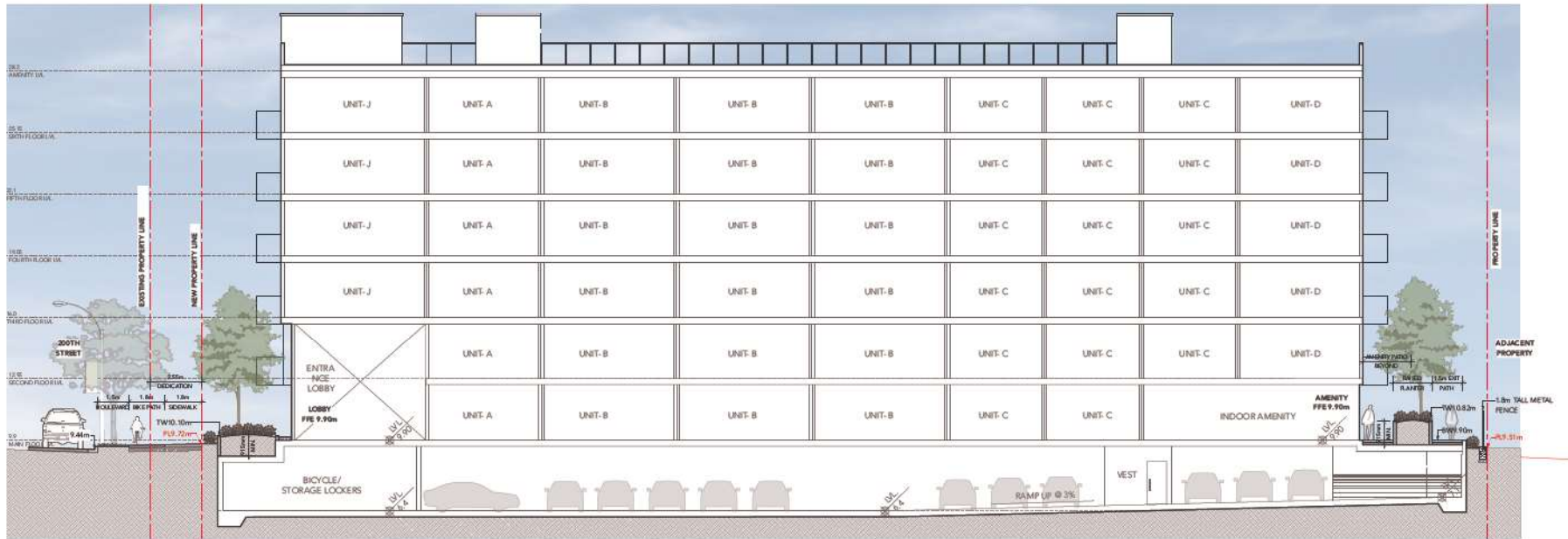
L4.3

FENCING LEGEND

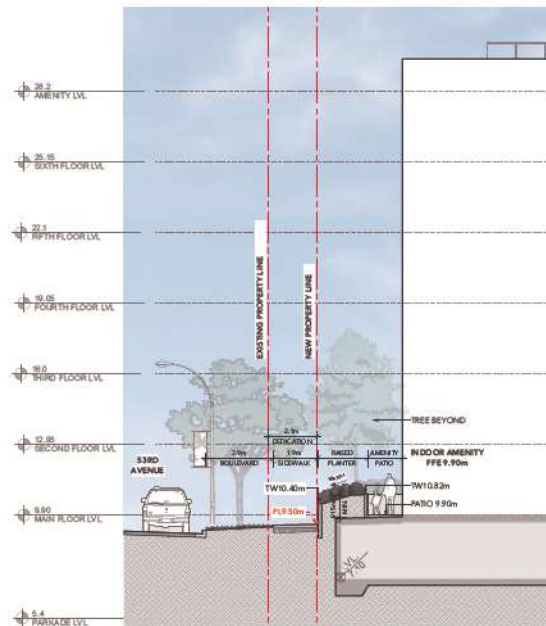
SYMBOL	KEY	DETAIL	DESCRIPTION
	A	2 L&A	ALUMINUM FENCE MOUNTED TO NO-POST BARRIERS PER PLANS AND DETAILS
	B	2 L&A	ALUMINUM FENCE ON GRADE PER PLANS AND DETAILS
	C	1 L&A	GATE PER PLANS AND DETAILS



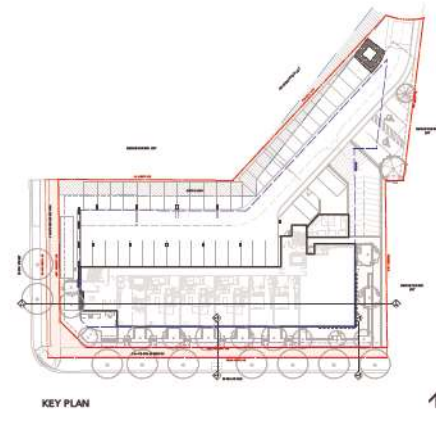
1 Landscape Plan - Ground
Scale: 1:150



2 SECTION B
Scale: 1:100



3 SECTION C
Scale: 1:100



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VANCOUVER BC V6M 1R3
PH: 720.0848

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3	ISSUED FOR CP'D REVIEW 2402-02
2	ISSUED FOR REVIEW 2402-01
1	ISSUED FOR PRELIMINARY REVIEW 23-12-22

REVISIONS



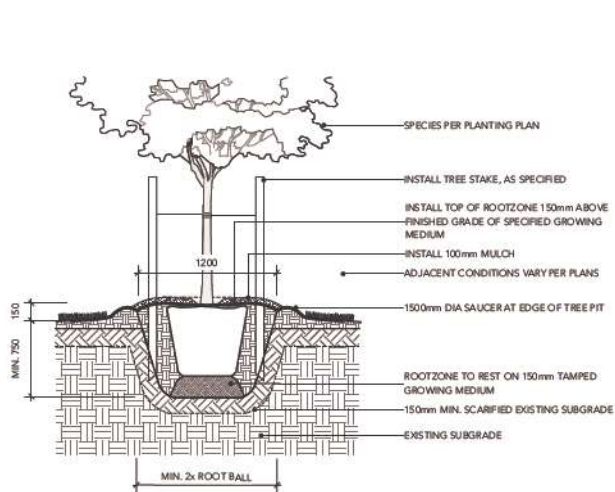
200TH STREET & 53RD AVENUE

5302 200th Street & 20011-31 53rd Avenue
Langley, British Columbia

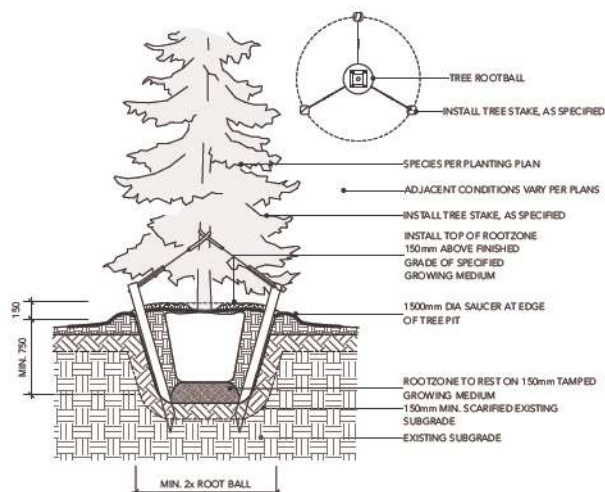
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Drawn:	PP
Reviewed:	DS
Project No.:	22-017

SECTIONS

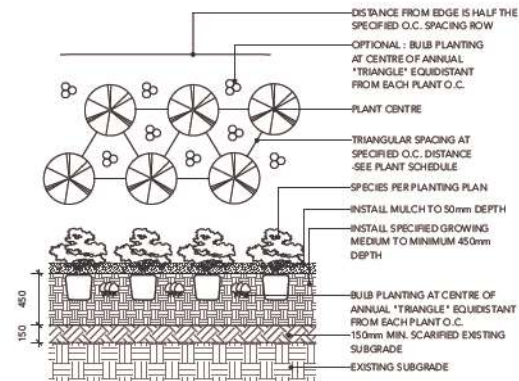
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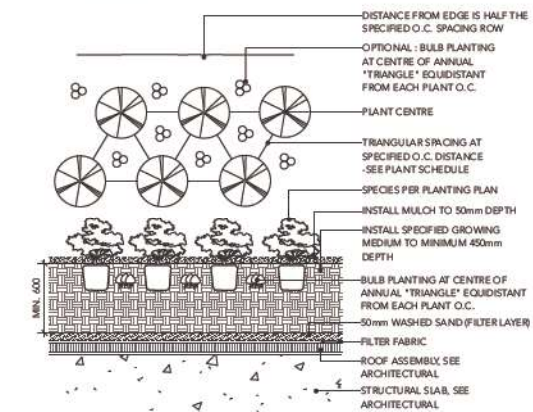
1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



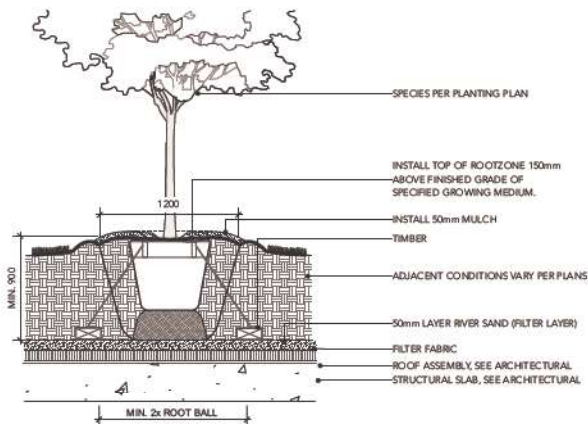
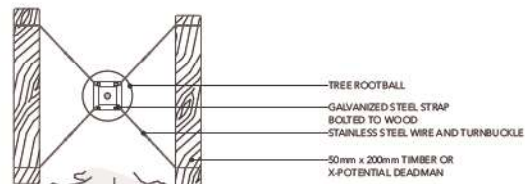
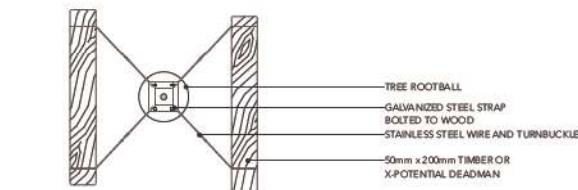
3 CONIFEROUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



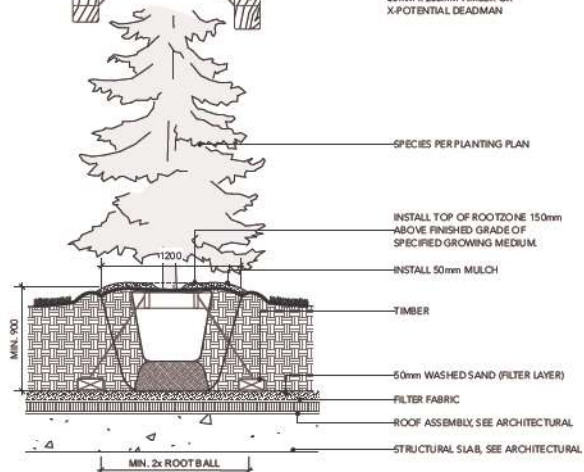
5 PLANTING ON GRADE (TYPICAL)
Scale: 1:20



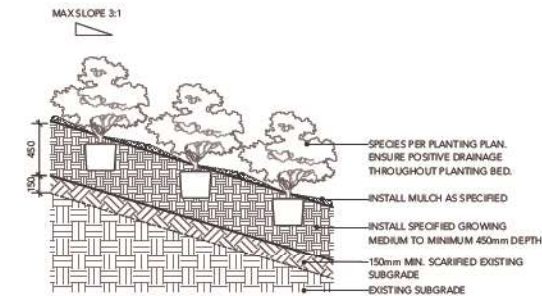
6 PLANTING ON SLAB (TYPICAL)
Scale: 1:20



2 DECIDUOUS TREE PLANTING ON SLAB (TYPICAL)
Scale: 1:20



4 CONIFEROUS TREE PLANTING ON SLAB (TYPICAL)
Scale: 1:20



7 PLANTING ON SLOPE (TYPICAL)
Scale: 1:20

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REVISIONS

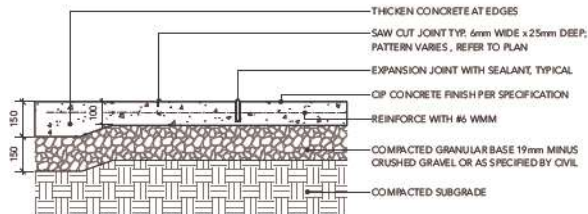


200TH STREET & 53RD AVENUE

5302 200th Street & 2011-31 53rd Avenue
Langley, British Columbia

Scale:
Drawn:
Reviewed: DS
Project No. 22-017

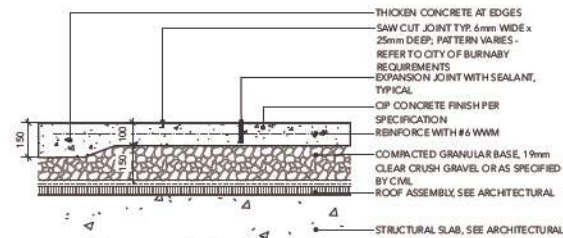
DETAILS - PLANTING



NOTES:
 1. EXPANSION JOINTS 6m O.C. MAX. CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
 2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

1 CIP CONCRETE ON GRADE (TYPICAL)

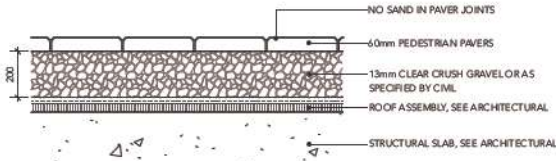
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 2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

2 CIP CONCRETE ON SLAB (TYPICAL)

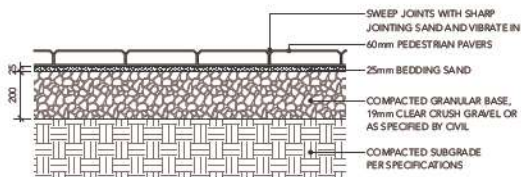
Scale: 1:10



NOTE:
 USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

3 PEDESTRIAN UNIT PAVERS ON SLAB (TYPICAL)

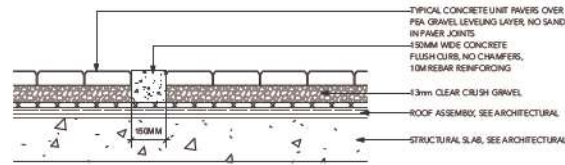
Scale: 1:10



NOTE:
 USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

4 PEDESTRIAN UNIT PAVERS ON GRADE (TYPICAL)

Scale: 1:10



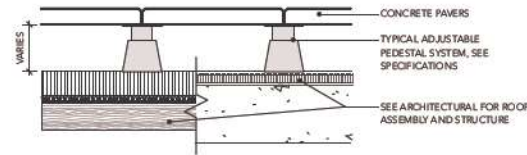
5 CIP PAVER EDGE BAND

Scale: 1:10

SLAB PAVERS (TYPE 1)
 TYPE: TEXADA SLAB PAVERS
 SIZE: 24"x24" (610MM X 610MM X 50MM)
 PATTERN: GRID
 COLOUR: NATURAL
 MANUFACTURER: BELGARD (1.800.663.4091).

SLAB PAVERS (TYPE 2)
 TYPE: TEXADA SLAB PAVERS
 SIZE: 12"x24" (305MM X 610MM X 50MM)
 PATTERN: RUNNING BOND
 COLOUR: NATURAL
 MANUFACTURER: BELGARD (1.800.663.4091).

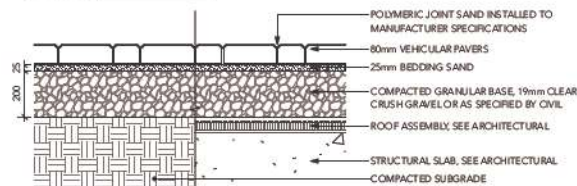
SLAB PAVERS (TYPE 3)
 TYPE: TEXADA SLAB PAVERS
 SIZE: 12"x24" (305MM X 610MM X 50MM)
 PATTERN: RUNNING BOND
 COLOUR: CHARCOAL
 MANUFACTURER: BELGARD (1.800.663.4091).



6 HYDRAPRESSED CONCRETE PAVERS ON PEDESTALS

Scale: 1:10

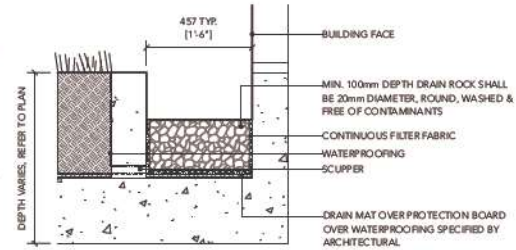
HOLLAND PAVERS
 SIZE: 210mm x 102mm x 80mm
 COLOUR: 50% NATURAL, 50% SIERRA GREY
 PATTERN: HERRING BONE
 SUPPLIED BY BARKMAN CONCRETE (1.778.689.7670).



NOTE:
 USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

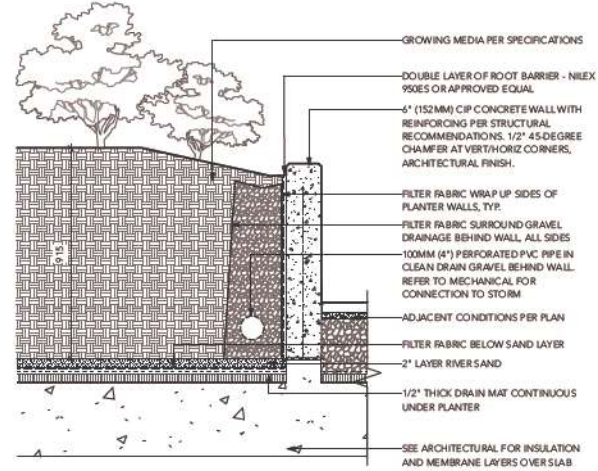
7 VEHICULAR CONCRETE UNIT PAVERS (TYPICAL)

Scale: 1:10



8 GRAVEL DRAIN STRIP - ON SLAB

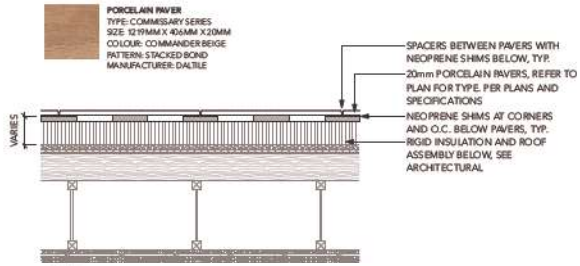
Scale: 1:10



NOTE:
 1. WALLS MAX 600MM HIGHT. GUARDRAIL REQUIRED WHERE WALL HEIGHTS EXCEED 600mm.

9 TYPICAL RETAINING WALL ON SLAB

Scale: 1:10



NOTE:
 1. TYPICAL ADJUSTABLE PEDESTAL SYSTEM TO BE USED WHERE DEPTH EXCEEDS HIGHT FOR SHIMS. SEE SPECIFICATIONS.

10 PORCELAIN PAVERS

Scale: 1:10

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REVISIONS	

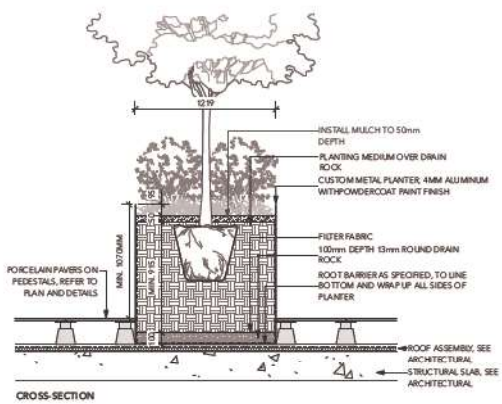


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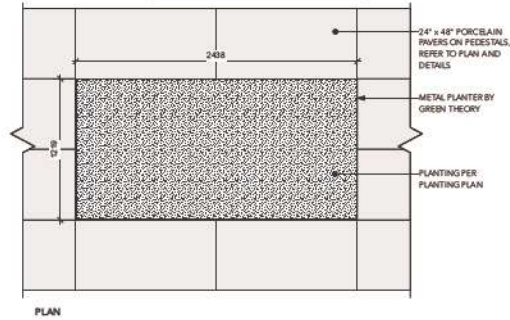
5302 200th Street & 20011-31 53rd Avenue
 Langley, British Columbia

Scale:
 Drawn:
 Reviewed: DS
 Project No. 22-017

DETAILS -
 HARDSCAPE

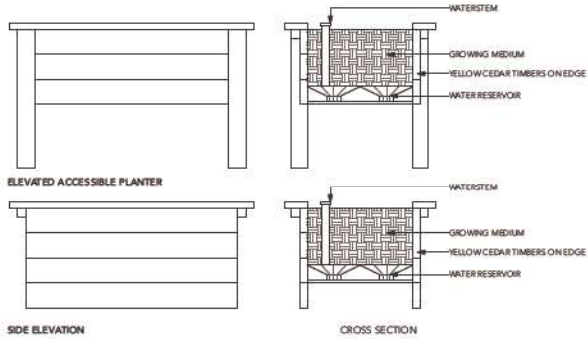
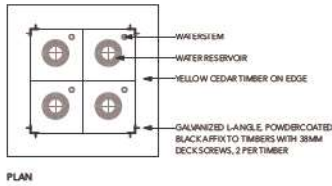


GREEN THEORY RAISED METAL PLANTER
 COLOUR : GREY
 MATERIAL: METAL
 SIZE: 3' H X 4' W X 8' L
 SUPPLIED BY GREEN THEORY (604) 475-7002



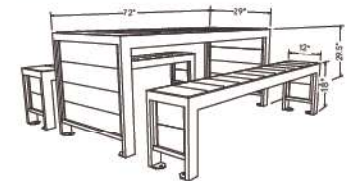
1 GREEN THEORY METAL PLANTER
 Scale: 1:20

HERBLOOM SELF-WATERING PLANTER
 COLOUR : TBD
 SUPPLIER: LIFESPACE GARDENS



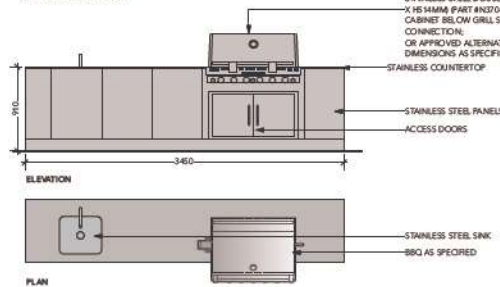
4 URBAN AGRICULTURE PLANTER BY LIFESAPCE
 Scale: 1:20

URBAN FARM HARVEST PICNIC TABLE
 COLOUR : SILVER / GREY
 SUPPLIER: WISHBONE (604-626-0476)



CUSTOM BBQ ISLAND PROVIDED AND INSTALLED BY SHERWOOD OUTDOOR KITCHENS CONTACT: 778-855-4872 OR APPROVED ALTERNATE

BUILT-IN BBQ GRILL: NAPOLEON LEX 60S BUILT-IN NATURAL GAS GRILL WITH SEARING BURNER & INFRARED REAR BURNER WITH NAPOLEON STAINLESS STEEL DOUBLE DOOR (LARGE W/95MM X 154MM PART #NP2-D0503) CABINET BELOW GRILL SURFACE - GAS CONNECTION, DIMENSIONS AS SPECIFIED BY MANUFACTURER OR APPROVED ALTERNATE.

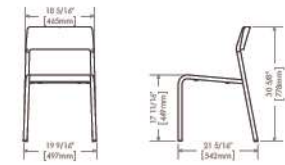


NOTE:
 1. MANUAL SHUT OFF VALVE TO BE PROVIDED FOR GAS BARBECUE CONNECTION.
 2. BARBECUE GRILL TO BE INSTALLED AS PER MANUFACTURERS INSTRUCTION.
 3. REFER TO MECHANICAL DRAWINGS FOR GAS CONNECTIONS.
 4. CONTRACTOR AND STRUCTURAL TO PROVIDE SHOP DRAWINGS FOR LANDSCAPE CONSULTANT REVIEW AND APPROVAL PRIOR TO FABRICATION OF CUSTOM COUNTER AND BARBECUE ELEMENTS.

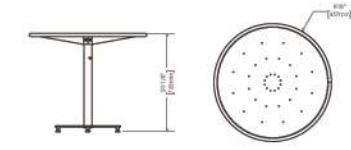
8 BBQ AND COUNTER
 Scale: 1:25



FORO SERIES
 MCH-1700-00001
 CHAIRS
 COLOUR : STANDARD SILVER
 SUPPLIER: MAGLIN SITE FURNISHINGS



FORO SERIES
 MTB-1700-00746 36" TABLE
 COLOUR: STANDARD SILVER/GREY
 SUPPLIER: MAGLIN SITE FURNISHINGS



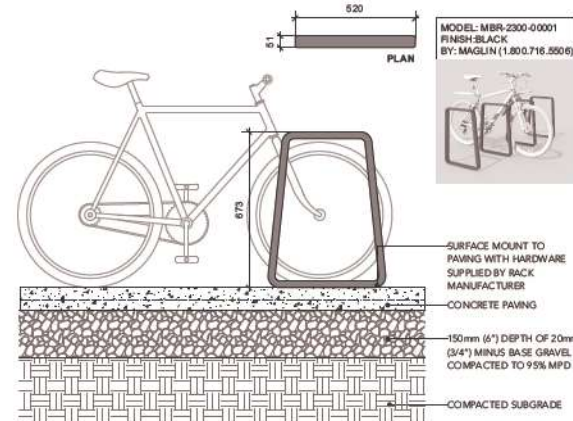
MODEL: PLATFORM ONE COFFEE TABLE
 COLOUR: TBD
 MANUFACTURER: LOLL DESIGNS (877-740-3387)
 SUPPLIER: VANCOUVER SPECIAL (604-568-3673)

5 OUTDOOR COFFEE TABLE
 Scale: 1:20



MODEL: PLATFORM ONE MODULAR SOFA KIT OR APPROVED ALTERNATE
 COLOURS: TBD
 MANUFACTURER: LOLL DESIGNS (877-740-3387)
 SUPPLIER: VANCOUVER SPECIAL (604-568-3673)

6 LOUNGE FURNITURE
 Scale: 1:20



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DETAILS -
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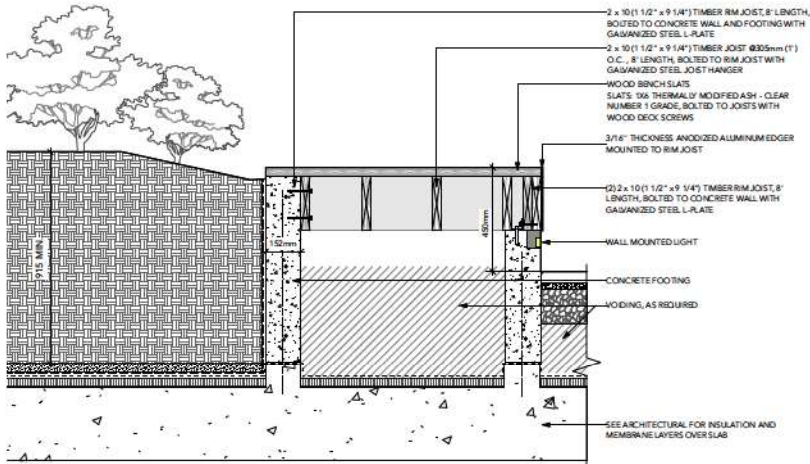
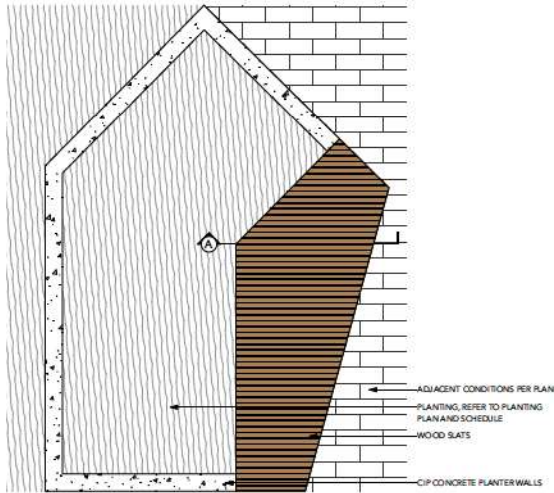
MODEL: WESTERN RED CEDAR GRAND GARDEN CHALET
MANUFACTURER: OUTDOOR LIVING TODAY (888-658-1658)
SIZE: 3'X6'
MATERIAL: WESTERN RED CEDAR; PAINTED (COLOUR TBD)
SUPPLIER: THE HOME DEPOT (1-800-468-1423) OR APPROVED ALTERNATE

2 URBAN AGRICULTURE STORAGE SHED
Scale: NTS



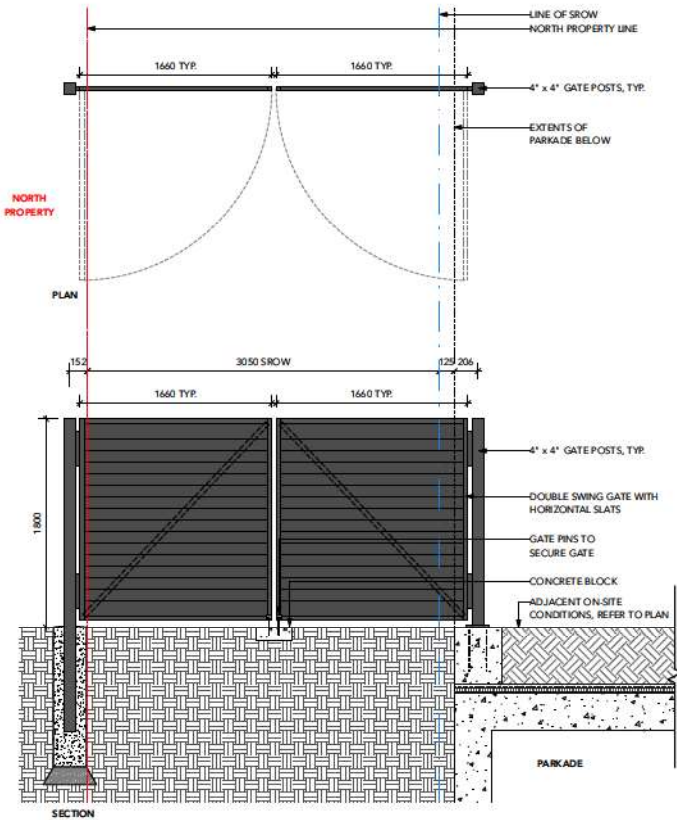
HUTCH BACKLESS BENCH
COLOUR: SAND / BROWN SLATE
LENGTH: 5 FT
WOOD: MODIFIED PINE (NATURAL)
SUPPLIER: WISHBONE (604-626-0476)

3 BACKLESS BENCH
Scale: NTS



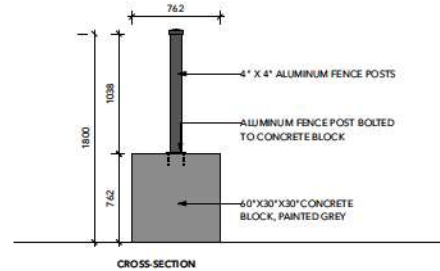
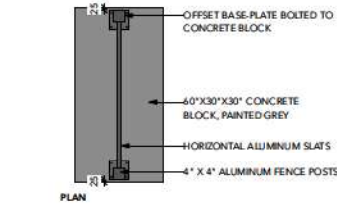
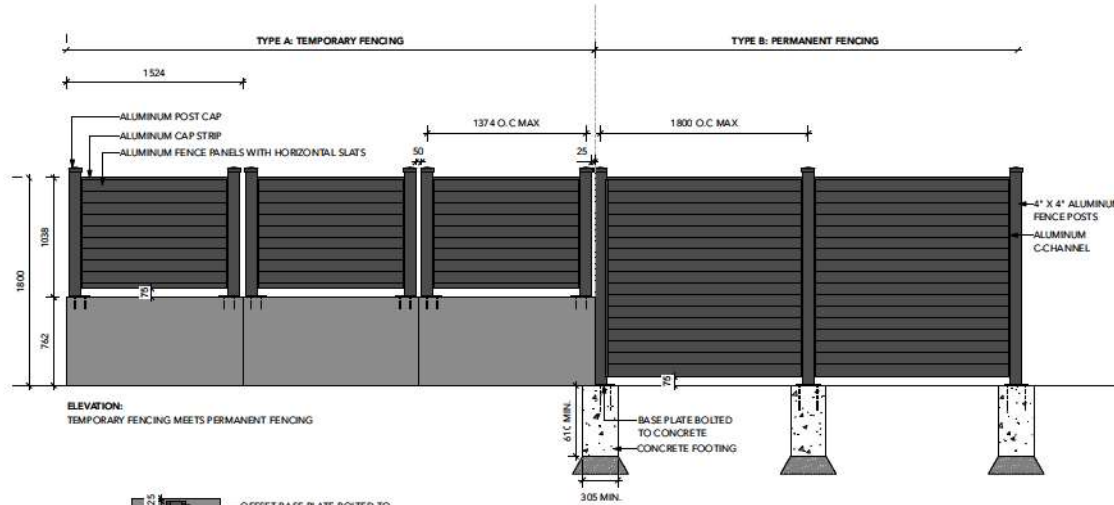
NOTES:
1. DECKING TO BE 1x6 THERMALLY MODIFIED ASH - CLEAR NUMBER 1 GRADE
2. PRE-DRILL HOLES FOR ALL SCREWS

1 LOBBY ENTRY SEATING PLATFORM (SECTION A)
Scale: 1:10



- NOTE:**
1. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO CONSTRUCTION.
 2. ALL METAL COMPONENTS TO BE ALUMINUM WITH POWDER COAT FINISH, COLOUR TBD.
 3. PROVIDE ISOLATION MATERIAL FOR FASTENERS TO AVOID ELECTROLYSIS.

1 CANTILEVERED GATE OVER SROW
Scale: 1:20



- NOTE:**
1. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO CONSTRUCTION.
 2. ALL METAL COMPONENTS TO BE ALUMINUM.
 3. PROVIDE ISOLATION MATERIAL FOR FASTENERS TO AVOID ELECTROLYSIS.
 4. COLOUR OF ALUMINUM FENCING TBD.
 5. APPLY A MINIMUM OF TWO COATS OF ANTI-GRAFFITI PAINT TO CONCRETE BLOCKS.
 6. REFER TO PLANS FOR FENCING TYPE LOCATIONS.

2 ALUMINUM FENCE
Scale: 1:20



FENCING PRECEDENT - HORIZONTAL SLATS

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