



ADVISORY DESIGN PANEL

THURSDAY, JUNE 27, 2024 AT 7:00 PM

Council Chambers
Langley City Hall
(In-Person Meeting)

A G E N D A

1) **AGENDA**

Adoption of the June 27, 2024 agenda.

2) **MINUTES**

Adoption of minutes from the May 29, 2024 meeting.

3) **ZONING BYLAW AMENDMENT APPLICATION RZ 06-23**

Multi-phase apartment & commercial mixed-use master plan at 20501 Logan Avenue.

4) **DEVELOPMENT PERMIT APPLICATION DP 04-23**
ZONING BYLAW AMENDMENT APPLICATION RZ 04-23

4-unit rowhouse development at 20139 53A Avenue.

5) **NEXT MEETING**

July 18, 2024.

6) **ADJOURNMENT**



**MINUTES OF THE
ADVISORY DESIGN PANEL**

**HELD IN COUNCIL CHAMBERS,
LANGLEY CITY HALL**

**WEDNESDAY, MAY 29, 2024
AT 7:03 PM**

Present: Councillor Paul Albrecht (Chair)
Councillor Mike Solyom (Co-Chair)
Mayor Nathan Pachal
Blair Arbuthnot
Matt Hassett
Leslie Koole
Tony Osborn
Ritti Suvilai

Absent: Cst. Dennis Bell
Jaswinder Gabri
Dammy Ogunseitan
Ella van Enter

Staff: C. Johannsen, Director of Development Services
K. Kenney, Corporate Officer
A. Metalnikov, Planner

Chair Albrecht began by acknowledging that the land on which we gather is on the traditional unceded territory of the Katzie, Kwantlen, Matsqui and Semiahmoo First Nations.

1) AGENDA

Adoption of the May 29, 2024 agenda.

It was **MOVED** and **SECONDED**

THAT the agenda for the May 29, 2024 Advisory Design Panel be approved.

CARRIED

2) **MINUTES**

Adoption of minutes from the April 3, 2024 meeting.

It was MOVED and SECONDED

THAT the minutes of the April 3, 2024 Advisory Design Panel meeting be approved as circulated.

CARRIED

3) **DEVELOPMENT PERMIT APPLICATION DP 02-24** **ZONING BYLAW AMENDMENT APPLICATION RZ 02-24**

6-storey, 95-unit apartment building at 5302 200 Street, 20030 53A Avenue, & 20011-20031 53 Avenue.

Anton Metalnikov, Planner, spoke to the staff report dated May 17, 2024 and provided a brief overview of the Development Permit application.

Staff responded to questions from Panel members regarding the following:

- the intent of the developer to acquire and consolidate three properties to the north of the subject property;
- changes made to this application as compared to the developer's previous application which they subsequently deemed non-viable from a financial perspective;
- how the reduction in parking was achieved;
- the inclusion of storage locker space in the total square footage of each unit;
- location of parking on 53rd Ave;
- replacement of the original application's green roof with a roof top amenity space; and
- provision and location of garden plots.

The Applicant team entered the meeting:

- Harp Saran, President, Development, Steelcrest Construction
- Manika Grover, Project Manager, ParaMorph Architecture Inc.
- David Stoyko, Owner, David Stoyko Landscape Architect

Ms. Grover presented the application, providing an overview of the development with details on the following:

- Location map;
- Land use and concept plan;
- Context plan;
- Design rationale;
- Program summary;
- Base plan;
- Streetscape;
- Design concept;
- Site plan;
- Site circulation;
- Floor Plans;
- Perspectives;
- Material Board;
- Elevations;
- Sections;
- Unit plans;
- Garbage enclosure detail; and
- Mailbox room detail.

Mr. Stoyko provided information on the Landscape design, providing information on the following:

- Street frontage trees and paving on front;
- Roof top amenity space;
- Corner entry plaza space; and
- Planting palette.

Panel members provided feedback on the form and character of the development and discussion took place regarding the following:

- potential for relocating accessible parking spaces for safety and closer proximity to entrances;
- making rooftop and courtyard amenity spaces more interesting through the use of different shapes, linear structure, textures, colours, and variation of materials;
- integrating other amenities on the roof (ex. water feature);
- adding more interest to roofline using more elements of faux wood;
- adding more interest on wall near garbage, possibly with faux wood;
- ensuring chosen plantings in shaded areas can survive during colder weather;
- using a material with a higher-quality finish for the entry column given its prominence;
- reconfiguring lobby to eliminate need for vestibule;
- improving and formalizing entry off 53A Ave.;
- enhancing look of west frontage corner and northwest corner;

- the accessibility of ground-floor adaptable units from the street;
- utilizing fencing/gates rather than just hedging to create barrier to private residences and outdoor amenity space;
- lack of closet in one of the units;
- replacing grass on boulevards with something more long lasting;
- having auto opening doors for bike storage; and
- the storage volume of the Unit E locker room.

The applicant team responded to questions from panel members regarding the following:

- potential for south side parking reconfiguration;
- ways to make mail room more secure;
- location of building signage;
- bike parking locations;
- expected height of trees fronting 53rd Avenue;
- indoor amenity features;
- rationale for the following:
 - landscape concept on west side;
 - small size of the rooftop landscaped area and lack of rain screening;
 - lack of children's play area;
 - design of outdoor amenity space;
- how visitors access the building;
- expected address of the development;
- availability of outlets in storage/bike rooms for e-bike charging;
- provision of an acoustical report;
- air conditioning for units;
- size of loading zone;
- wiring of parking spots to accommodate electric vehicles; and
- connectivity between 53 Ave. and 53A Ave. by way of connecting walkway.

The applicant team left the meeting.

It was MOVED and SECONDED

THAT:

1. The ADP receive the staff report dated May 17, 2024 for information; and
2. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
 - a. Review the design and programming of the rooftop patio for a more interesting layout (e.g. more curvilinear, textures, colours), reduced reliance on garden plots (i.e. water feature), weather protection, and the potential of expanding its area

- b. Review the potential of relocating the visitor accessible stalls to be closer to the lobby and avoid a crossing of the parkade ramp, including by considering a separate garbage room and shifting the lane alignment
- c. Review the potential of relocating the underground accessible stalls to be closer to the lobby (e.g. shifting west, swapping with storage lockers)
- d. Consider security improvements to the mail room (e.g. fobbed door, visibility between mail room and lobby)
- e. Provide more information on wayfinding
- f. Consider incorporating more wood-tone materials into the façade (especially on north)
- g. Review the design of the garbage room for greater design interest
- h. Consider updating the entry column material from cementitious panel
- i. Review Building Code opportunity to eliminate entry vestibule on southwest corner
- j. Consider a greater diversity of programming in the ground floor outdoor amenity space and enhancing security (i.e. taller planters, fencing, gate)
- k. Review opportunities to enhance the entrance experience from 53A Avenue (e.g. signage, PMT screening, etc.) and improve vehicle and pedestrian maneuverability
- l. Provide more design interest to the west façade on the upper four floors
- m. Provide more information on sound attenuation against exterior noise
- n. Provide more information on storage volume in the Unit E locker room, with bicycle storage considered

CARRIED

Staff notes:

- Provide more information on 53 Avenue frontage design, including opportunities for on-street parking and loading; and
- Review boulevard planting materials in the DCM.

4) NEXT MEETING

June 19, 2024

5) ADJOURNMENT

It was MOVED and SECONDED

THAT the meeting adjourn at 8:39 pm.

CARRIED



ADVISORY DESIGN PANEL CHAIR



CORPORATE OFFICER



ADVISORY DESIGN PANEL REPORT

To: **Advisory Design Panel**

Subject: **Rezoning Application RZ 06-23
(20501 Logan Avenue)**

From: Anton Metalnikov, RPP, MCIP
Planner

File #: 6620.00
Bylaw #: 3287

Doc #:

Date: June 12, 2024

RECOMMENDATION:

THAT this report be received for information.

PURPOSE OF REPORT:

To consider a Zoning Bylaw amendment application by Keystone Architecture & Planning Ltd. for a multi-phase mixed-use master plan at 20501 Logan Avenue.

POLICY:

The subject property is currently zoned C2 Service Commercial Zone in Zoning Bylaw No. 2100 and designated "Transit-Oriented Core" in the Official Community Plan Land Use map.

OCP Policy 1.13. (Master Planning) requires all proposed developments on sites greater than 2 acres involving multiple phases to prepare a master plan. The subject site is 9.7 acres in size and is intended to be developed in phases. Accordingly, a rezoning application has been submitted to align the site's zoning with its OCP designation and enable Development Permit applications for individual buildings to be made in the future and adopt a master plan site layout these buildings will generally conform to.

A Comprehensive Development (CD) Zone is proposed to implement the site-specific master plan.

COMMENTS/ANALYSIS:

Background Information:

Applicant:	Keystone Architecture & Planning Ltd.
Owner:	Argus Holdings Ltd.
Civic Address:	20501 Logan Avenue
Legal Description:	Lot A, Except Part in Plan LMP24382, District Lots 308 and 309, Group 2, New Westminster District, Plan NWP88217
Number of Units	Approximately 1,200 (subject to change)
Site Area:	3.9 hectares (9.7 acres)
Floor Area Ratio:	Maximum 5.5
OCP Designation:	Transit-Oriented Core
Existing Zoning:	C2 Service Commercial
Proposed Zoning:	CD98 Comprehensive Development Zone
Development Cost Charges:	To be calculated at Building Permit stage
Community Amenity Contributions (CACs):	To be calculated at Building Permit stage

Discussion:

1. Context

The applicant is proposing a multi-phase mixed-use development intended to be built out over 10-20+ years on a large site currently hosting a fitness studio and self storage buildings. The site is located in a transitional area of Downtown, with industrial properties to its north (designated Industrial in the City's OCP) and west (designated Mixed Employment) and a varied mix of commercial and residential properties of different ages and densities to the south, east, and northeast up Glover Road (designated Transit-Oriented Core).

The site's location on the northwest intersection of Logan Avenue and Glover Road, both Downtown arterials, provides it with high visibility and accessibility. The Langley Centre bus exchange and Rainbow Mall sit on the south side of Logan Avenue. Across Glover Road to the east are a collection of smaller commercial buildings, an older townhome complex, and a 6-storey apartment building currently under construction.

The site is well positioned with connections to retail and service areas given its location at a major Downtown intersection. It also benefits from proximity to key neighbourhood amenities, including:

- Timms Community Centre (5-minute walk);
- Douglas Park (10-minute walk); and
- Douglas Park Elementary School (10-minute walk).



Site context

The site is also located near major transportation services, including:

- The Langley Centre transit exchange and the fifteen bus routes it serves, including the frequent 503 Fraser Highway Express (immediately adjacent); and
- The planned Langley City Centre SkyTrain station and its associated transit exchange (5-minute walk).

2. Proposed Rezoning and the Official Community Plan (OCP)

The site is designated Transit-Oriented Core in the City's OCP, which allows for residential and commercial development of up to 15 storeys in height (subject to the federal Airport Zoning Regulation) and a Floor Area Ratio (FAR) of up to 5.5.

Within the OCP's Appendix B: District Policies, the site is also identified as falling within the "Innovation Boulevard" and acts as a hinge point between the Innovation Boulevard's west leg extending on the north side of Logan Avenue to the 204 Street overpass and its north leg extending up Glover Road just past the Langley Bypass. The Innovation Boulevard is identified as a key connection between the Langley City Centre SkyTrain station, Downtown Langley, and

Kwantlen Polytechnic University, and is envisioned as a dynamic corridor accommodating a mix of residential, commercial, employment, and technology spaces. A more detailed Innovation Boulevard plan is currently in development.

The site is also located within the Transit-Oriented Areas (TOA) of the planned Langley City Centre SkyTrain station and Langley Centre bus exchange, as identified in the City's Zoning Bylaw. These TOAs were identified recently as required by changes to Provincial legislation (namely the *Local Government Act*, as amended by Bill 47 passed in November 2023) which introduced TOAs to set specific heights and densities (based on distance from transit) which must be allowed by local governments, along with a prohibition on residential parking requirements except for accessible parking. The City's OCP allows for greater height and density (15 storeys and 5.5 FAR) than would be permitted by the site's TOA tier (12 storeys and 4 FAR). In accordance with the TOA, future Development Permit applications will not be subject to minimum residential parking requirements but will be subject to minimum accessible residential and commercial parking requirements.

The subject property is proposed to be rezoned to a site-specific Comprehensive Development (CD) Zone to allow higher densities in future Development Permit applications which may not be adequately accommodated by existing zones and to implement a master plan layout to guide this future development. As a large site to be built out over multiple phases, this CD Zone-based approach provides flexibility for future individual buildings to respond to different market and policy contexts over time while maintaining certainty as to the general street, building and open space layout of this future development. The primary effect of the site's CD98 Comprehensive Development zoning will be to allow a mix of uses and higher densities and identify the general street alignments, open space configurations, and building footprints. Within these parameters, the CD98 Zone will allow for different heights, densities and uses, and individual Development Permits will include more detail on building integration with the master plan, building design and form and character, pedestrian open space design and landscaping. As such, the unit count and FAR density as based on the proposal's conceptual massing and noted in this report are approximate.

3. Design

The proposed master plan was designed based on multiple goals and constraints with the recognition of the property as a strategic site and an overarching principle of growing the City's Downtown to be more amenity-rich, safe, urban, sustainable, transit and pedestrian-oriented, and productive. These goals and constraints include:

1. *Transportation and Access*: Expanding the existing street network into the site to create shorter distances and route options for active transportation

and vehicles alike, while prioritizing slow speeds and additional travel paths for pedestrians and cyclists, focused on existing intersections and signal locations and maintaining access and usability of existing site functions as phases are incrementally developed;

2. *Pedestrian space*: Incorporating a major plaza at the corner of Glover Road and Logan Avenue, as required in the OCP District Policies;
3. *Flexibility*: Accommodating different use and density options into the master plan.

Transportation and Access

The street network in the site includes the extension of Eastleigh Crescent through the full width of the site from east to west. The site already connects to the Eastleigh Crescent and Glover Road intersection with a full traffic signal providing access to the site's parking area. From this intersection, Eastleigh Crescent is proposed to extend through the site to reach its western edge, which would be possible to extend further west through the adjacent properties in the future. The Eastleigh Crescent extension is required to be dedicated to the City and intended to accommodate a separated bike path or multi-use path. The extension is curved near the middle of the site to encourage slower speeds and accommodate the retention of and access to existing buildings.

On the western edge of the site, a lane is proposed to connect from the existing signal on Logan Avenue to the north of the site. This lane would provide an additional access into the block and support on-site circulation. The lane may be required to be widened as part of the future redevelopment of the adjacent properties to the west. On the north of the lane, a pedestrian connection will be incorporated to allow for a pedestrian/cycle path to be extended in the future into the adjacent north properties to support walkability between the planned Langley City Centre SkyTrain station and the industrial properties to the north.

An additional pedestrian and cycling connection is proposed between the middle of the site and the corner of Logan Avenue and Glover Road by way of a linear plaza that expands at the intersection.

Land dedications will be required along the Glover Road and Logan Avenue rights-of-way, to accommodate street improvements including upgraded sidewalks, boulevards, and bicycle infrastructure, along with the introduction of on-street parking to support commercial spaces expected along these frontages.

Building accesses shown in the master plan are conceptual. Actual locations and detailed designs are to be confirmed as part of Development Permit applications to be made for individual building phases in the future.

Pedestrian Space

As required in the OCP District Policies, a large plaza is proposed on the southeast corner of the site near the intersection of Glover Road and Logan Avenue. As it extends from the intersection into the site, the plaza takes a linear or 'allée' form to connect with the Eastleigh Crescent extension. While the site plan is designed to be flexible, these plaza spaces are intended to cultivate a vibrant urban and pedestrian-friendly atmosphere, be activated with plaza-fronting shops, restaurants, and cafés, and designed to engage with these commercial ground floors. For example, supportive design features may include level access between the pedestrian areas and storefronts, clear and openable ground floor window glazing, space for product displays, signage, and movable tables and chairs/dining areas, and high-quality landscaping with unique surface treatments, plantings and plaza trees that maintain sightlines across the plaza and between the plaza, storefronts, and the building floors above.

Across the Eastleigh Crescent extension, an additional plaza is proposed. This interior plaza is envisioned to pick up on the more residential design elements of the site while creating its own sense of place with the adjacent building frontage, which is also intended to host commercial uses that spill out into the outdoors. This plaza is expected to be well suited to a park-like setting with more plantings and trees.

The detailed design of these pedestrian spaces and their relationship with adjacent frontages will be developed as part of future Development Permit applications for each phase of the overall master plan.

Flexibility

As a large site that will be developed in up to 7 phases over 10-20+ years, the allowance for flexibility into the future building Development Permit applications that would follow the subject rezoning was a key consideration, specifically regarding density and use, to allow the project to adapt to changing market and policy conditions over time while maintaining the objective of becoming a vibrant, transit-oriented neighbourhood.

With regard to density, the application includes a conceptual proposal for building height and massing, along with estimated residential unit counts and floor areas. However, the master plan's perimeter block-based layout provides a number of opportunities and combinations for changes in height, with different floorplate portions possible to be manipulated based on future market conditions, regulatory context, and building technology. The perimeter block design also enables future building designs that could result in on-site densities that approach the FAR envisioned in the Transit Oriented Core OCP land use designation for this site and exceed the Provincial TOA density threshold.

With regard to building use, the application includes a preliminary breakdown of uses, namely anticipating ground-floor commercial along focus frontages, including major streets and the corner plaza, with residential uses elsewhere and on the floors above. However, the proposed zoning would allow a wide range of residential and commercial uses and the proposed building layout is amenable to supporting a combination of these uses in different configurations. This includes additional floors or perimeter block/building sections having potential for office, laboratory, or other uses as may be permitted as part of the in-progress Innovation Boulevard plan.

4. Sustainability

Sustainability has been considered in the site design by way of prioritizing pedestrian movement and cycling through the plaza and northwest pedestrian connection, the accommodation of a multi-use path and treed boulevards along the Eastleigh Crescent extension, and new or upgraded bike lanes and boulevards along Logan Avenue and Glover Road. The perimeter block layout also accommodates interior courtyards that provide greenspace to reduce heat islands effects, including trees and plantings. More detailed building-level sustainability features would be identified as part of future individual Development Permit applications. Overall the site is designed to be a model transit-oriented development, which will support increased transit ridership and the use of active transportation options, and reduce automobile dependence and emissions over time.

5. CPTED

CPTED (Crime Prevention Through Environmental Design) design principles will be considered through individual phases and their Development Permit applications, which will require CPTED reports with design assessments and recommendations for improvement to be completed by a qualified consultant.

6. Variances

As a master plan implemented through a site-specific Comprehensive Development (CD) Zone, no variances are requested or required.

7. Summary

The proposed development is consistent with the City's OCP and Development Permit Area guidelines for the area and would convert a large low-density commercial site into a transit-oriented development expanding Downtown.

Engineering Requirements:

As part of the proposed rezoning the applicant is required to fulfil multiple engineering requirements and conditions to ensure the final expected buildout meets City standards on servicing, transportation, and environmental protection. More detailed building-level engineering requirements will apply at the time of individual Development Permit applications. In recognition of the flexibility incorporated into the master plan, engineering studies at this stage will assume a highest infrastructure demand scenario.

Engineering requirements applicable to the subject master plan are as follows, with the Developer responsible for the work which shall be designed by a Professional Engineer:

- I. All work to be done to the City of Langley's Design Criteria Manual (DCM) and the City's Subdivision and Development Servicing Bylaw (SDSB).
- II. Per the City's DCM requirement, the developer and their consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Commitment by Owner and Consulting Engineer) prior to starting their design works.
- III. At the Developer's expense, the adequacy of the existing water and sanitary sewer mains shall be assessed by the City's standing hydraulic modeling consultant including a fire hydrant flow test.
- IV. Land dedications and rights-of-way shall be granted to the City as follows:
 - a. **Eastleigh Crescent:** Eastleigh Crescent shall be extended west into the subject property from its existing intersection with Glover Road. The extension shall include a dedication portion 18.0 metres in width with additional statutory rights-of-way granted to the City at a width of 0.75 metres on each side of this dedication.
 - b. **Logan Avenue:** A 4.6 metre dedication and a 2.0 metre statutory right-of-way are required.
 - c. **Glover Road:** A 3.0 metre dedication and a 2.0 metre statutory right-of-way are required.
 - d. **West lane:** Subject to servicing requirements, a statutory right-of-way, air space parcel, or dedication 8.0 metres in width will be required for a lane along the western property line connecting to Logan Avenue.
 - e. **5-metre corner truncations are required at these intersections:**
 - i. Glover Road and Logan Avenue
 - ii. Eastleigh Crescent and Glover Road
 - iii. Logan Avenue and the new western lane
 - f. **4-metre corner truncations are required at these intersections:**
 - i. Eastleigh Crescent extension and the new western lane

- V. A Transportation Impact Assessment (TIA) is required as stated in the DCM and the Terms of Reference require approval by the City Engineer.
- VI. All frontage roads shall be assessed by a geotechnical engineer and upgraded as necessary.
- VII. The site layout shall be reviewed by a qualified Professional Engineer to ensure that the vehicle circulation and turning paths meet applicable standards and sightline requirements for the MSU design vehicle.
- VIII. The Developer is required to deposit all requisite bonding and fees as outlined in the Subdivision and Development Servicing Bylaw.

Fire Department Comments:

The department has reviewed the overall Master Plan for this property. The department's main concern is around access to all buildings on the site. The primary access concern is from north. Access to the north boundary of this property is uncertain at this time. The department will continue to work with each individual building development to ensure adequate access for fire apparatus and personnel to each building on site.

Advisory Design Panel:

In accordance with Development Application Procedures Bylaw No. 2488, the subject Zoning Bylaw amendment application will be reviewed by the Advisory Design Panel (ADP) at the June 27, 2024 meeting.

According to the Council-approved ADP Terms of Reference, the ADP is to provide form and character and urban design-related advice and recommendations for Council's consideration. In the absence of an associated Development Permit application, the ADP's role is to provide input on public realm and building interfaces to be considered in the detailed design of future phases. Presentation of this master plan to the ADP will also provide the necessary context for future evaluation of DP applications by the ADP (ie. how does the subject building relate to the rest of the master-planned site. ADP recommendations will be presented to Council through the ADP meeting minutes and, if applicable, through an additional City staff report, prior to Council consideration of the proposed Zoning Bylaw amendment.

A copy of the ADP minutes will be presented to Langley City Council at a future Regular Council meeting.

BUDGET IMPLICATIONS:

Development Cost Charges (DCCs) and Community Amenity Contributions (CACs) are payable to the City at time of Building Permit issuance, which are

preceded by Development Permit applications. As this application is solely for a rezoning, no DCCs or CACs will be provided with this application.

Prepared by:



Anton Metalnikov, RPP, MCIP
Planner

Concurrence:



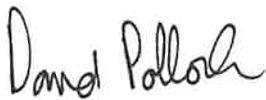
Roy M. Beddow, RPP, MCIP
Deputy Director of Development Services

Concurrence:



Carl Johannsen, RPP, MCIP
Director of Development Services

Concurrence:



David Pollock, P.Eng.
Director of Engineering, Parks,
& Environment

Concurrence:



Scott Kennedy
Fire Chief

Attachments



REZONING APPLICATION RZ 06-23

Civic Address: 20501 Logan Avenue
Legal Description: Lot A, Except Part in Plan LMP24382, District Lots 308 and 309, Group 2, New Westminster District, Plan NWP88217
Applicant: Keystone Architecture & Planning Ltd.
Owner: Argus Holdings Ltd.



GATEWAY VILLAGE PHASE 1, 20501 LOGAN AVENUE, LANGLEY B.C. V3A 4L8



SOUTH/WEST CORNER OF DEVELOPMENT

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- RSD1.11 PROJECT DATA - BUILDING A
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- RSD2.11 SHADOW STUDY

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RE-ISSUED FOR REZONING

NO.	ISSUE/REVISION	DATE
2	ISSUED FOR REZONING	24-02-06
3	RE-ISSUED FOR REZONING	24-04-16
5	RE-ISSUED FOR REZONING	24-05-06
6	RE-ISSUED FOR REZONING	24-05-17
7	RE-ISSUED FOR REZONING	24-06-21

GATEWAY VILLAGE PHASE 1

20501 LOGAN AVENUE, LANGLEY
B.C. V3A 4L8

PROJECT # 22-141.1
CITY FILE #

COVER PAGE

SCALE 12" = 1'-0"

RSD0.01

SITE CONTEXT

1 HARBOUR RIBBON TRAIL



2 WILLOWBROOK SHOPPING CENTRE



3 KWANTLEN POLYTECHNIC UNIVERSITY



4 ROTARY CENTENIAL PARK



5 SPIRIT SQUARE



SITE DESCRIPTION

THE PROJECT SITE IS LOCATED ON THE NORTH-WEST CORNER OF LANGLEY, AT THE INTERSECTIONS OF GLOVER RD AND LOGAN AVE. IT CONSISTS OF ONE LARGE PARCEL THAT IS GOING TO BE BIsectED BY THE EXTENSION OF EASTLEIGH CRESCENT INTO A MULTI-PHASE DEVELOPMENT. THE SITE IS LOCATED JUST ON THE OUTER NORTHERN EDGE OF DOWNTOWN LANGLEY, WITH PROXIMITY TO PARKS, SCHOOLS, LEISURE AMENITIES, SHOPPING AREAS, SEVERAL INDUSTRIAL BUSINESSES, AND CAR DEALERSHIPS. THE PROPERTY HAS RAPID ACCESS TO LANGLEY BYPASS AND, FURTHER ALONG, HIGHWAY 1, VIA GLOVER RD.



6 DOUGLAS PARK



7 DOUGLAS PARK COMMUNITY SCHOOL



8 LINWOOD PARK



RE-ISSUED FOR REZONING

NO.	ISSUE/REVISION	DATE
2	ISSUED FOR REZONING	24-02-06
3	RE-ISSUED FOR REZONING	24-04-16
5	RE-ISSUED FOR REZONING	24-05-06
6	RE-ISSUED FOR REZONING	24-05-17
7	RE-ISSUED FOR REZONING	24-06-21

GATEWAY VILLAGE PHASE 1

20501 LOGAN AVENUE, LANGLEY
B.C. V3A 4L8

PROJECT # 22-141.1
CITY FILE #

SITE CONTEXT

SCALE 1 1/2" = 1'-0"

RSD1.01

SITE CONTEXT



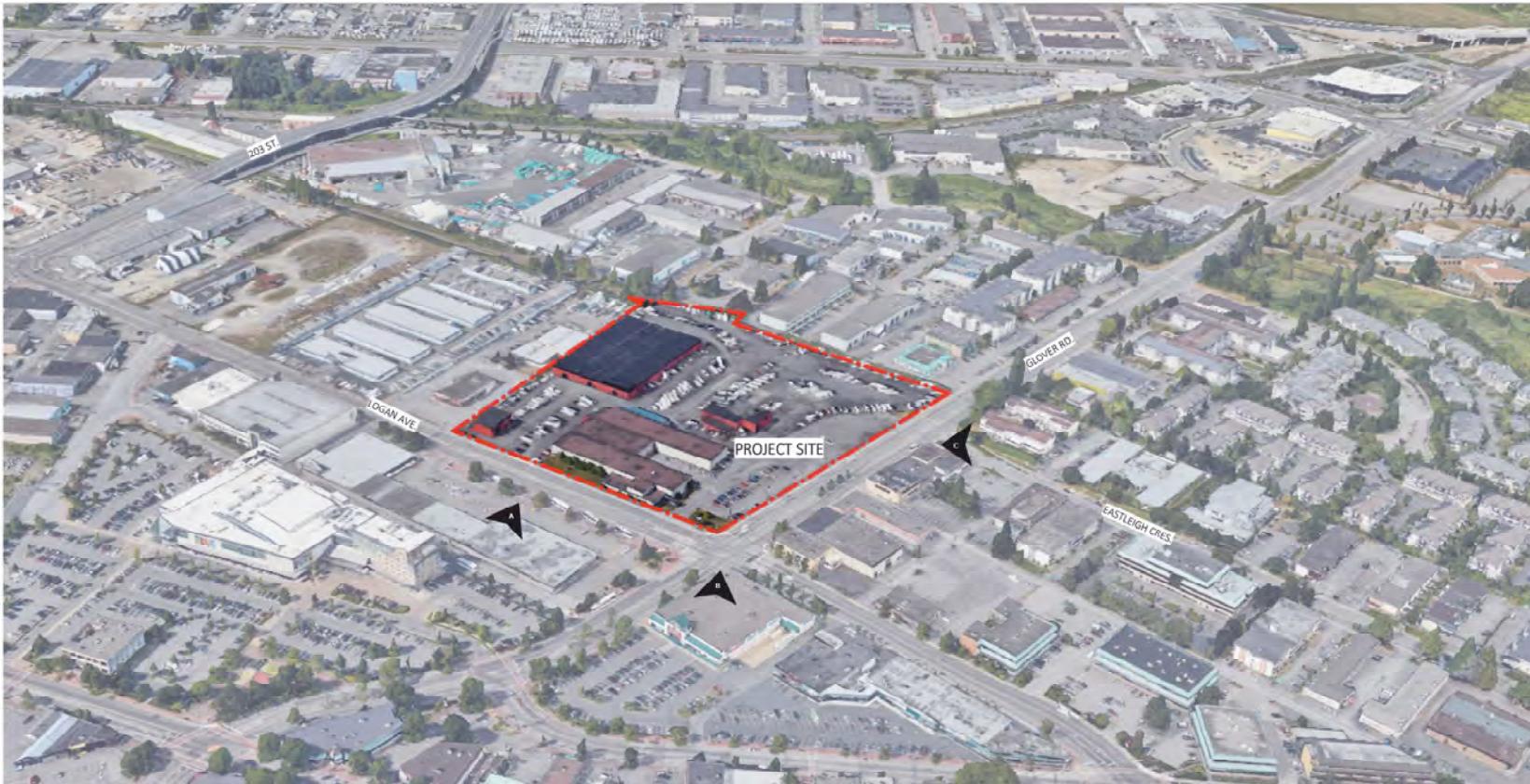
RE-ISSUED FOR REZONING

NO.	ISSUE/REVISION	DATE
2	ISSUED FOR REZONING	24-02-06
3	RE-ISSUED FOR REZONING	24-04-16
5	RE-ISSUED FOR REZONING	24-05-06
6	RE-ISSUED FOR REZONING	24-05-17
7	RE-ISSUED FOR REZONING	24-06-21

GATEWAY VILLAGE PHASE 1

20501 LOGAN AVENUE, LANGLEY
B.C. V3A 4L8

PROJECT # 22-141.1
CITY FILE #



A WELLINGTON LOOKING WEST



B WELLINGTON LOOKING WEST



C GLOVER RD. LOOKING SOUTH

SITE CONTEXT

SCALE 1 1/2" = 1'-0"



RSD1.02

PROJECT DATA - OVERALL



1.1.0 TOTAL FLOOR AREA (sf)

	BUILDING A					BUILDING B					BUILDING C					BUILDING D					GRAND TOTALS								
	RESIDENTIAL	COMMERCIAL	AMENITY	STORAGE	COMMON	LEVEL TOTAL	RESIDENTIAL	COMMERCIAL	AMENITY	STORAGE	COMMON	LEVEL TOTAL	RESIDENTIAL	COMMERCIAL	AMENITY	STORAGE	COMMON	LEVEL TOTAL	RESIDENTIAL	COMMERCIAL		AMENITY	STORAGE	COMMON	LEVEL TOTAL	BY-FLOOR TOTAL			
LEVEL 1	1,548	2,295			4,027	12,643	4,553	3,045			8,333	7,142	6,884	14,934			927	11,229	13,024	10,268	5,228		642	18,855	30,743	LEVEL 1	594,250		
LEVEL 2	20,611		8,623		9,999	29,233	35,332			1,794	5,974	40,680	36,185				4,114	1,509	7,877	49,965	34,128		565	8,309	48,024	LEVEL 2	1,029,701		
LEVEL 3	20,611				2,989	23,600	33,312			1,384	5,974	40,680	40,499					1,589	7,877	49,965	34,280		565	8,309	48,024	LEVEL 3	1,010,911		
LEVEL 4	20,611				2,989	23,600	33,312			1,384	5,974	40,680	40,499					1,589	7,877	49,965	34,280		565	8,309	48,024	LEVEL 4	1,010,911		
LEVEL 5	20,611				2,989	23,600	33,312			1,384	5,974	40,680	40,499					1,589	7,877	49,965	34,280		565	8,309	48,024	LEVEL 5	1,010,911		
LEVEL 6	20,611				2,989	23,600	33,312			1,384	5,974	40,680	40,499					1,589	7,877	49,965	34,280		565	8,309	48,024	LEVEL 6	1,010,911		
LEVEL 7												11,247	11,247					1,683	19,689	21,447				4,743	26,280	LEVEL 7	46,140		
LEVEL 8												16,267	16,267					1,983	25,899	21,447				4,743	26,280	LEVEL 8	46,140		
LEVEL 9												13,444	13,444					2,896	13,844	15,791				4,603	19,394	LEVEL 9	32,278		
LEVEL 10												10,946	10,946					2,896	12,844	15,791				4,603	19,394	LEVEL 10	32,278		
LEVEL 11												5,224	5,224					1,198	6,422	15,791				4,603	19,394	LEVEL 11	42,278		
LEVEL 12												5,224	5,224					1,198	6,422	15,791				4,603	19,394	LEVEL 12	32,278		
LEVEL 13																			10,448						2,896	12,844	LEVEL 13	12,844	
LEVEL 14																				10,448						2,896	12,844	LEVEL 14	12,844
TOTAL	308,843	2,296	2,822		19,954	171,815	171,114	34,457			6,970	38,000	230,342	250,227	14,934	4,114	8,448	45,028	91,745	131,620	5,228	5,157	1,407	82,343	426,857	GRAND TOTAL	1,158,475		
BUILDING A TOTAL						132,315	BUILDING B TOTAL					220,542	BUILDING C TOTAL					361,761	BUILDING D TOTAL					426,857	GRAND TOTAL	1,158,475			

NOTE:

1.7.0 FAR CALC. (sf)

GROSS SITE AREA	492,296.7
GROSS FLOOR AREA	1,118,147.6
FAR	2.27

NOTE: GROSS SITE AREA NOT INCLUDING EASTLEIGH EXTENSION DEDICATION, INCLUDING ANY EASEMENTS AND BROWNS. GROSS FLOOR AREA PHASES 1, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14.

1.7.1 FAR CALC. NORTH (sf)

GROSS SITE AREA	113,603.79
GROSS FLOOR AREA	1,018,172
FAR	8.96

NOTE: GROSS NORTH SITE AREA NOT INCLUDING EASTLEIGH EXTENSION DEDICATION, INCLUDING ANY EASEMENTS AND BROWNS. GROSS FLOOR AREA PHASES 1, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14.

1.7.2 FAR CALC. SOUTH (sf)

GROSS SITE AREA	185,999.97
GROSS FLOOR AREA	5,522,899
FAR	29.72

NOTE: GROSS SOUTH SITE AREA NOT INCLUDING EASTLEIGH EXTENSION DEDICATION, INCLUDING ANY EASEMENTS AND BROWNS. GROSS FLOOR AREA PHASES 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14.

ISSUED FOR
CLIENT REVIEW

NO.	ISSUE/REVISION	DATE
2	ISSUED FOR REZONING	24-02-06
3	RE-ISSUED FOR REZONING	24-04-16
4	RE-ISSUED FOR REZONING	24-05-08
5	RE-ISSUED FOR REZONING	24-05-17
6	RE-ISSUED FOR REZONING	24-06-11
7	RE-ISSUED FOR REZONING	24-08-01

GATEWAY VILLAGE PHASE 1

20501 UDAN AVENUE, LANGLEY
B.C. V3A 4L8

PROJECT # 22-141.1
CITY FILE #

PROJECT DATA -
OVERALL

SCALE
RSD1.10



MASTER PLAN CONCEPT



PHASE 1 - BUILDING A @ CORNER OF GLOVER & EASTLEIGH

RE-ISSUED FOR
REZONING

NO.	ISSUE/REVISION	DATE
2	ISSUED FOR REZONING	24-02-06
3	RE-ISSUED FOR REZONING	24-04-16
5	RE-ISSUED FOR REZONING	24-05-06
6	RE-ISSUED FOR REZONING	24-05-17
7	RE-ISSUED FOR REZONING	24-06-21

GATEWAY VILLAGE
PHASE 1

20501 LOGAN AVENUE, LANGLEY
B.C. V3A 4L8

PROJECT # 22-141.1
CITY FILE #

EXTERIOR
CONCEPT



PHASE 1 - BUILDING A EASTLEIGH EXTENSION ELEVATION



PHASE 1 - BUILDING A CONCEPT

SCALE 1/2" = 1'-0"

RSD1.20



SITE PLAN - OVERALL
1/32" = 1'-0"



RE-ISSUED FOR
REZONING

NO.	ISSUE/REVISION	DATE
2	ISSUED FOR REZONING	24-02-06
3	RE-ISSUED FOR REZONING	24-04-16
5	RE-ISSUED FOR REZONING	24-05-06
6	RE-ISSUED FOR REZONING	24-05-17
7	RE-ISSUED FOR REZONING	24-06-21

GATEWAY VILLAGE
PHASE 1

20501 LOGAN AVENUE, LANGLEY
B.C. V3A 4L8

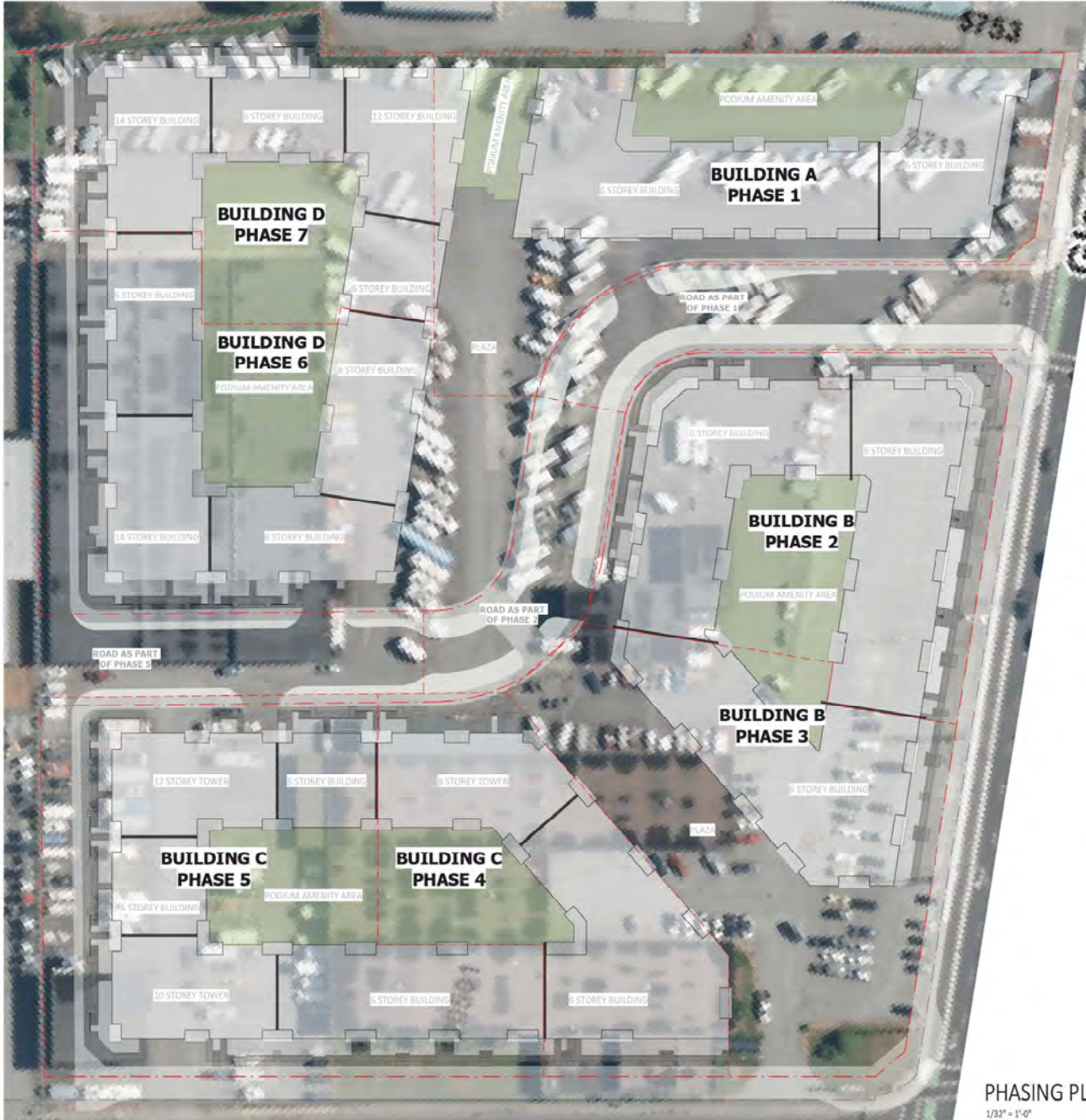
PROJECT # 22-141.1
CITY FILE #

SITE PLAN

SCALE 1/32" = 1'-0"



RSD2.01



PHASING PLAN - AERIAL
1/32" = 1'-0"



RE-ISSUED FOR
REZONING

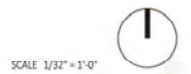
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2	ISSUED FOR REZONING	24-02-06
3	RE-ISSUED FOR REZONING	24-04-16
5	RE-ISSUED FOR REZONING	24-05-06
6	RE-ISSUED FOR REZONING	24-05-17
7	RE-ISSUED FOR REZONING	24-06-21

GATEWAY VILLAGE
PHASE 1

20501 LOGAN AVENUE, LANGLEY
B.C. V3A 4L8

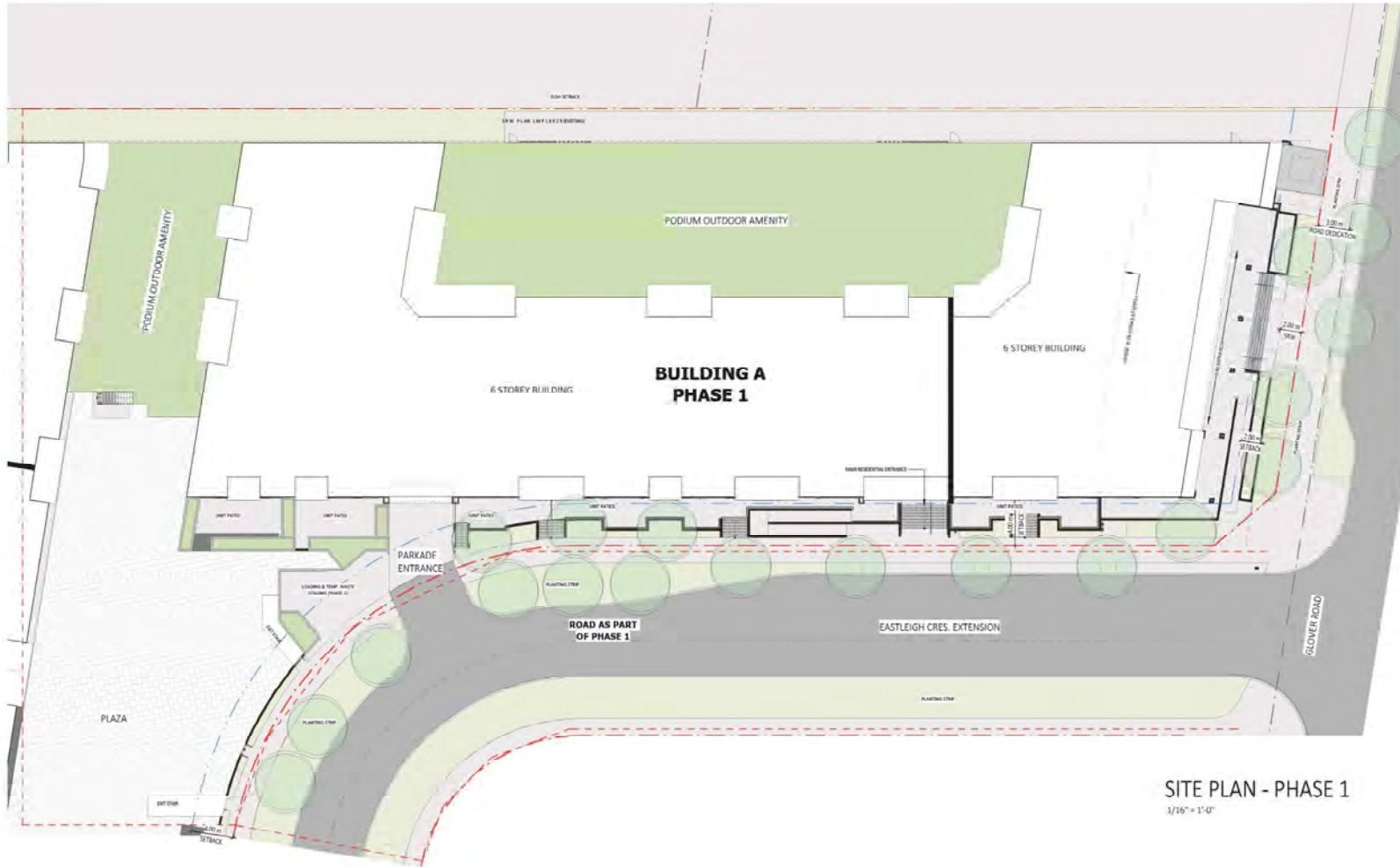
PROJECT # 22-141.1
CITY FILE #

PHASING PLAN
AERIAL



SCALE 1/32" = 1'-0"

RSD2.02



SITE PLAN - PHASE 1
1/16" = 1'-0"

RE-ISSUED FOR REZONING

NO.	ISSUE/REVISION	DATE
2	ISSUED FOR REZONING	24-02-06
3	RE-ISSUED FOR REZONING	24-04-16
5	RE-ISSUED FOR REZONING	24-05-06
6	RE-ISSUED FOR REZONING	24-05-17
7	RE-ISSUED FOR REZONING	24-06-21

GATEWAY VILLAGE PHASE 1

20501 LOGAN AVENUE, LANGLEY
B.C. V3A 4L8

PROJECT # 22-141.1
CITY FILE #

SITE PLAN - PHASE 1
1



SITE PLAN - PHASE 2
1/16" = 1'-0"

RE-ISSUED FOR REZONING

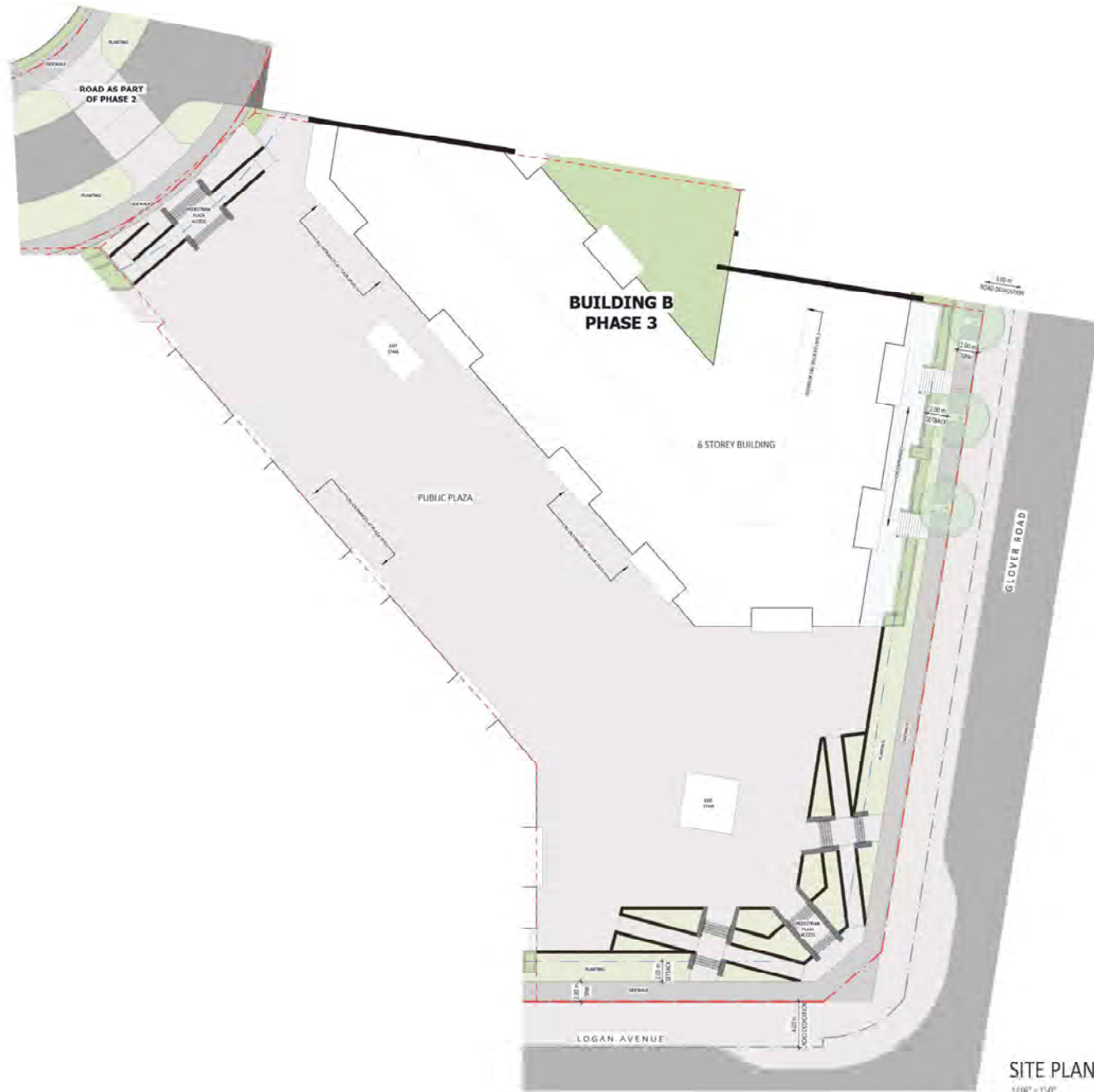
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2	ISSUED FOR REZONING	24-02-06
3	RE-ISSUED FOR REZONING	24-04-16
5	RE-ISSUED FOR REZONING	24-05-06
6	RE-ISSUED FOR REZONING	24-05-17
7	RE-ISSUED FOR REZONING	24-06-21

GATEWAY VILLAGE PHASE 1

20501 LOGAN AVENUE, LANGLEY
B.C. V3A 4L8

PROJECT # 22-141.1
CITY FILE #

SITE PLAN - PHASE 2
2



SITE PLAN - OVERALL
1/8" = 1'-0"



RE-ISSUED FOR
REZONING

NO.	ISSUE/REVISION	DATE
2	ISSUED FOR REZONING	24-02-06
3	RE-ISSUED FOR REZONING	24-04-16
5	RE-ISSUED FOR REZONING	24-05-06
6	RE-ISSUED FOR REZONING	24-05-17
7	RE-ISSUED FOR REZONING	24-06-21

GATEWAY VILLAGE
PHASE 1

20501 LOGAN AVENUE, LANGLEY
B.C. V3A 4L8

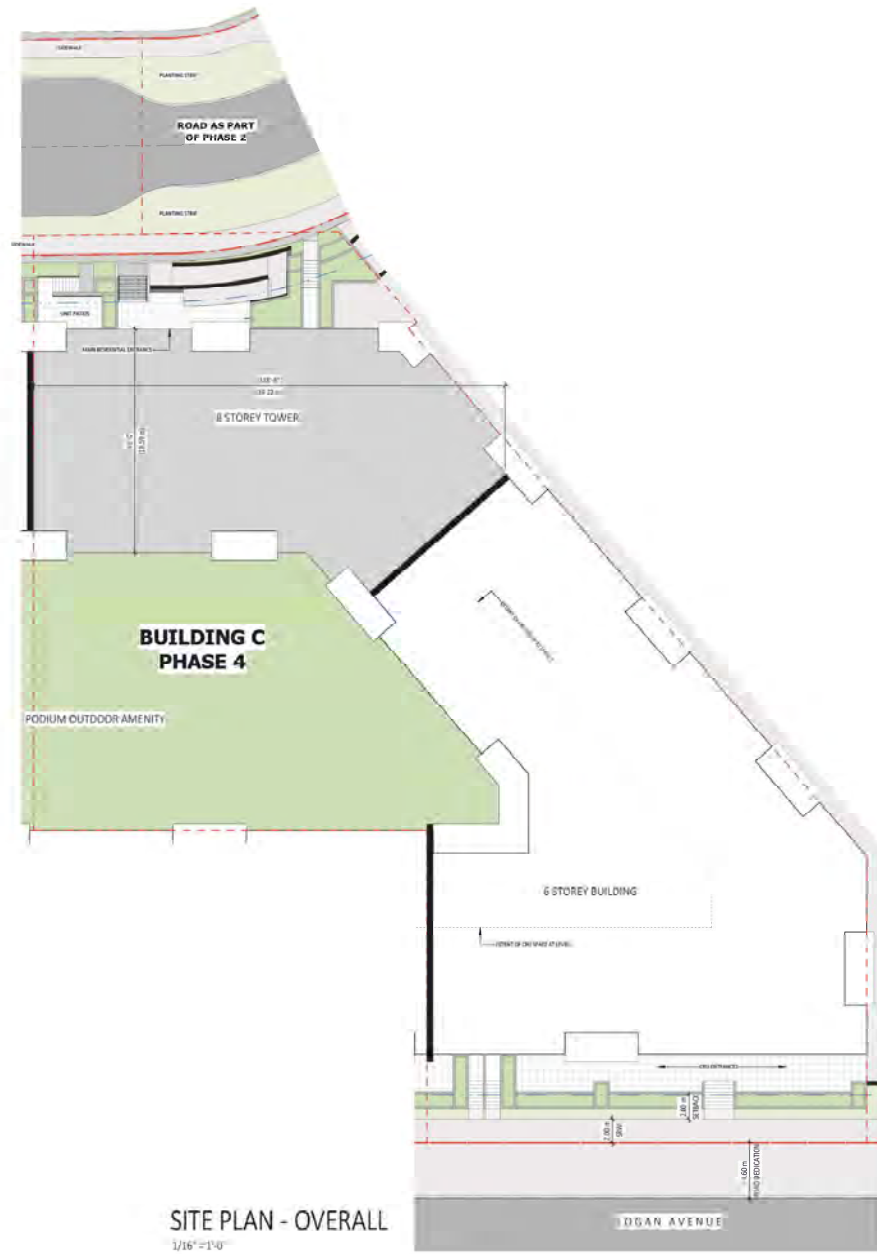
PROJECT # 22-141.1
CITY FILE #

SITE PLAN - PHASE
3



SCALE 1/16" = 1'-0"

RSD2.05



SITE PLAN - OVERALL
1/16" = 1'-0"

RE-ISSUED FOR REZONING

NO.	ISSUE/REVISION	DATE
2	ISSUED FOR REZONING	24-02-06
3	RE-ISSUED FOR REZONING	24-04-10
5	RE-ISSUED FOR REZONING	24-05-06
6	RE-ISSUED FOR REZONING	24-05-17
7	RE-ISSUED FOR REZONING	24-06-21

GATEWAY VILLAGE PHASE 1

20501 LOGAN AVENUE, LANGLEY
B.C. V3A 4L8

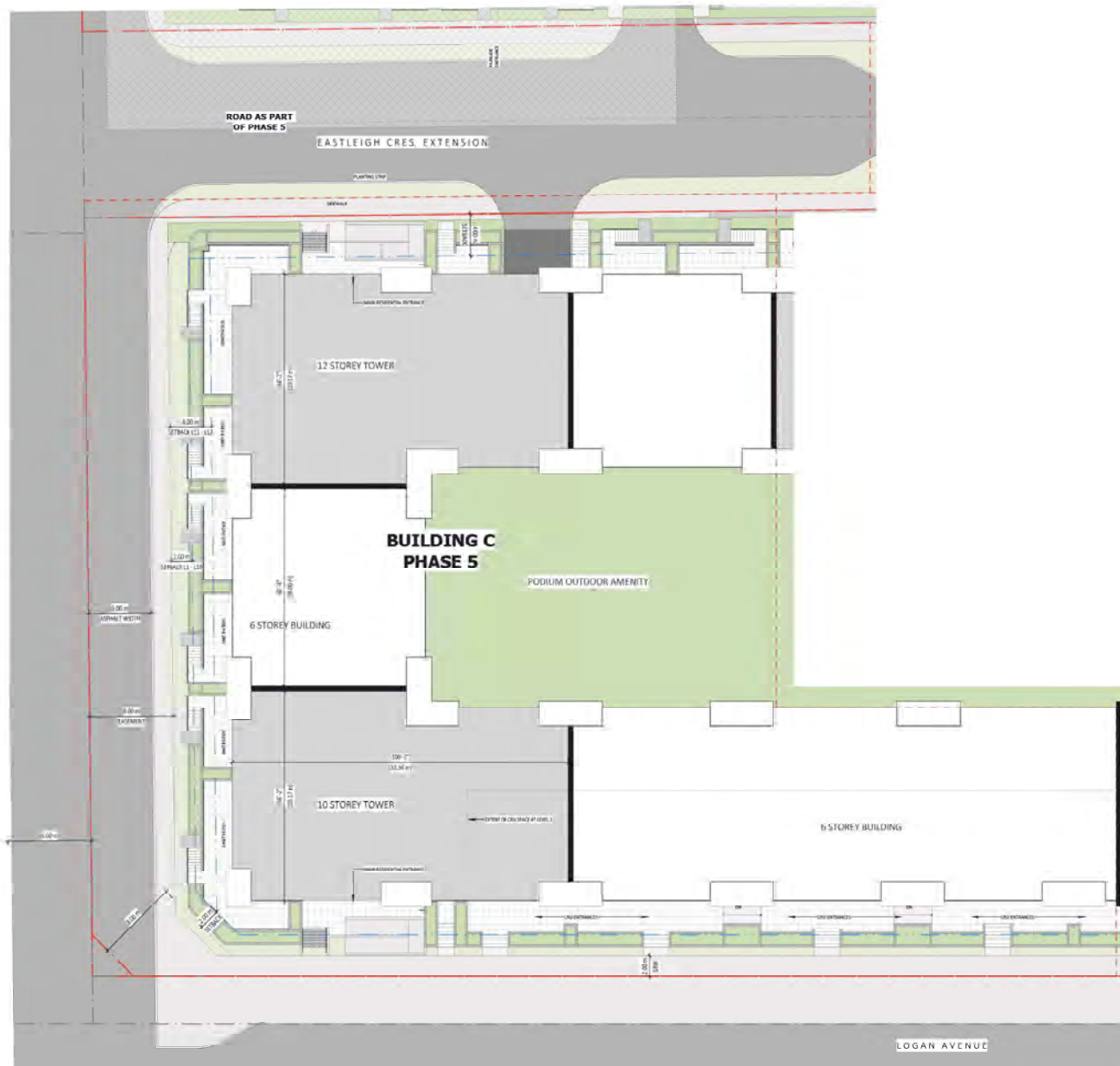
PROJECT # 22/161.1
CITY FILE #

SITE PLAN - PHASE 4

SCALE 1/16" = 1'-0"



RSD2.06



SITE PLAN - OVERALL



RE-ISSUED FOR
REZONING

NO.	ISSUE/REVISION	DATE
2	ISSUED FOR REZONING	24-02-06
3	RE-ISSUED FOR REZONING	24-04-10
5	RE-ISSUED FOR REZONING	24-05-06
6	RE-ISSUED FOR REZONING	24-05-17
7	RE-ISSUED FOR REZONING	24-06-21

GATEWAY VILLAGE
PHASE 1

20501 LOGAN AVENUE, LANGLEY
B.C. V3A 4L8

PROJECT # 22-141.1
CITY FILE #

SITE PLAN - PHASE
5

SCALE 1/16" = 1'-0"



RSD2.07



RE-ISSUED FOR
REZONING

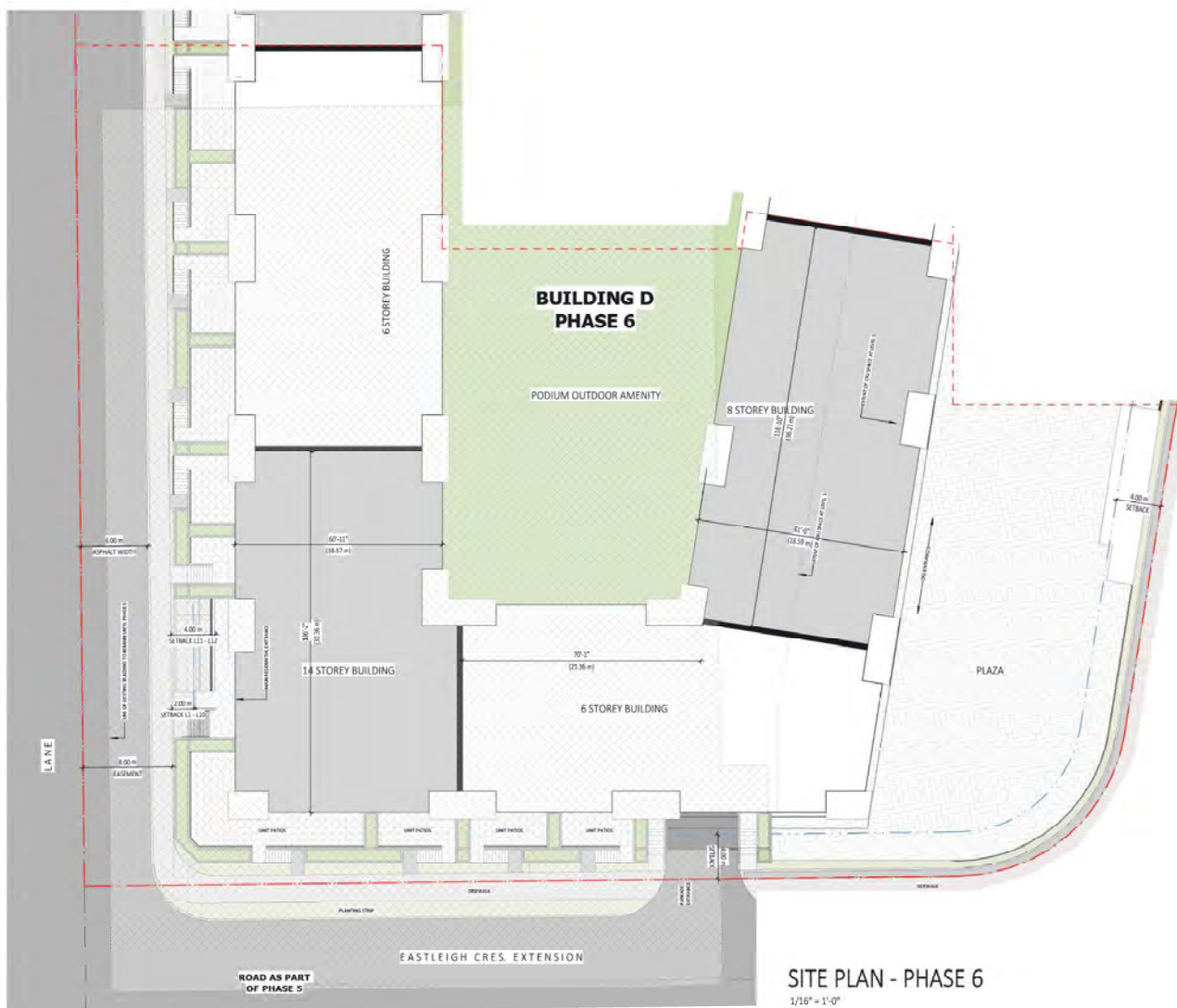
NO.	ISSUE/REVISION	DATE
2	ISSUED FOR REZONING	24-02-06
3	RE-ISSUED FOR REZONING	24-04-16
5	RE-ISSUED FOR REZONING	24-05-06
6	RE-ISSUED FOR REZONING	24-05-17
7	RE-ISSUED FOR REZONING	24-06-21

GATEWAY VILLAGE
PHASE 1

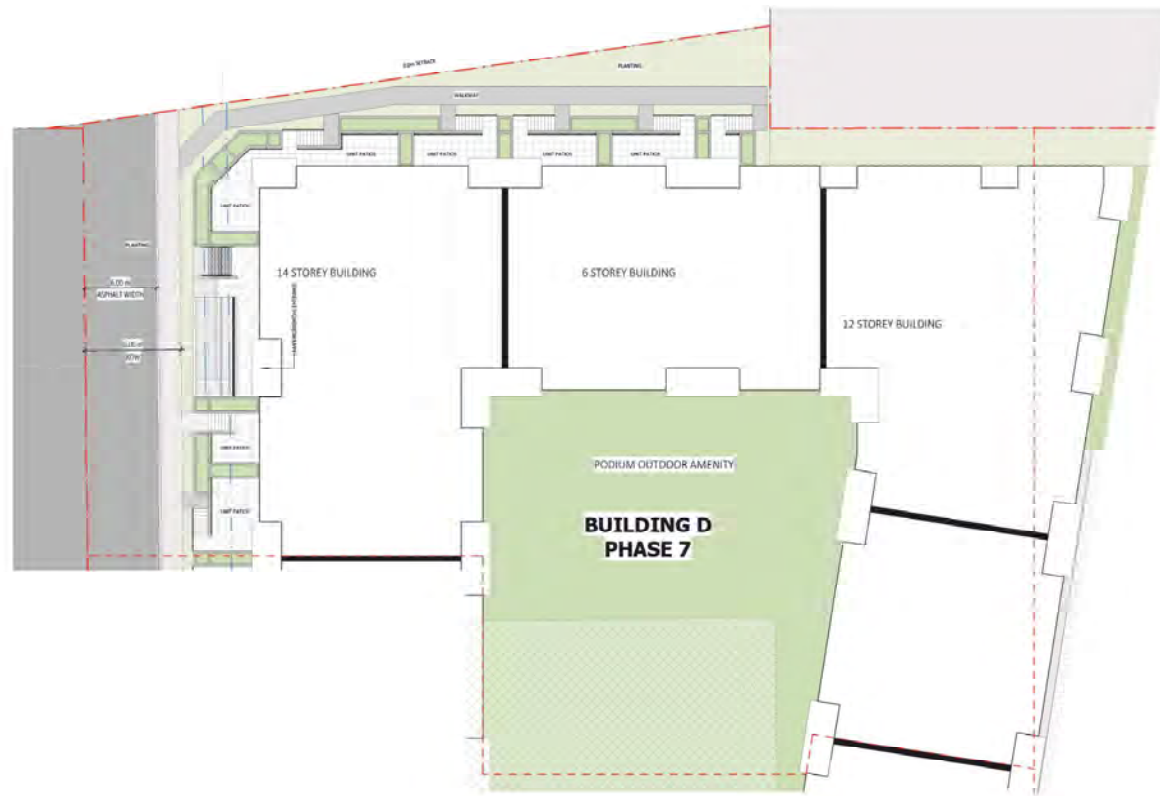
20501 LOGAN AVENUE, LANGLEY
B.C. V3A 4L8

PROJECT # 22-141.1
CITY FILE #

SITE PLAN - PHASE
6



SITE PLAN - PHASE 6
1/16" = 1'-0"



RE-ISSUED FOR REZONING

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6	RE-ISSUED FOR REZONING	24-05-17
7	RE-ISSUED FOR REZONING	24-06-21

GATEWAY VILLAGE PHASE 1

20501 LOGAN AVENUE, LANGLEY
B.C. V3A 4L8

PROJECT # 22-141.1
CITY FILE #

SITE PLAN - PHASE 7

SITE PLAN - OVERALL
1/16" = 1'-0"



RSD2.09



RE-ISSUED FOR REZONING

NO.	ISSUE/REVISION	DATE
2	ISSUED FOR REZONING	24-02-06
3	RE-ISSUED FOR REZONING	24-04-16
5	RE-ISSUED FOR REZONING	24-05-06
6	RE-ISSUED FOR REZONING	24-05-17
7	RE-ISSUED FOR REZONING	24-06-21

GATEWAY VILLAGE PHASE 1

20501 LOGAN AVENUE, LANGLEY
B.C. V3A 4L8

PROJECT # 22-141.1
CITY FILE #

PUBLIC EASEMENT DIAGRAM

SCALE 1/32" = 1'-0"

RSD.10



**RE-ISSUED FOR
REZONING**

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2	ISSUED FOR REZONING	24-02-06
3	RE-ISSUED FOR REZONING	24-04-16
5	RE-ISSUED FOR REZONING	24-05-06
6	RE-ISSUED FOR REZONING	24-05-17
7	RE-ISSUED FOR REZONING	24-06-21

**GATEWAY VILLAGE
PHASE 1**

20501 LOGAN AVENUE, LANGLEY
B.C. V3A 4L8

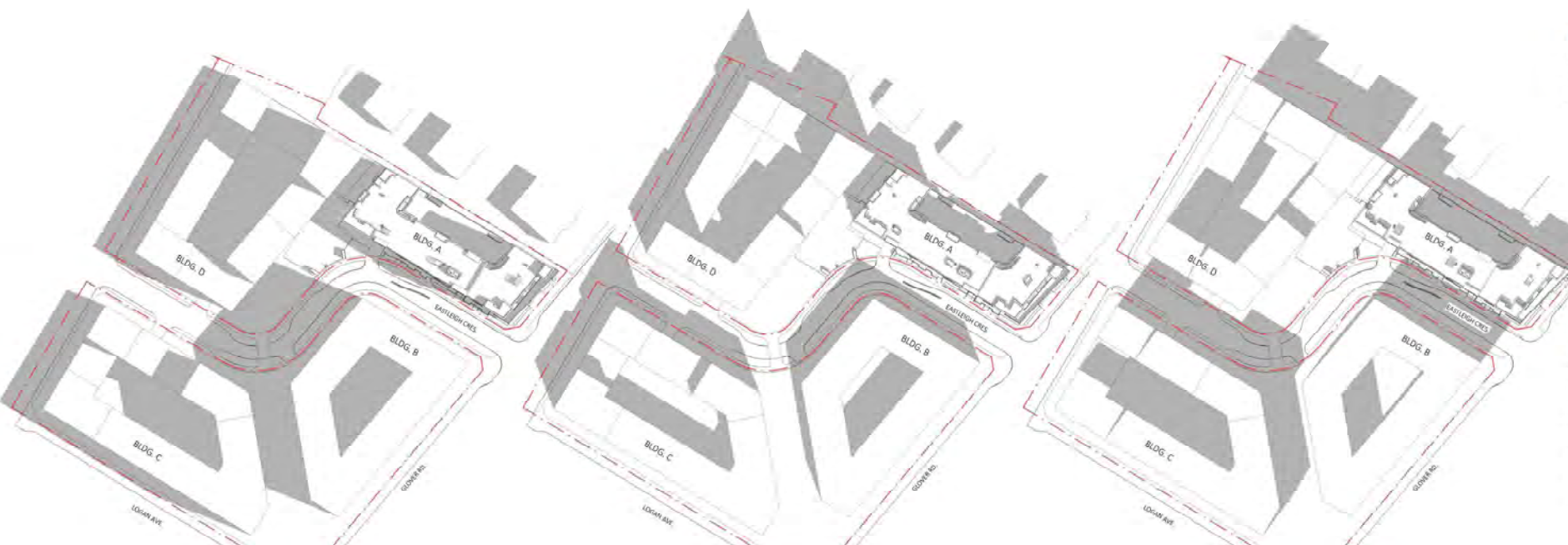
PROJECT # 22-141.1
CITY FILE #

SHADOW STUDY

SCALE 1" = 80'-0"



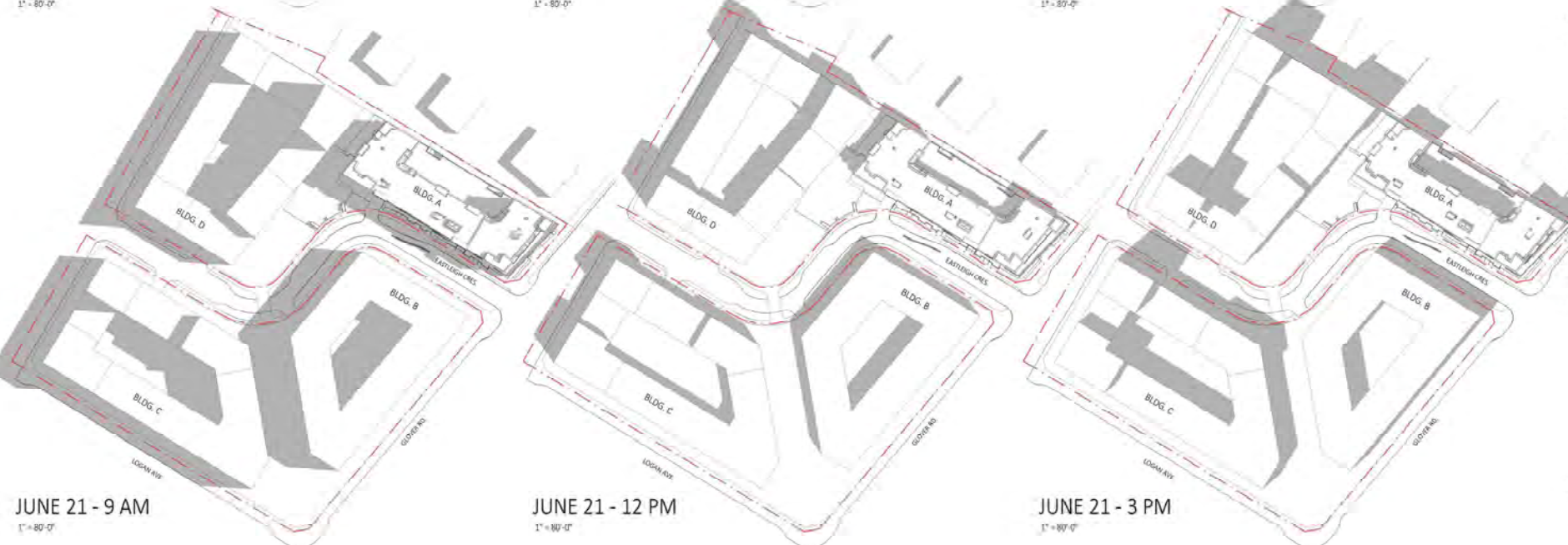
RSD.11



SEPTEMBER/MARCH 21 - 9 AM
1" = 80'-0"

SEPTEMBER/MARCH 21 - 12 PM
1" = 80'-0"

SEPTEMBER/MARCH 21 - 3 PM
1" = 80'-0"



JUNE 21 - 9 AM
1" = 80'-0"

JUNE 21 - 12 PM
1" = 80'-0"

JUNE 21 - 3 PM
1" = 80'-0"



**RE-ISSUED FOR
REZONING**

NO.	ISSUE/REVISION	DATE
2	ISSUED FOR REZONING	24-02-06
5	RE-ISSUED FOR REZONING	24-05-06
6	RE-ISSUED FOR REZONING	24-05-17
7	RE-ISSUED FOR REZONING	24-06-21

**GATEWAY VILLAGE
PHASE 1**

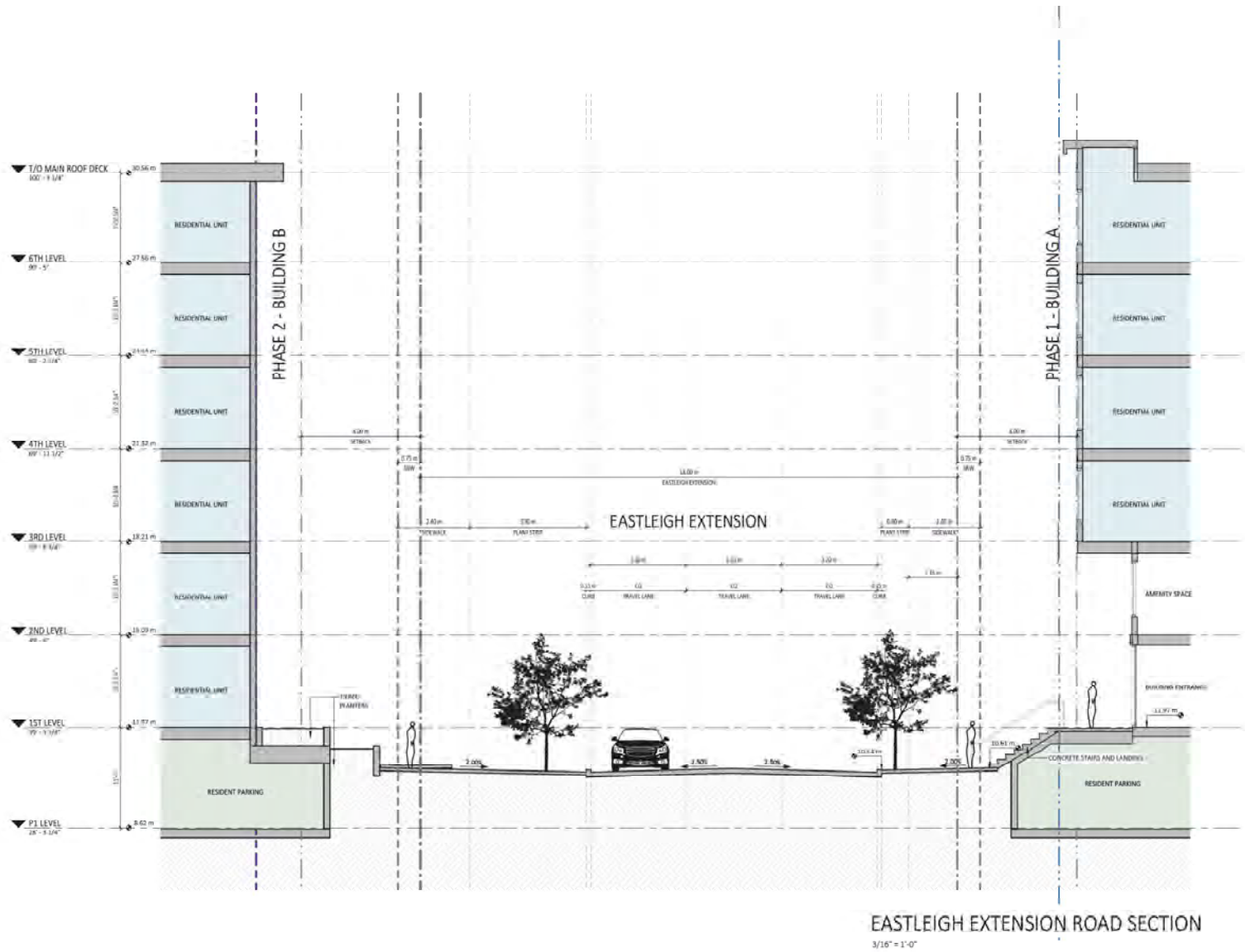
20501 LOGAN AVENUE, LANGLEY
B.C. V3A 4J8

PROJECT # 2211011
CITY FILE #

**EASTLEIGH
EXTENSION ROAD
SECTION**

SCALE 3/16" = 1'-0"

RSD3.01



EASTLEIGH EXTENSION ROAD SECTION
3/16" = 1'-0"



**RE-ISSUED FOR
REZONING**

NO.	ISSUE/REVISION	DATE
2	ISSUED FOR REZONING	24-02-06
5	RE-ISSUED FOR REZONING	24-05-06
6	RE-ISSUED FOR REZONING	24-05-17
7	RE-ISSUED FOR REZONING	24-06-21

**GATEWAY VILLAGE
PHASE 1**

20501 LOGAN AVENUE, LANGLEY
B.C. V3A 4J8

PROJECT # 22-1111-1
CITY FILE #

**GLOVER ROAD
SECTION**



GLOVER ROAD SECTION
3/16" = 1' 0"

SCALE 3/16" = 1' 0"

RSD3.02



ADVISORY DESIGN PANEL REPORT

To: **Advisory Design Panel**

Subject: **Development Permit Application DP 04-23
Rezoning Application RZ 04-23
(20139 53A Avenue)**

From: Anton Metalnikov, RPP, MCIP
Planner

File #: 6620.00
Bylaw #: 3288
Doc #:

Date: June 17, 2024

RECOMMENDATION:

THAT this report be received for information.

PURPOSE OF REPORT:

To consider Zoning Bylaw amendment and Development Permit applications by Trio Architecture Inc. for a 4-unit rowhouse development at 20139 53A Avenue.

POLICY:

The subject property is currently zoned RS1 Single Family Residential in Zoning Bylaw No. 2100 and designated "Mid Rise Residential" in the Official Community Plan Land Use Designation Map. All lands designated for multi-unit residential use are subject to a Development Permit (DP) to address building form and character.

The development falls below the density envisioned within the Official Community Plan but, in recognition of its constrained site, represents an increase in density from the current use and is consistent with the density of the property's existing RS1 Single Family Residential zoning. The development cannot be accommodated under the existing Zoning Bylaw as a fee-simple rowhouse development and, as such, a Comprehensive Development Zone is proposed to accommodate it.

COMMENTS/ANALYSIS:

Background Information:

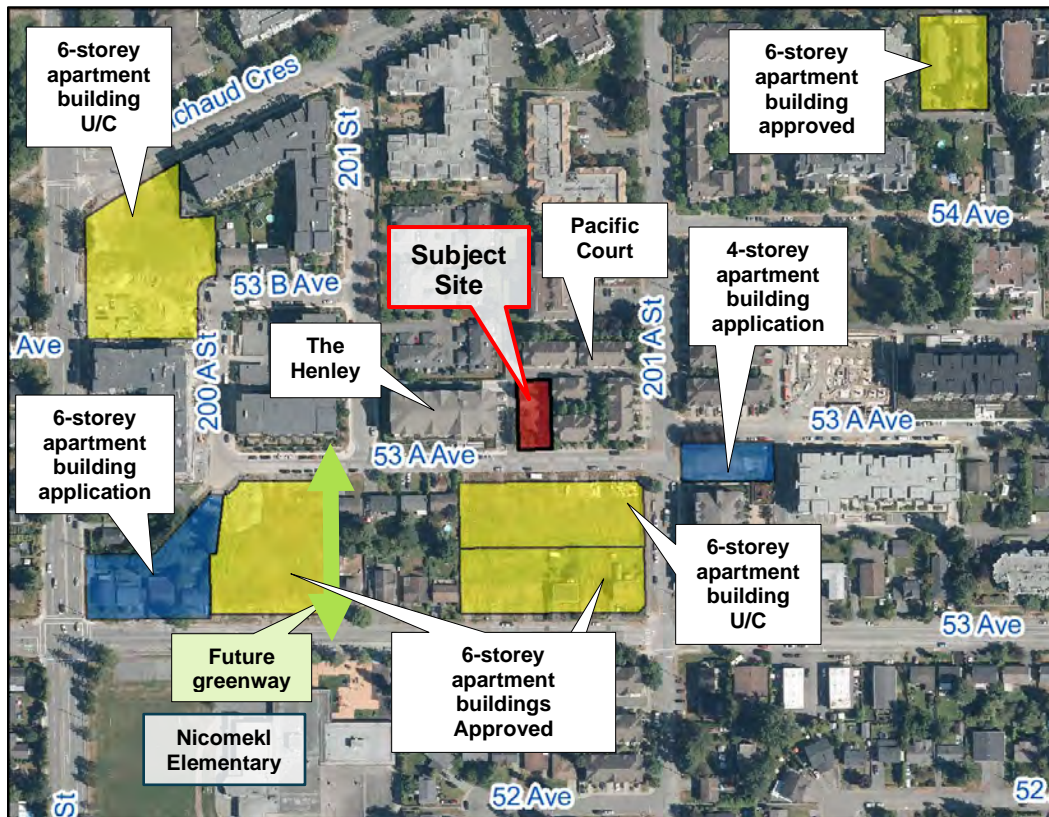
Applicant:	Trio Architecture Inc.
Owners:	Zest Ventures Langley Inc.
Civic Address:	20139 53A Avenue
Legal Description:	Lot 242, District Lot 305, Group 2, New Westminster District, Plan 39394
Site Area:	665.59 m ² (0.164 acres)
Number of Units:	4 rowhouses
Gross Floor Area:	778.01 m ² (8,374.44 ft ²)
Floor Area Ratio:	1.17
Lot Coverage:	45.22%
Total Parking Required:	9 spaces
Parking Provided:	
Resident	8 spaces
<u>Visitor</u>	<u>1 space</u>
Total	9 spaces
OCP Designation:	Mid Rise Residential
Existing Zoning:	RS1 Single Family Residential
Proposed Zoning:	CD99 Comprehensive Development Zone
Development Cost Charges:	\$81,015.00 (City - \$39,603.00, GVS&DD - \$15,306.00, GVWD - \$16,092.00, SD35 - \$2,600.00, TransLink - \$7,414.00)
Community Amenity Contributions (CACs):	\$16,000.00

Discussion:

1. Context

The applicant is proposing to develop a 4-unit rowhouse complex on the site of a single-detached lot at 20139 53A Avenue. This site is located in a residential area in transition composed of recently developed, under-construction, and approved apartment developments, along with sites that are under active apartment development applications.

The property forms a corner site flanked by 53A Avenue to the south, a local road across from which a 5-storey apartment building is currently under construction, and a lane to the west, which separates the property from the 4-storey Henley apartment building. To the north and east, the site is bounded by Pacific Court, a townhome complex built in 2004. The OCP Land Use map in the area designates the properties south of 53A Avenue as Low Rise Residential (supporting development of up to 6 storeys and 2.1 FAR) and the properties north of 53A Avenue as Mid Rise Residential (supporting development of up to 12 storey and 3.5 FAR).



Site context

The site is well-positioned with connections to retail and service areas, with Downtown located within a 10-minute walk. It also benefits from proximity to key neighbourhood amenities, including:

- Nicomekl Elementary School (5-minute walk);
- Nicomekl Floodplain and Linwood Parks (5-minute walk); and
- Timms Community Centre (15-minute walk).

2. Proposed Rezoning and the Official Community Plan (OCP)

The site is designated Mid Rise Residential in the City's OCP, which allows for apartment development of up to 12 storeys in height and a Floor Area Ratio (FAR) of up to 3.5. While the proposed development falls below the density envisioned for this land use designation, it nonetheless fulfills the spirit of the OCP by increasing density on this constrained site.

For context, when the adjacent Pacific Court townhome complex was developed its application included a concept showing the viable future development of the subject property with an additional 4 townhome units, as is proposed with this application. The City's OCP at that time envisioned potential for both townhomes and apartment buildings on this block.

Additionally, following recent updates made to the property's RS1 Single Family Residential zoning to allow up to a maximum of 4 units per lot, as required by Provincial legislation passed in November 2023, the application's proposed 4 units and parking supply are consistent with its existing zoning.

Other development characteristics, namely height, lot coverage, and setbacks, differ from those in the RS1 Zone but are consistent with preliminary regulations being considered for the townhome/rowhome zone as part of the new Zoning Bylaw currently in development, and the proposed rezoning to a site-specific Comprehensive Development (CD) Zone is necessary to accommodate the project's proposed fee simple tenure. Should the CD rezoning be adopted it is anticipated that, as part of adopting the new Zoning Bylaw, the City will rezone this site from its CD zone to the new townhome/rowhome zone.

While the subject property is designated Mid Rise Residential in the City's OCP, the application is generally consistent with the City's Townhome & Plex-Home Best Practices Guide, including by incorporating the following guidelines:

- Using peaked roofs;
- Incorporating larger backyards;
- Upgrading the street frontage;
- Providing new, durable (non-wood) fencing for shared property lines;
- Planting more than one new tree per unit; and
- Preserving existing trees on the neighbouring property to support privacy.

3. Design

The applicant is proposing a site plan composed of a single block of rowhomes with their entrances located on the west lane. This interface includes a walkway to maintain convenient pedestrian access along the lane and takes advantage of the approximate 14-metre separation created from the opposite apartment building by its visitor parking spaces and the City lane. This site layout allows for the four units to be accommodated while incorporating two-car side-by-side garages for all units, larger backyards and setbacks from the adjacent Pacific Court townhome complex, and maintaining a frontage, including an entrance door, on 53A Avenue to the south. The larger north setback accommodates a visitor parking space and pad-mounted transformer (PMT) to keep them from view along the street and screen them with new fencing from the neighbouring townhomes. All units include three bedrooms and a den and have backyards and balconies.

The units are proposed as fee-simple rowhouses, with each located on its own legal lot and a party wall agreement registered in accordance with the *Land Title Act*. An access easement will facilitate shared use of the visitor parking space. This contributes to providing a diversity of family-oriented housing choices in the city as a non-strata ownership alternative to a single-detached home. As fee-simple units, each rowhouse will be given its own 53A Avenue house number.

The proposed design emphasizes a white colour palette with visual interest primarily provided through texture by using brick veneer on the first floor frontages to ground the building and contrasting board & batten cladding and horizontal siding on the floors above. Accent features such as dark garage doors, balcony railings, window mullions, and canopies, brown entrance and balcony doors, knee braces, and lighting fixtures help decorate the elevations.

The project's landscaping incorporates a variety of plantings and trees to line its boundary with the public street and neighbouring townhome complex, as well as to delineate between backyard patios, driveways, and entrance paths. A total of 9 trees is proposed, including six lilac trees along the east fence and three dogwood trees used to highlight the unit entrance on 53A Avenue and enhance the neighbouring interface on the north. Existing trees on the neighbouring property are intended to be retained. Surfacing is proposed to include sod lawns in the yard and paver hardscaping. Black 6-foot composite fencing is proposed along the site's shared property boundaries and shorter metal picket fencing is proposed for the 53A Avenue frontage.

4. Sustainability

The proposal incorporates the following sustainable development features:

- Using construction techniques that minimize site disturbance and protect air quality;
- Using lighting systems meeting ground-level and dark skies light pollution reduction principles;
- Incorporating an irrigation system with central control and rain sensors; and
- Providing all garages with Level II electric vehicle (EV) chargers;

5. CPTED

The applicant's proposal benefited from a comprehensive Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

6. Summary

The proposed development fills in a constrained parcel to support its immediate area's transition to higher densities while fitting in with its neighbouring buildings. It offers a unique form of family-oriented housing in proximity to Downtown, transit, parks, and an elementary school.

Engineering Requirements:

Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents.

All work to be done to the City of Langley's Design Criteria Manual (DCM), and the City's Subdivision and Development Servicing Bylaw (SDSB).

Per the City's DCM requirement, the developer and their consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Commitment by Owner and Consulting Engineer) prior to starting their design works.

Per the City's Watercourse Protection Bylaw No. 3152, the developer's consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Confirmation of Commitment by Qualified Environmental Professional - QEP) prior to starting their site monitoring works.

These requirements have been issued to reflect the application for development for a proposed **4-Unit Townhome Development located at 20139 53A Ave.**

These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

A) The Developer is responsible for the following work which shall be designed by a Professional Engineer:

- I. A Qualified Environmental Professional (QEP) must be engaged to implement erosion and sediment control in accordance with the City of Langley Watercourse Protection Bylaw #3152, as amended.
- II. A storm water management plan for the site is required. Rainwater management measures used on site shall limit the release rate to pre-development levels to mitigate flooding and environmental impacts as detailed in the City's DCM. All calculations shall be based the City' DCM with 20% added to the calculated results to account for climate change. A safety factor of 20% shall be added to the calculated storage volume. Pre-development release rates shall not include climate change effect.
- III. All existing services shall be capped at the main by the City, at the Developer's expense prior to applying for a demolition permit.
- IV. New water, sanitary and storm sewer service connections are required. All pertinent pipe design calculations shall be submitted in spreadsheet format and shall include all formulas for review by the City. The Developer's engineer will determine the appropriate main tie-in locations and size the connections for the necessary capacity.
- V. The capacity of the existing water main shall be assessed through hydraulic modeling performed by the City's hydraulic modeling consultant at the Developer's expense.
 - a. Any upgrade requirement for watermain(s) not covered under the City's DCC bylaw shall be designed and installed by the Developer at the Developer's expense.
 - b. At the Developer's expense, the City's hydraulic modeling consultant shall conduct a fire hydrant flow test to be used in the City's water modeling to determine if the existing water network is adequate for fire flows (based on architectural data supplied by the Developer's Architect). Upgrading of the existing watermain(s) may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995."
- VI. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be approved by the City of Langley Fire Rescue Service.
- VII. A property dedication of approximately 1m will be required along the 53A Avenue frontage of the proposed development to match the existing

south property line of 5355 201A Street. An approximate 1m property dedication along the west lane frontage will be required to create a 7m lane width. A 4m corner truncation will also be required.

- VIII. New sidewalk, barrier curb, gutter will be required along the entire project frontage, complete with boulevard trees and a planting strip as per the City's DCM x-section SS-R08 (modified) and section 11.0 - Specifications and Standards for Landscaping. A parking pocket letdown will also be required at the end of the lane based on the City's DCM SS-C01B.
- IX. A traffic impact assessment will be required as per the City's DCM.
- X. A cash contribution of \$520.00/unit will be required toward a future pedestrian walkway connecting 53 & 53A avenues.
- XI. The condition of the existing pavement along the proposed project's frontages shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate, it shall be remediated at the Developer's expense.
- XII. The site layout shall be designed by a civil engineer to ensure that the parking and access layout meets minimum design standards, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls and drive-aisles are accessible by the design vehicle.
- XIII. Existing and proposed street lighting along the entire project frontage shall be reviewed by a qualified lighting consultant to ensure street lighting and lighting levels meet the City's DCM standards.

B) The Developer is required to deposit the following bonding and fees:

- I. The City will require a Security Deposit based on the estimated construction costs of installing civil works, as approved by the City Engineer.
- II. The City will require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs, as per the City's Subdivision and Development Servicing Bylaw 2021 #3126.
- III. A deposit for a storm, sanitary and water services is required, which will be determined by City staff after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
- IV. The City will require a \$40,000 bond for the installation of a water meter to current City standards as per the DCM.

- V. A signed and sealed pavement cut form (Form F-2 of the City's DCM) shall be completed by the developer's consulting engineer. Upon the review and approval of the City Engineer of the submitted form, the corresponding Permanent pavement cut reinstatement and degradation fees shall be paid by the Developer.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the developer with an estimate of connections costs, and the Developer will declare in writing that the estimate is acceptable.

C) The Developer is required to adhere to the following conditions:

- I. Unless otherwise specified by the City Engineer, all engineering works shall be designed based on the City's DCM specifications in accordance with the City's Subdivision and Development Servicing Bylaw 2021, No. 3126
- II. Undergrounding of hydro, telecommunication to the development site is required, complete with underground or at-grade transformer
- III. Transformers servicing developments are to be located on private property with maintenance access located on private property. All transformers to be wrapped upon installation by the Developer.
- IV. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner. Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.
- V. A water meter is required to be installed on private property, preferably in the mechanical room, in accordance to the City's DCM standards at the Developer's cost.
- VI. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
- VII. A Stormceptor or equivalent oil separator is required to treat site surface drainage.
- VIII. A complete set of record drawings (as-built) of off-site works, service record cards and a completed tangible capital asset form (TCA) all sealed by a Professional Engineer shall be submitted to the City within 60 days of the substantial completion date. Digital drawing files in .pdf and .dwg formats shall also be submitted. All the drawing submissions shall:
 - a. Use City's General Note Sheet and Title Block; and
 - b. Closely follow the format and sequence outlined in the City's DCM that will be provided to the Developer's Consulting Engineer.

- IX. The selection, location and spacing of street trees and landscaping are subject to the approval of the City Engineer. Please refer to the City's DCM for more details.
- X. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
- XI. Garbage and recycling enclosures shall accommodate on the site and be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update." Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.

Fire Department Comments:

Fire department access for the whole project was reviewed to ensure adequate access was in place to accommodate fire apparatus and personnel. A construction fire safety plan shall be completed, and a Fire Safety Plan will need to be completed before occupancy is given.

Advisory Design Panel:

In accordance with Development Application Procedures Bylaw No. 3270, the subject Zoning Bylaw amendment and Development Permit application will be reviewed by the Advisory Design Panel (ADP) at the June 27, 2024 meeting.


According to the Council-approved ADP Terms of Reference, the ADP is to provide form and character and urban design-related advice and recommendations for Council's consideration. ADP recommendations will be presented to Council through the ADP meeting minutes and, if applicable, through an additional City staff report, prior to Council consideration of the proposed Zoning Bylaw amendment and Development Permit Applications.

A copy of the ADP minutes will be presented to Langley City Council at a future Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$39,603.00 to City Development Cost Charge accounts and \$16,000.00 in Community Amenity Contributions.

Prepared by:



Anton Metalnikov, RPP, MCIP
Planner

Concurrence:



Roy M. Beddow, RPP, MCIP
Deputy Director of Development Services

Concurrence:



Carl Johannsen, RPP, MCIP
Director of Development Services

Concurrence:



Kyle Simpson
Acting Director of Engineering, Parks &
Environment

attachments

Concurrence:



Scott Kennedy, Fire Chief



DEVELOPMENT PERMIT APPLICATION DP 04-23 REZONING APPLICATION RZ 04-23

Civic Address: 20139 53A Avenue
Legal Description: Lot 242, District Lot 305, Group 2, New Westminster District, Plan 39394
Applicant: Trio Architecture Inc.
Owner: Zest Ventures Langley Inc.





PROPOSED ROWHOMES

20139 53A AVE. LANGLEY, B.C.



D&DDESIGN.CA

ARCHITECT

D&D DESIGN LTD.
 Contact: Darren Hall
 33623 Wilkwood Dr., Abbotsford, BC
 V2S 1S2
 p: 604-854-8175
 email: darren.h@trioarchitecture.ca
 website: www.trioarchitecture.ca

info@danddesign.ca Unit B, 33623 Wilkwood Drive
 604.854.8175 Abbotsford, BC V2S 1S2



1 VIEW 1
SCALE: NTS



2 VIEW 2
SCALE: NTS

DATE: 03/03/24 12:28:18 PM		PROJECT: PROPOSED ROWHOMES		ARCHITECTURAL SEAL	
SCALE: 1/2" = 1'-0"	NOV	20139 53A AVE. LANGLEY, B.C.			
DESIGNER: DM		RENDERINGS			
PROJECT NO.: 231198		A-0.1			
ALL RENDERINGS & CONCEPTS ARE FOR INFORMATION ONLY. CONCEPTS ARE NOT TO BE USED FOR CONSTRUCTION.		D&D Design Ltd. 11415 136th Street, Unit B, Richmond, BC V6V 2G9 604-273-8740			



1
A-03
VIEW 3
SCALE: NTS



2
A-03
VIEW 4
SCALE: NTS

DATE: 03/20/24 12:28:17 PM		PROJECT: PROPOSED ROWHOMES		ARCHITECTURAL SEAL	
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DESIGNER: DM		RENDERINGS			
PROJECT NO.: 231188		A-02			
<p>ALL RENDERINGS & CONCEPTUALS ARE FOR INFORMATION ONLY. CONCEPTUALS ARE NOT TO BE USED FOR CONSTRUCTION. ALL RIGHTS RESERVED. © 2024 D&D DESIGN LTD.</p>				<p>D&D DESIGN, CA D&D Design Ltd. UNIT B, 13825 WILLOWDALE DRIVE ABERFORTH, B.C. V2S 3G7 604 884 8740</p>	



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A-03
VIEW 5
SCALE: NTS



2
A-03
VIEW 6
SCALE: NTS

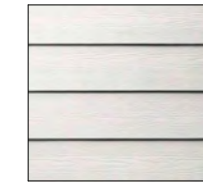
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RENDERINGS			
A-03			
DATE	12-11-22	BY	DAVID WOOD
SCALE	N/A	DATE	
PROJECT NO.	231188	BY	
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D&D Design Ltd.
 488-1100-1100-1100-1100-1100
 1001 804 ST
 Abbotsford, B.C. V2S 3D2

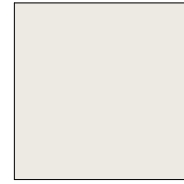
DAVID WOOD, CA



1 PERSPECTIVE VIEW
SCALE: 1/2" = 1'-0"



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COLOUR: SNOWBOUND BY SHERWIN WILLIAMS SW 1004



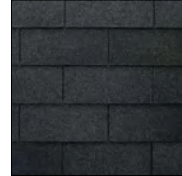
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COLOUR: SNOWBOUND BY SHERWIN WILLIAMS SW 1004



3 MATERIAL: BRICK VENEER - CALYPOE STONE
COLOUR: OLD RICHMOND 100



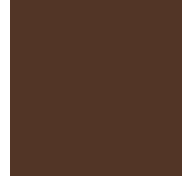
4 MATERIAL: PAINTED POST / TRIM FINISH
COLOUR: HIGHLY REFLECTIVE WHITE SW707



5 MATERIAL: ASPHALT SHINGLE ROOF
COLOUR: CHARCOAL BLACK



6 MATERIAL: STANDING SEAM METAL ROOF
COLOUR: MATTE BLACK



7 MATERIAL: FRONT DOOR
COLOUR: FRENCH ROAST SW6094



8 MATERIAL: GARAGE DOOR
COLOUR: TRIGORN BLACK SW6250



9 MATERIAL: 6 FT. COMPOSITE FENCE
COLOUR: BLACK



10 MATERIAL: 3'-6" HIGH METAL FENCE
COLOUR: BLACK

PROJECT: 6/20/24 12:34:18 PM DATE: 12-1-24 DRAWN: Adam CHECKED: Chester PROJECT NO.: 23118 SHEET NO.: A-04 SHEETS: 12 of 14		ISSUE TABLE <table border="1"> <tr> <th>No.</th> <th>Description</th> <th>By</th> <th>Date</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>		No.	Description	By	Date				
No.	Description	By	Date								
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EXTERIOR FINISHES		ALL DIMENSIONS & CONSTRUCTION TO BE VERIFIED ON SITE. © 2024 D&D DESIGN LTD. ALL RIGHTS RESERVED.									

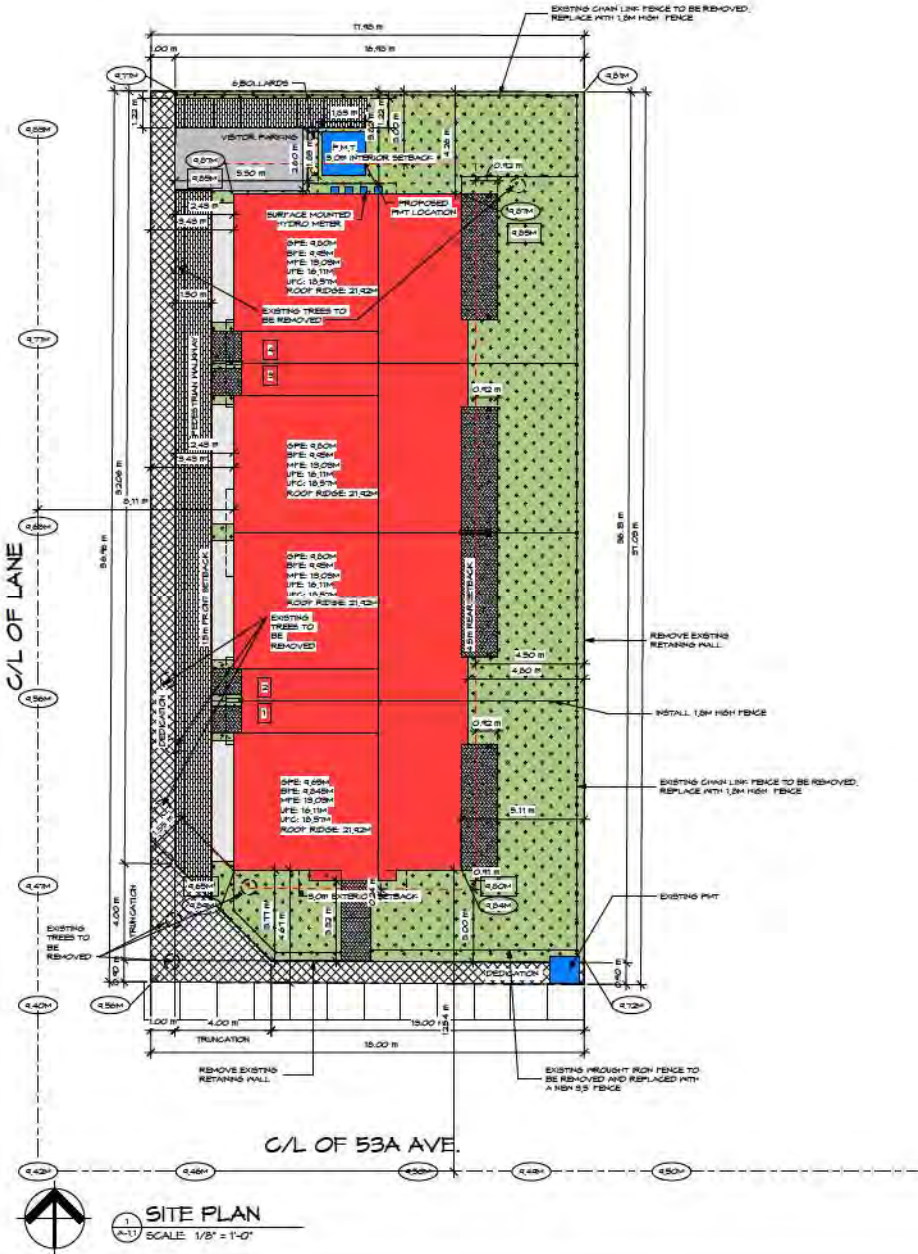
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LEGAL ADDRESS P/N 14450044 LDC 242		
SITE RECONCILIATION		
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LOT DEDICATION: 0.006 HA / 0.014 ACRES / 646.86 SQ.M. / (323.38 SQ.M.)		
NET AREA: 0.040 HA / 0.144 ACRES / 8,515.15 SQ.M. / (409.38 SQ.M.)		
ZONING:	CURRENT: R51	PROPOSED: GD
FLOOR AREA RATIO:	ALLOWED: 1.2 X (LOT AREA) = 8,947,316 SQ.FT. / (185.11 SQ.M.)	LOWER FLOOR: 2,662.06 SQ.FT. (247.91 SQ.M.) MAIN FLOOR: 2,946.61 SQ.FT. (273.15 SQ.M.) UPPER FLOOR: 2,769.71 SQ.FT. (256.64 SQ.M.) TOTAL: 8,378.44 SQ.FT. (777.61 SQ.M.) OR 1.3x
LOT COVERAGE:	ALLOWED: 49% (NET AREA) OR 2,482.05 SQ.FT. (227.84 SQ.M.)	PROPOSED: 45.22% OR 2,946.61 SQ.FT. (273.15 SQ.M.)
SETBACKS:	ALLOWED: NORTH INTERIOR: 5.0M WEST INTERIOR: 1.5M SOUTH FRONT: 5.0M EAST INTERIOR: 4.5M	PROPOSED: 5.0M 1.5M 5.0M 4.5M
BUILDING HEIGHT:	MAXIMUM BUILDING HEIGHT: 11M	5.0M
OFF-STREET VEHICLE PARKING:	REQUIRED: RESIDENT: 2 PARKING STALLS PER UNIT VISITOR: 0.2 PARKING STALLS PER UNIT	PROVIDED: 3 PARKING STALLS PER UNIT - SEE PAGE A-2.1 1 VISITOR PARKING STALL - SEE PAGE A-1.1

DRAWING INDEX	
SHEET	DRAWING TITLE
A-0.0	COVER PAGE
A-1.1	SITE PLAN
A-1.2	CONSTRUCTION ASSEMBLES & SCHEDULES
A-2.1	FOUNDATION PLAN
A-2.2	LOWER FLOOR PLAN
A-2.3	MAIN FLOOR PLAN
A-2.4	UPPER FLOOR PLAN
A-2.5	ROOF PLAN
A-3.1	NORTH ELEVATION
A-3.2	SOUTH ELEVATION
A-3.3	NORTH & SOUTH ELEVATION
A-4.1	BUILDING SECTIONS

LEGEND	
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[Symbol]	COMMON WALKWAY
[Symbol]	PRIVATE WALKWAY
[Symbol]	DRIVEWAY
[Symbol]	RETAINING WALL
[Symbol]	PROPOSED BUILDING
[Symbol]	UNIT NUMBER
[Symbol]	DEDICATION
[Symbol]	EXISTING GRADES
[Symbol]	PROPOSED GRADES



KEY PLAN
SCALE: 1/2" = 1'-0"
PROJECT SITE



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DATE: 2023-03-10	BY: [Signature]	NO. 002	REVISION:
DATE: 2023-03-10	BY: [Signature]	NO. 003	REVISION:
DATE: 2023-03-10	BY: [Signature]	NO. 004	REVISION:
DATE: 2023-03-10	BY: [Signature]	NO. 005	REVISION:
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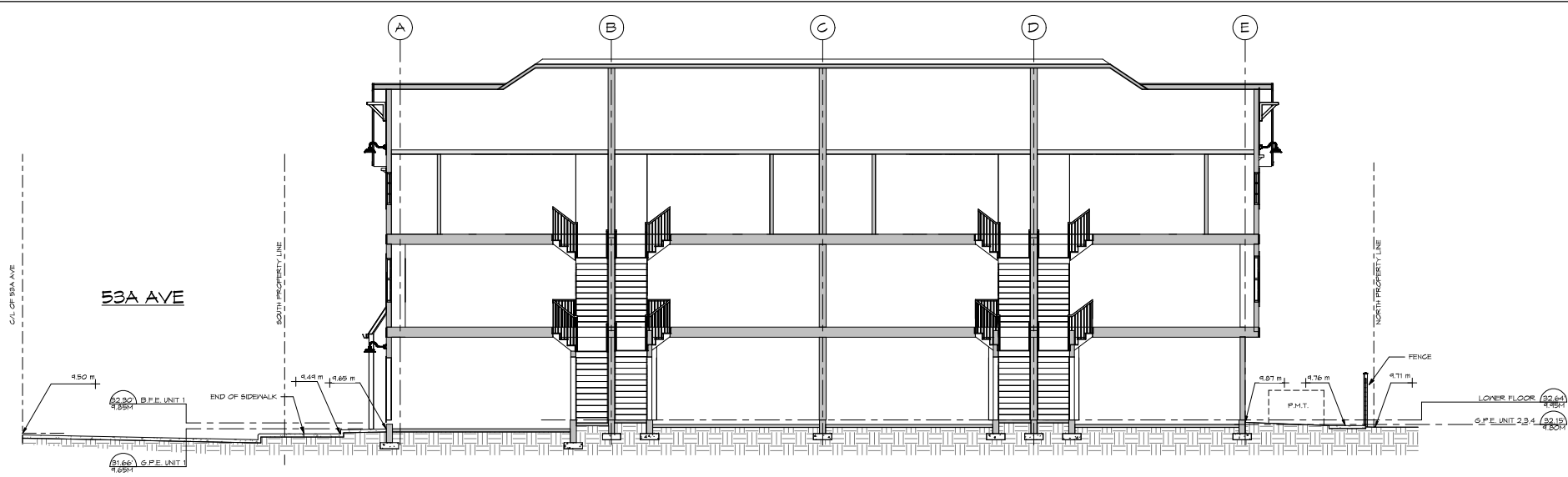
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CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BC BUILDING CODE AND ALL APPLICABLE REGULATIONS.
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11711 83 AVE. WILLOWDALE TRAIL
RICHMOND, BC V6X 2E6
TEL: 604-273-8888
WWW.DANDDESIGN.COM

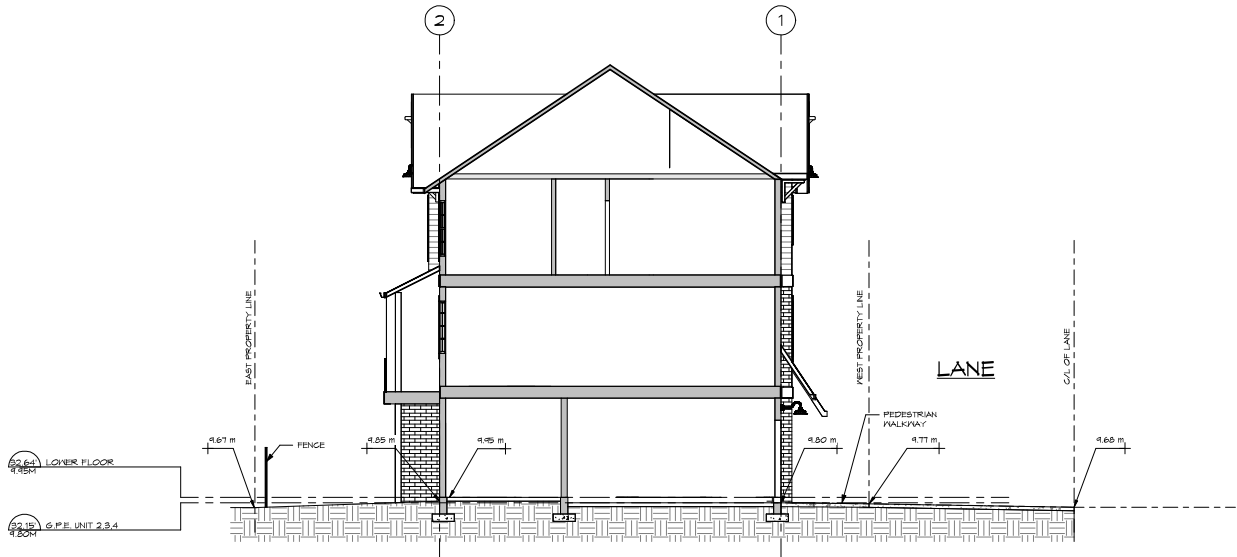
PROPOSED ROWHOMES
20139 53A AVE. LANGLEY, B.C.

SITE PLAN


A-1.1



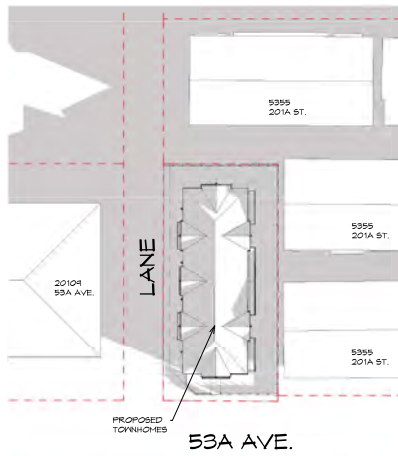
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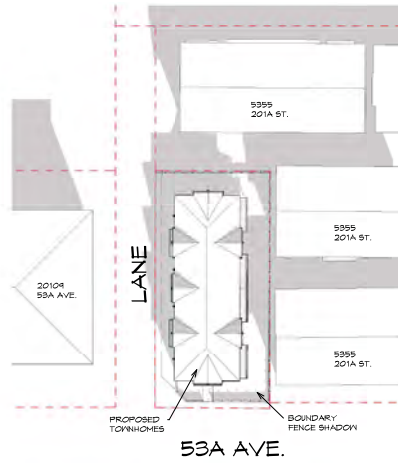
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CHECKED: [Name]					
PROJECT NO.: 231188					
DATE: 03/03/24 12:34:29 PM					
A-1.2 SITE SECTIONS					

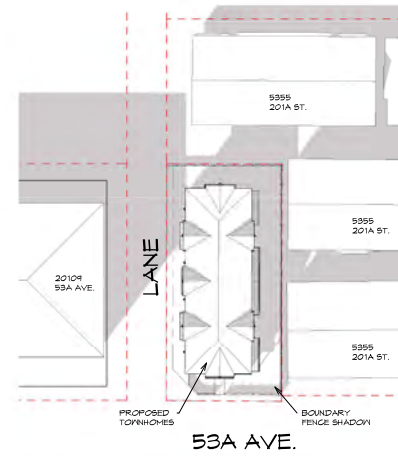
PROPOSED FALL EQUINOX SHADOW DIAGRAM



7. Shadow Diagram - 9AM Fall Equinox

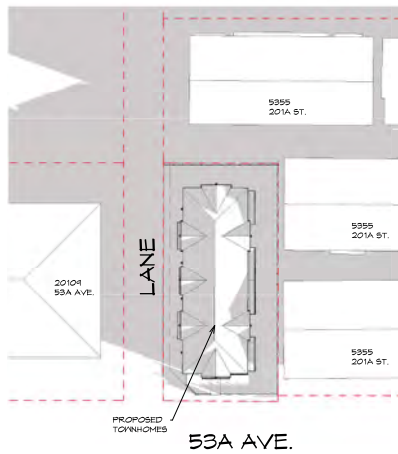


8. Shadow Diagram - 12PM Fall Equinox

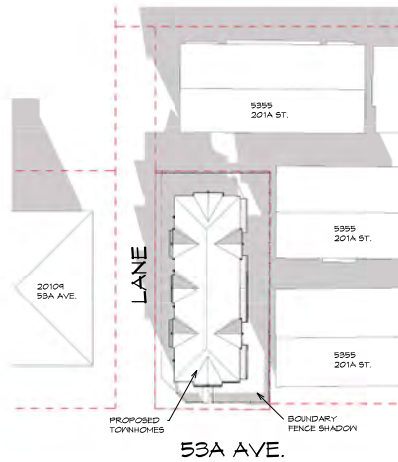


9. Shadow Diagram - 3PM Fall Equinox

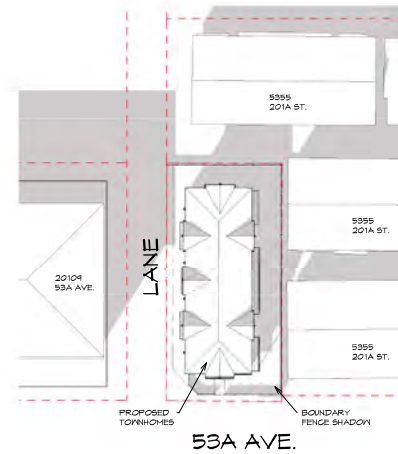
PROPOSED SPRING EQUINOX SHADOW DIAGRAM




10. Shadow Diagram - 9AM Spring Equinox



11. Shadow Diagram - 12PM Spring Equinox

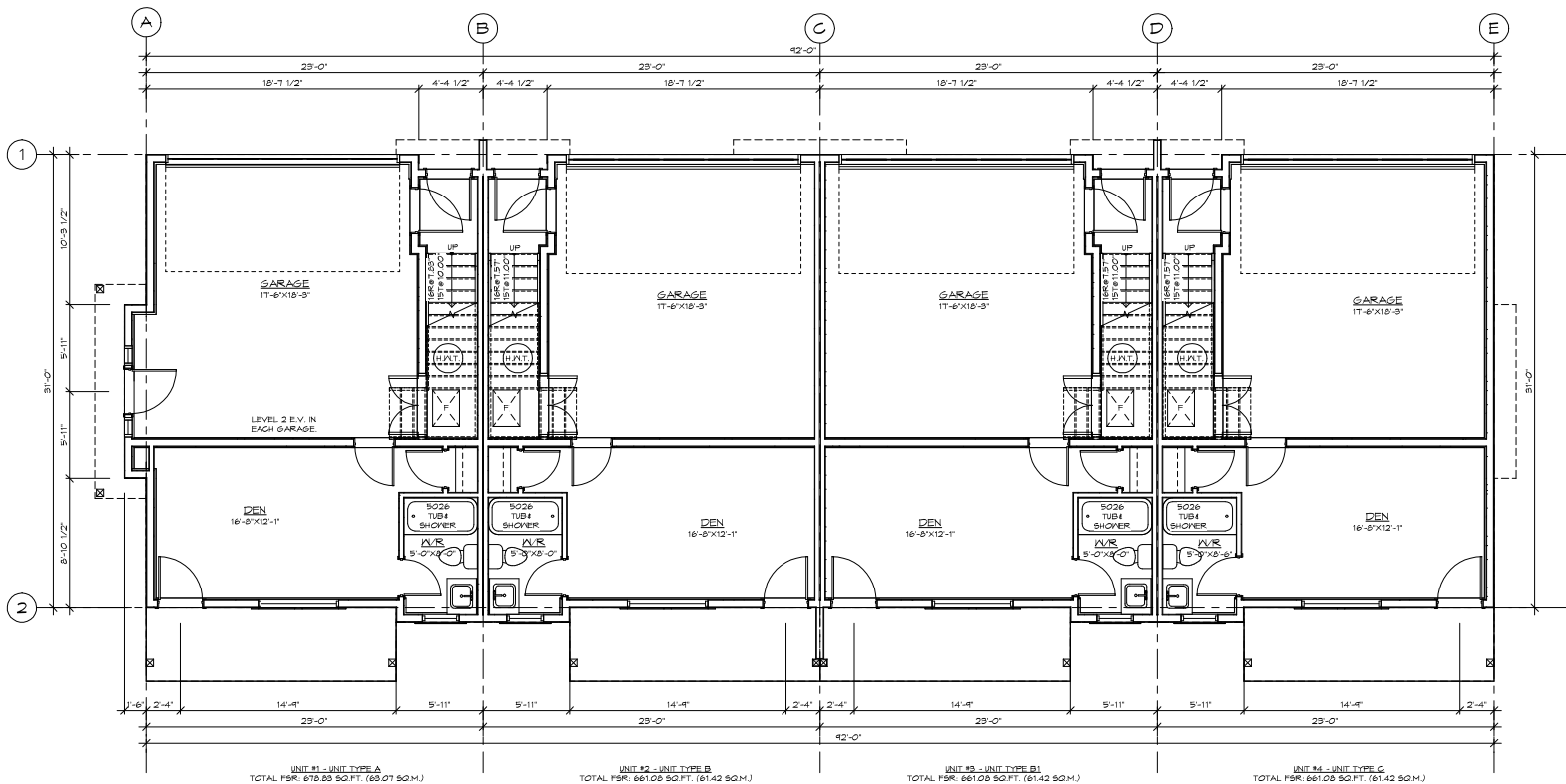


12. Shadow Diagram - 3PM Spring Equinox

ISSUE TABLE No. Description By Date 1. 2022/03/01 D&D		REVISIONS No. Date Description 1. 2022/03/01 D&D	
D&D DESIGN CA  D&D Design Ltd. Unit 8, 11821 Westwood Drive Richmond, BC V6V 1Z1 604.273.8888			
PROJECT PROPOSED ROWHOMES 20139 53A AVE. LANGLEY, B.C.		ARCHITECTURAL SEAL SITE SHADING DIAGRAMS	
DATE: 03/02/24 12:38:28 PM SCALE: 1"=32'00" DRAWN: RWJ CHECKED: DH	PROJECT NO.: 23118 SHEET NO.: A-1.4	ALL DIMENSIONS & CONCENTRATIONS ARE UNLESS OTHERWISE SPECIFIED. THIS DOCUMENT IS THE PROPERTY OF D&D DESIGN CA. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON.	

LANE

53A AVE



1 LOWER FLOOR PLAN FAR: 2,662.06 SQ.FT. (247.31 SQ.M.)
SCALE: 1/4" = 1'-0"

ISSUE TABLE		By		Description	
No.	Date				

DAMODDESIGN, CA

D&D Design Ltd.
 ARCHITECTS/INTERIORS
 1000 15th Street, Suite 100
 Vancouver, BC V2Y 1S2
 TEL: 604.681.1111
 WWW.DANDDESIGN.COM

ARCHITECTURAL SEAL

PROJECT: PROPOSED ROWHOMES
 20139 53A AVE. LANGLEY, B.C.

DATE: 11/11/2018

SCALE: 1/4" = 1'-0"

LOWER FLOOR PLAN

DATE: 03/02/2018 12:38:28 PM

USER: 11/11/2018

BY: [Signature]

PROJECT NO.: 231198

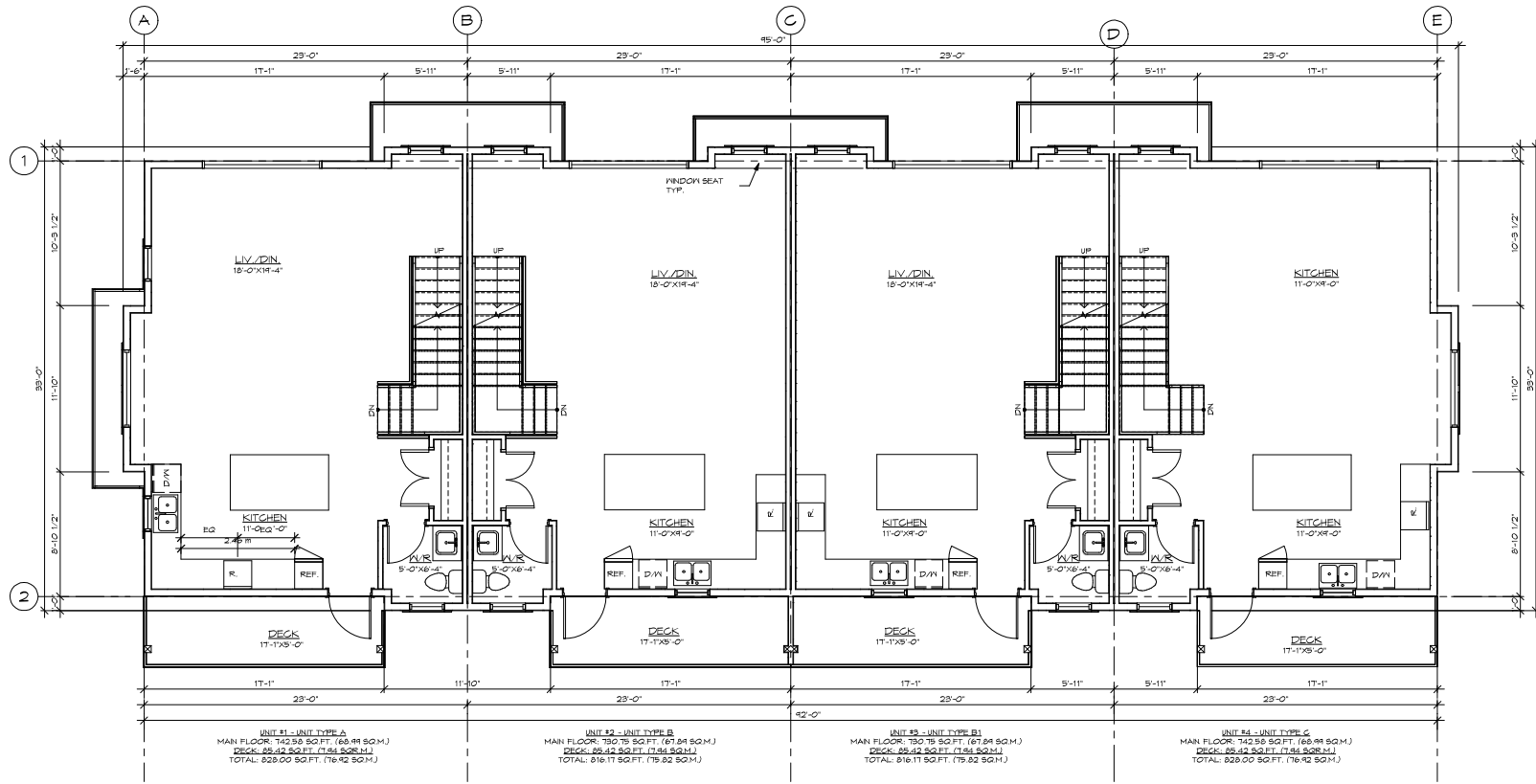
FILE NO.: A-2.1

ALL DIMENSIONS & CONCENTRATIONS ARE VERIFIED BY THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR CONSTRUCTION OF THE WORK SHOWN HEREON.



1 MAIN FLOOR PLAN FAR: 2,546.61 SQ.FT. (237.75 SQ.M.)
SCALE: 1/4" = 1'-0"

53A AVE



LANE

ISSUE TABLE		By		Description	
No.	Date	By	Date	No.	Description

DAMODDESIGN, CA



ARCHITECTURAL SEAL

PROJECT: PROPOSED ROWHOMES
 20139 53A AVE. LANGLEY, B.C.

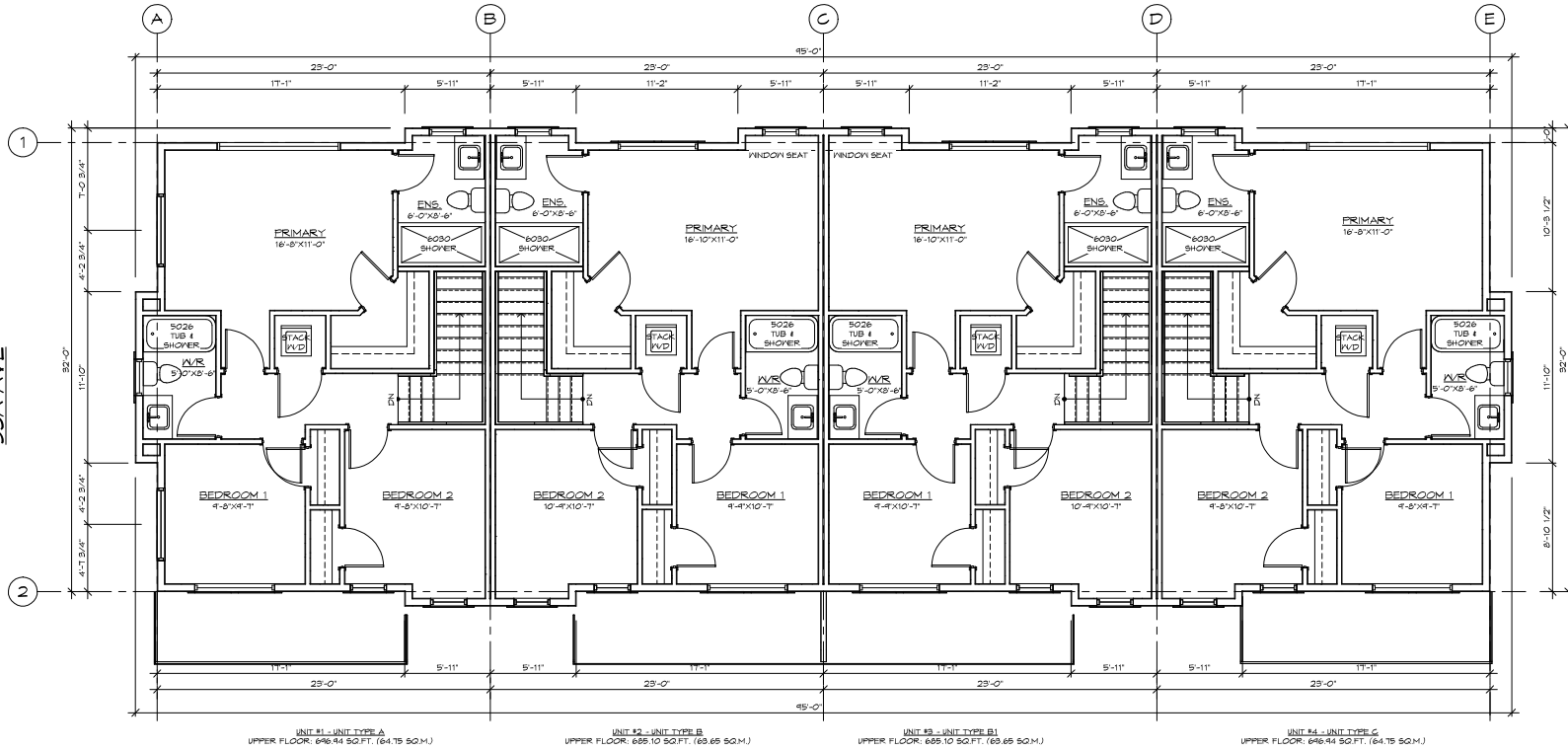
MAIN FLOOR PLAN

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DESIGNER: DM
CHECKER: DM
PROJECT NO.: 23118
DATE: 03/02/24 12:38:28 PM

A-2.2

53A AVE

LANE



UPPER FLOOR PLAN
 FAR: 2,765.71 SQ.FT. (256.44 SQ.M.)
 SCALE: 1/4" = 1'-0"

ISSUE TABLE		By		Description	
No.	Date				

ARCHITECTURAL SEAL

D&D Design Ltd.
 4880 Midway Road
 Abbotsford, BC V2S 3C2
 604.854.5740

PROJECT: PROPOSED ROWHOMES
 20139 53A AVE. LANGLEY, B.C.

UPPER FLOOR PLAN

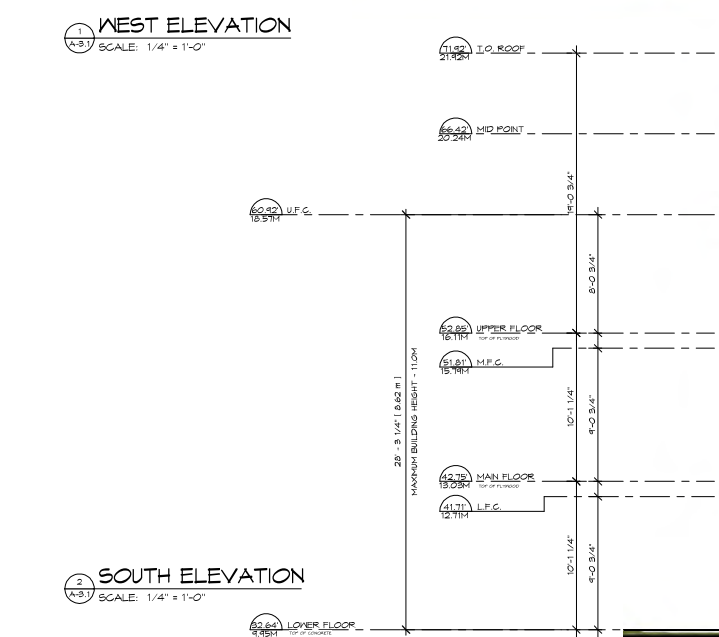
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DATE:	14-1-2024
BY:	REV
BY:	DN
PROJECT NO.:	231188
DATE:	

A-2.3

ALL DIMENSIONS & CONSTRUCTION TO BE VERIFIED BY THE CONTRACTOR. CONSULT WITH THE ARCHITECT FOR ANY CHANGES.



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL LEGEND	
DESCRIPTION	COLORS
1 HARDE BOARD 1x6	SNOWBOUND BY SHERINN WILLIAMS
2 HARDE HORIZONTAL SIDING	SNOWBOUND BY SHERINN WILLIAMS
3 BRICK VENEER	SNOWBOUND BY SHERINN WILLIAMS
4 2X12 WALL TRIM	HIGHLY REFLECTIVE WHITE BY SHERINN WILLIAMS
5 2X6 FASCIA	HIGHLY REFLECTIVE WHITE BY SHERINN WILLIAMS
6 1X6 WINDOW TRIM	HIGHLY REFLECTIVE WHITE BY SHERINN WILLIAMS
7 8X8 PAINTED WOOD COLUMNS	HIGHLY REFLECTIVE WHITE BY SHERINN WILLIAMS
8 VINYL WINDOW MUNTINS	BLACK
9 ASPHALT ROOF SHINGLES	CHARCOAL
10 STANDING SEAM METAL ROOF	MATTE BLACK
11 GUTTERS	BLACK
12 ALUMINUM RAILINGS	BLACK POWDER COAT
13 KNEE BRACES	WHITE
14 GARAGE DOOR FINISH	TRICORN BLACK BY SHERINN WILLIAMS
15 DOOR FINISH	FRENCH ROAST BY SHERINN WILLIAMS

ISSUE TABLE	
No.	Description

DAWOOD DESIGN, CA

D&D Design Ltd.
ARCHITECTS/DESIGNERS
504 B&H BLVD
ALBERTSON, BC V7S 2G7

ARCHITECTURAL SEAL

PROPOSED ROWHOMES
20139 53A AVE. LANGLEY, B.C.

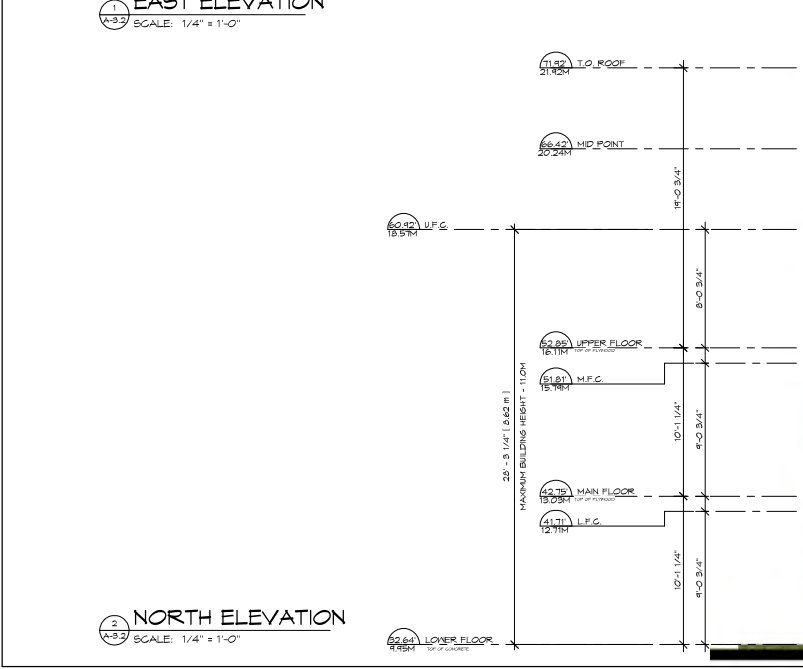
ELEVATIONS

PROJECT: 030324 1238 34 RM
DATE: 14-1-22
DRAWN: RWJ
CHECKED: DH
PROJECT NO.: 23118
SHEET NO.: A-3.1

ALL DIMENSIONS & COMPONENTS TO BE VERIFIED ON SITE. CONTRACTOR RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
9/20/24 12:34 PM
9/20/24 12:34 PM



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



MATERIAL LEGEND	
DESCRIPTION	COLORS
1 HARDE BOARD 1x6	SNOWBOUND BY SHERWIN WILLIAMS
2 HARDE HORIZONTAL SIDING	SNOWBOUND BY SHERWIN WILLIAMS
3 BRICK VENEER	SNOWBOUND BY SHERWIN WILLIAMS
4 2x12 WALL TRIM	HIGHLY REFLECTIVE WHITE BY SHERWIN WILLIAMS
5 2x6 FASCIA	HIGHLY REFLECTIVE WHITE BY SHERWIN WILLIAMS
6 1x6 WINDOW TRIM	HIGHLY REFLECTIVE WHITE BY SHERWIN WILLIAMS
7 8x8 PAINTED WOOD COLUMNS	HIGHLY REFLECTIVE WHITE BY SHERWIN WILLIAMS
8 VINYL WINDOW HUNTINGS	BLACK
9 ASPHALT ROOF SHINGLES	CHARCOAL
10 STANDING SEAM METAL ROOF	MATTE BLACK
11 GUTTERS	BLACK
12 ALUMINUM RAILINGS	BLACK POWDER COAT
13 KNEE BRACES	WHITE
14 GARAGE DOOR FINISH	TRIGORN BLACK BY SHERWIN WILLIAMS
15 DOOR FINISH	FRENCH ROAST BY SHERWIN WILLIAMS

ISSUE TABLE

No.	Description	By	Date

DATE: 03/02/24 12:38 PM
 DRAWN: 141-2127
 CHECKED: RWJ
 APPROVED: DH

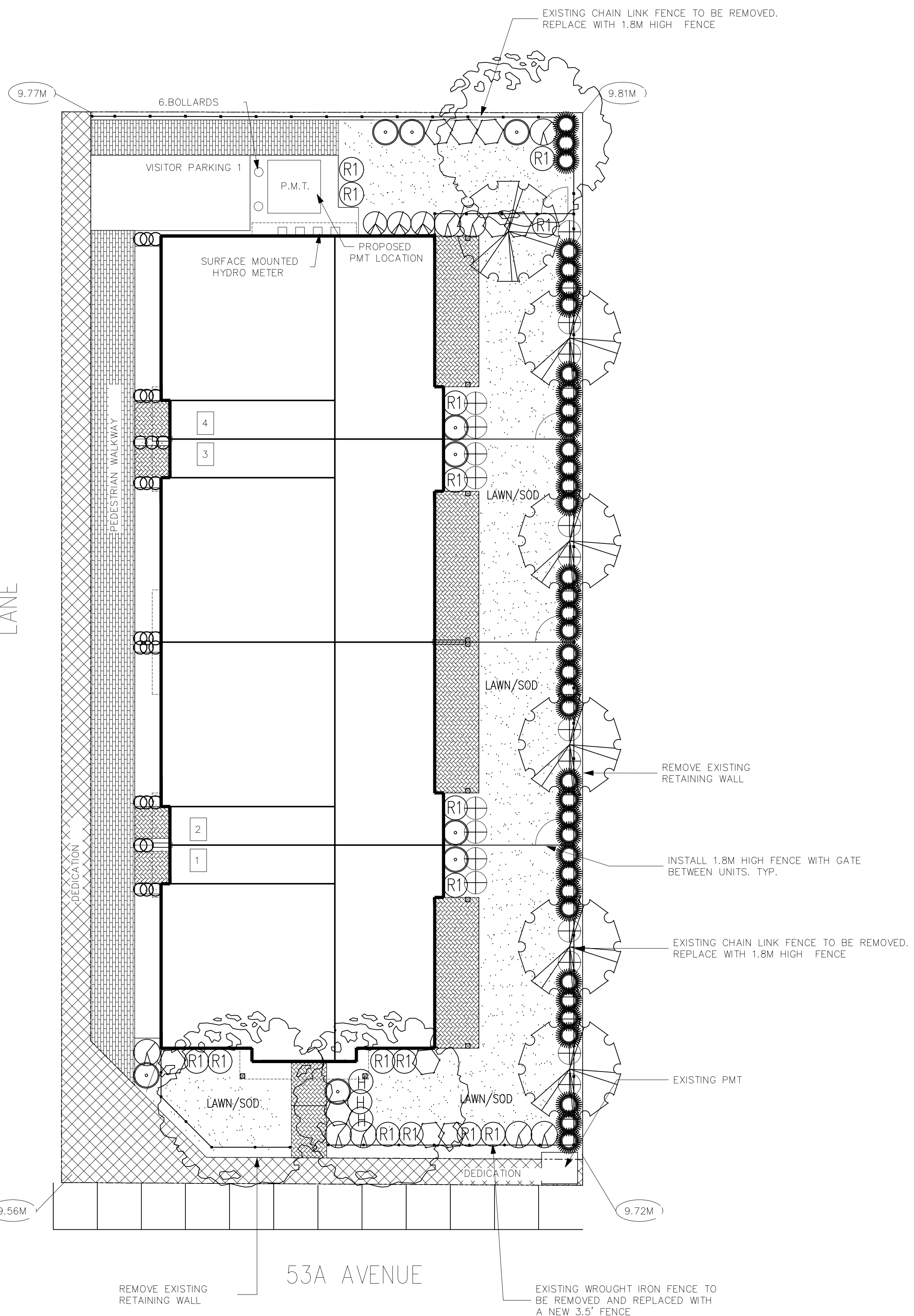
PROJECT NO.: 231188
 SHEET NO.: A-3.2

PROJECT: PROPOSED ROWHOMES
 20139 53A AVE. LANGLEY, B.C.

ARCHITECTURAL SEAL

D&D Design Ltd.
 494-834-1140
 504 834 1140
 UNIT B 14053 Wilfrid Drive
 Abbotsford, BC V2Y 3D1

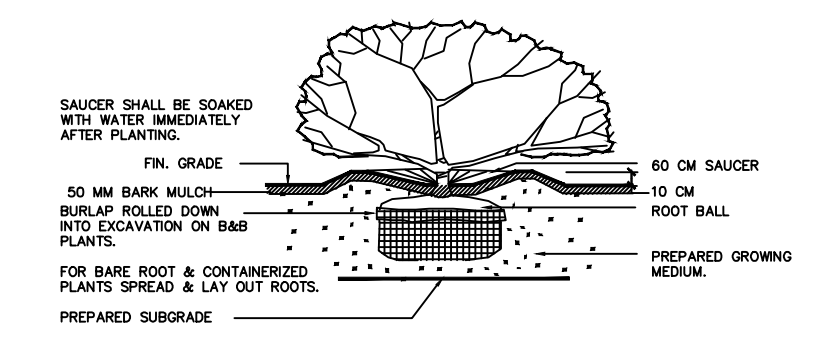
ALL DIMENSIONS & CONCENTRATIONS ARE UNLESS OTHERWISE SPECIFIED
 UNITS: DIMENSIONS IN METERS
 DIMENSIONS IN FEET AND INCHES



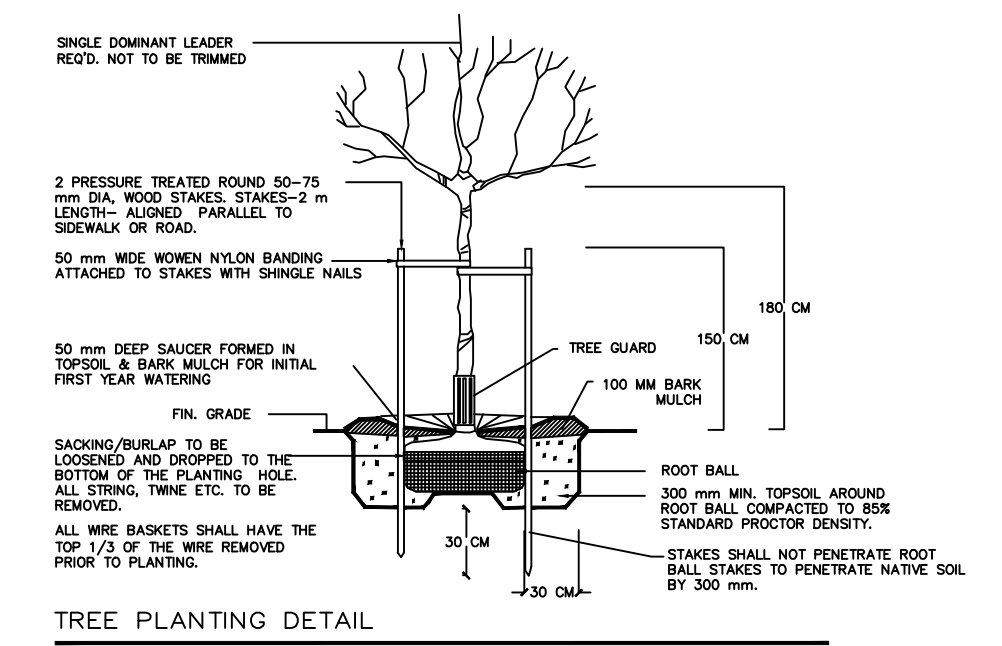
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
	SYRINGA RETICULATA 'IVORY SILK'	LILAC TREE	6	6 CM. CAL.	AS SHOWN	B. & B.
	CORNUS FLORIDA 'RUBRUM'	RED FLOWERING DOGWOOD	3	6 CM. CAL.	AS SHOWN	B. & B.
	AZALEA JAPONICA 'HINO CRIMSON'	CRIMSON AZALEA	17	#3 POT	90 CM. O.C.	
	ABELIA 'EDWARD GOWCHER'	EDWARD GOUCHER ABELIA	10	#3 POT	90 CM. O.C.	
	BUXUS MACROPHYLLA 'WINTER GEM'	ASIAN BOXWOOD	26	#3 POT	45 CM. O.C.	
	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	HYDRANGEA	19	#3 POT	90 CM. O.C.	
	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	3	#2 POT	90 CM. O.C.	
	MEDIUM RHODODENDRON (VARIOUS)	RHODODENDRON	16	#3 POT	90 CM. O.C.	
	HOSTA (VARIOUS)	HOSTA	3	#3 POT	90 CM. O.C.	
	SYRINGA VULGARIS 'MICHEL BUCHNER'	LILAC	8	#3 POT	90 CM. O.C.	
	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	39	1.50 METERS	70 CM. O.C.	

- NOTES / GENERAL**
- PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO BC LANDSCAPE STANDARD 'LATEST EDITION'. CONTAINER SIZES ARE SPECIFIED AS PER 'ONTA STANDARDS' BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. SEARCH AND REVIEW BARK PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY 'LANDSCAPE ARCHITECT' AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. 'SUBSTITUTIONS' MUST OBTAIN WRITTEN APPROVAL FROM THE 'LANDSCAPE ARCHITECT' PRIOR TO MAKING ANY SUBSTITUTIONS TO SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE WORKING DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO 'B.C. LANDSCAPE STANDARDS'.
 - ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED 'DISEASE FREE' NURSERY. ALL PLANT MATERIAL MUST CONFORM TO THE LATEST EDITION OF THE 'BC LANDSCAPE STANDARD'. PROVIDE CERTIFICATION UPON REQUEST. ALL LANDSCAPING AND LANDSCAPE MATERIALS TO CONFORM TO THE LATEST EDITION OF THE 'BC/LANSCAPE STANDARD'.
 - MIN. GROWING MEDIUM DEPTHS OVER PREPARED SUBGRADE SHALL BE:

LAWN AREAS	300 mm
GROUND COVER AREAS	400 mm
SHRUB AREAS	450 mm
TREE PITS	300 mm AROUND ROOT BALL
 - GROWING MEDIUM SHALL HAVE PHYSICAL AND CHEMICAL PROPERTIES AS DESCRIBED IN THE STANDARDS FOR LEVEL 2 AND LEVEL 3 AREAS, EXCEPT FOR AREAS OVER STRUCTURES WHERE THE MEDIUM SHALL CONFORM TO THE REQUIREMENTS FOR LEVEL 1 APPLICATIONS. PROCESSING AND MIXING OF GROWING MEDIUM COMPONENTS SHALL BE DONE OFF-SITE USING A MECHANIZED SCREENING PROCESS. PROPOSED GROWING MEDIUM SHALL BE TESTED BY A RECOGNIZED LABORATORY. THE CONTRACTOR SHALL GUARANTEE THAT THE SOIL SUBMITTED FOR TESTING IS A REPRESENTATIVE SAMPLE TAKEN FROM THE SOIL THAT WILL BE USED AT THE SITE.
 - ON-SITE OR IMPORTED SOILS SHALL SATISFY THE REQUIREMENTS OF THE STANDARDS FOR GROWING MEDIUM. SOILS SHALL BE VIRTUALLY FREE FROM SUBSOIL, WOOD INCL, WOODY PLANT PARTS, NESTS OR REPRODUCTIVE PARTS, IF NESTS, PLANT PATHOGENIC ORGANISMS, TOXIC MATERIALS, STONES OVER 30 MM AND FOREIGN OBJECTS.
 - ALL PLANTING BEDS SHALL RECEIVE MIN. 50 MM BARK MULCH.
 - PLANT SPECIES AND VARIETIES MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 - THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS OTHERWISE SPECIFIED. ALL PLANT MATERIAL NOT SURVIVING OR IN POOR CONDITION DURING THE GUARANTEE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
 - THE CONTRACTOR SHALL CLEAR AWAY FROM THE SITE ALL RUBBERG AS IT ACCUMULATES, AND SHALL, AT THE COMPLETION OF THE WORK, LEAVE THE WORK AND THE SITE THEREOF IN A CLEAN AND PRESENTABLE CONDITION, FREE FROM ALL OBSTRUCTIONS.



PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS
SECTION N.T.S.



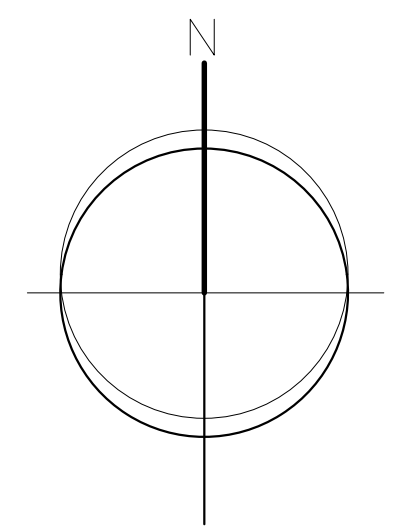
TREE PLANTING DETAIL
SECTION N.T.S.



1.80 METER HIGH FENCE



1.00 METER HIGH FENCE



DATE	REVISIONS	NO.

C.KAVOLINAS & ASSOCIATES INC
BCSLA CSLA
2462 JONQUIL COURT
ABBOTSFORD, B.C.
V3G 3E8
PHONE (604) 857-2376

CLIENT
ZEST VENTURES LANGLEY INC.
c/o D & D DESIGN
UNIT B
33623 WILDWOOD DRIVE
ABBOTSFORD, B.C.
V2S 1S2
604-

TITLE
PLAN VIEW
LANDSCAPE PLAN
4 UNIT
ROW HOUSE DEVELOPMENT
20139 - 53A AVENUE
LANGLEY, B.C.

SCALE 1:100	DATE JUN/24
DRAFT	CHK'D
ENG.	CHK'D
APPR'D	AS BUILT

PRINTED	JOB No.
	DRAWING No.
	L-1