

CITY OF
LANGLEY



ADVISORY DESIGN PANEL

WEDNESDAY, JULY 21, 2021 AT 7:00 PM

Remote Meeting via Zoom Videoconference

A G E N D A

1) **AGENDA**

Adoption of the July 21, 2021 agenda.

2) **MINUTES**

Adoption of minutes from the June 29, 2021 meeting.

3) **DEVELOPMENT PERMIT APPLICATION DP 06-21**

20359 Langley Bypass.

4) **DEVELOPMENT PERMIT APPLICATION 03-21**
ZONING BYLAW AMENDMENT APPLICATION RZ 02-21
OCP AMENDMENT APPLICATION OCP 02-21

5324-5326 & 5334-5336 198 Street.

5) **NEXT MEETING**

September 8 or 15, 2021 (to be confirmed).

6) **ADJOURNMENT**



ADVISORY DESIGN PANEL REPORT

To: **Advisory Design Panel**

Subject: **Development Permit Application DP 06-21**

From: Anton Metalnikov,
Planning Assistant II

File #: 6620.00
Doc #:

Date: July 12, 2021

RECOMMENDATION:

THAT this report be received for information.

PURPOSE OF REPORT:

To consider a Development Permit application by Harry Evans for a 1,499.11 m² commercial addition at 20359 Langley Bypass.

POLICY:

The subject property is currently zoned C2 Service Commercial in Zoning Bylaw No. 2100 and designated "Service Commercial" in the Official Community Plan (OCP) Land Use Designation Map. All lands designated for Service Commercial uses are subject to a Development Permit (DP) to address building form and character.

COMMENTS/ANALYSIS:

Background Information:

Applicant:	Harry Evans
Owner:	Jag Jaswal Holdings Ltd.
Civic Address:	20359 Langley Bypass
Legal Description:	Lot 2, District Lot 308, Group 2, New Westminster District, Plan LMP6366
Site Area:	6,564.99 m ² (1.62 acres)
Gross Floor Area:	1,499.11 m ² (16,136.3 ft ²)
Floor Area Ratio:	0.45
Lot Coverage:	42.3%
Total Parking Required:	64 spaces (including 4 h/c spaces)
Parking Provided:	64 spaces (including 4 h/c spaces)
OCP Designation:	Service Commercial
Zoning:	C2 Service Commercial
Variances Requested:	Loading – 1 space provided (4 required)
Development Cost Charges:	\$173,513.64 (City - \$110,259.34, GVS&DD - \$43,083.92, TransLink - \$20,170.38)

Discussion:

1. Context

The applicant is proposing to develop a 1,499.11 m² addition to an existing large-format furniture store at 20359 Langley Bypass. The site is designated as Service Commercial in the City's current Official Community Plan (OCP) and is proposed to be designated Service Commercial in the draft new OCP as well. This designation aligns with the C2 Service Commercial Zone, which allows for large-format retail. The draft new OCP also includes this property within the east Langley Bypass "Potential Study Area," which recommends further study to consider the potential for industrial uses to also be permitted in this area.

The site is located in a highway-oriented area composed of a variety of large-format retail centres and light industrial properties. The property has a single access from its sole road frontage formed by the Langley Bypass to the south, which is a Provincial highway connecting the City to the broader regional highway system. A building supply store and industrial office are located on the highway's south side across from the subject property. On its other three sides, the site is bound by existing development, including an auto dealership to its west and an auto service operation to its north. To its east, the site is separated from a hot tub retailer by Jeffrey Brook, a watercourse running from the property to the north into a culvert just south of the subject site.



Site Context

2. Design

The applicant is proposing a large addition to the existing building to be constructed on currently unused paved land at the back of the property, extending out to the north and west property lines. The eastern half of the site will remain undeveloped to account for Jeffrey Brook and its required Streamside Protection and Enhancement Area, and to accommodate vehicle movements for parking and loading areas located along the buildings' east wall. The overhead loading doors on the existing building's east side will be filled in and replaced by a large new dedicated loading space on the addition's northeast corner, and new parking spaces will be striped throughout the entire property.

On its east frontage, the addition reflects the character of the existing building, with wide dark grey pre-cast concrete sections interspersed by narrower white-painted concrete sections, and a dark grey corrugated metal cladding row running continuously across the top of the existing building and proposed addition. A large glazed surface is provided on the southeast corner of the addition where it meets with the existing building. The existing building has also

been updated with its overhead loading doors and glazing replaced by the same dark grey pre-cast concrete sections proposed for the addition, and red-painted concrete vertical accents provided in the narrow white concrete sections between them. The north and west elevations, both located a foot from the property boundary, are clad entirely in white-painted concrete. Minor updates to the entrance are also proposed.

The addition will be raised to an elevation slightly above the existing building in order to comply with the Floodplain Elevation Bylaw, which was not in place at the time of the original building's construction. The two sections will be connected internally through a gradual upward slope.

The proposed landscape design maintains shrubs on the existing building's southeast corner and at the entrance into the parking lot, and adds shrubbery in a row along the site's southwest property line as a subtle buffer with the property to the west. The landscaping responds to the site's service commercial use as well as to the CPTED report provided as part of this application which recommended that landscaping be kept low to ensure clear sightlines from the fronting highway to the building entrance and parking lot. The site also benefits from the Jeffrey Brook riparian area straddling its east property line and the collection of large trees and greenery that it provides.

The watercourse and its associated riparian area have been protected by locating the proposed addition outside of the Streamside Protection and Enhancement Area setback determined by a Qualified Environmental Professional's Riparian Area Assessment (RAA) that was approved by the Provincial Ministry of Forests, Lands, Natural Resource Operations and Rural Development. The RAA also outlines a proposed work schedule and procedures related to site preparation, construction, and post-construction monitoring or maintenance to protect the riparian area during construction. The proposed addition is also located outside of the Environmentally Sensitive Area on site.

Accessibility is incorporated through the level entrances at the front of the existing building, along with level or ramped emergency exits from the proposed addition. The redesign of the parking lot provides four accessible parking spaces near the building entrance, up from the one that currently exists.

3. CPTED

The applicant's proposal benefited from a comprehensive Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

4. VariANCES

The applicant has requested a variance from general Zoning Bylaw provisions as part of this development proposal to reduce the number of loading spaces from four to one. The applicant has advised that the owner requires only one loading zone for their business operations, as the building functions solely as a furniture product showroom and not as a distribution warehouse, with only occasional deliveries being made when display items are replaced. Given that commercial loading zones are operationally-related, in that they are designed for the benefit of the specific business as compared to parking which is provided also to meet the needs of the public, staff support this variance.

5. SUMMARY

This application is consistent with the property's zoning and OCP designation and policies, and is also consistent with the land use designation and policies in the proposed new OCP. The addition would represent a more productive use of currently bare land and contribute to the status of the Langley Bypass as a regional service commercial destination.

Engineering Requirements:

Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents. All work to be done to the City of Langley Specifications & MMCD Standards.

These requirements have been issued to reflect the application for development for a proposed **1,499.11 m² commercial addition at 20359 Langley Bypass.**

These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

A) The developer is responsible for the following work which shall be designed by a Professional Engineer:

1. New water, sanitary and storm sewer service connections are required. All existing services shall be capped at the main by the City. All pertinent pipe

- design calculations shall be submitted in spreadsheet format and shall include all formulas for review by the City. The Developer's engineer will determine the appropriate main tie-in locations and size the connections for the necessary capacity. New services to the property line by City forces at the Developer's expense.
2. The capacity of the existing water main fronting the project shall be assessed through hydraulic modeling performed by the City's hydraulic modeling consultant at the Developer's expense. The City's hydraulic modeling consultant shall conduct a fire hydrant flow test to be used in the City's water modeling to determine if the existing water network is adequate for fire flows. Upgrading of the existing watermain(s) may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995." FUS calculations will be done by the City's consultant based on architectural data provided by the Developer's Architect. Any upgrades required to service the project shall be designed by the Developer's consultant (approved by the City) and installed by the Developer's contractor at the Developer's expense (main tie-ins by City forces at the Developer's expense).
 3. Rainwater management measures used on site shall limit the release rate to pre-development levels to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw. All calculations shall be based on the updated IDF data for Surrey Kwantlen Park (1962-2013) with 20% added to the tabulated data to account for climate change. A safety factor of 20% shall be added to the calculated storage volume. Pre-development release rates shall not include climate change effect.

B) The developer is required to deposit the following bonding and fees:

1. A deposit for a storm, sanitary, and water connection is required, which will be determined by City staff after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
2. A deposit for all pavement cut is required as per the City's Pavement Cut Policy # CO-57.
3. An inspection/administration fee of 5% of construction costs for any off-site upgrades will be required (if applicable).
4. The City would require a \$40,000 bond for the installation of a water meter to current standards.

C) The developer is required to adhere to the following conditions:

1. Abandonment of outfall to Jeffrey Brook will require DFO/MOE approval.

2. A water meter is required to be installed on private property, preferably in the mechanical room, in accordance to the City's current water meter specifications at the developer's cost.
3. A complete set of as-built drawings, service record cards, a completed tangible capital asset form (TCA) and a completed pavement cut form all sealed by a Professional Engineer shall be submitted to the City within 60 days of the substantial completion date. Digital drawing files in *.pdf* and *.dwg* formats shall also be submitted.
4. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.

Fire Department Comments:

Fire department access for the whole project was reviewed to ensure adequate access was in place to accommodate fire apparatus and personnel. Fire suppression, including the provision of a sprinkler system for the entire building as well as the FDC location will be coordinated at the Building Permit stage.

Advisory Design Panel:

In accordance with Development Application Procedures Bylaw No. 2488, the subject OCP amendment, Zoning Bylaw amendment and DP applications will be reviewed by the Advisory Design Panel (ADP) at the July 21, 2021 meeting.

According to the Council-approved ADP Terms of Reference, the ADP is to provide form and character and urban design-related advice and recommendations for Council's consideration. ADP advice and recommendations will be presented to Council through the ADP meeting minutes and an additional City staff report prior to Council consideration of the proposed applications.

A copy of the ADP minutes will be presented to Langley City Council at a future Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$110,259.34 to City Development Cost Charge accounts.

Prepared by:



Anton Metalnikov
Planning Assistant II

Concurrence:



Roy M. Beddow, RPP, MCIP
Deputy Director of Development Services

Concurrence:



Carl Johannsen, RPP, MCIP
Director of Development Services

Concurrence:



Rick Bomhof, P.Eng.
Director of Engineering, Parks &
Environment

Concurrence:



Scott Kennedy, Deputy Fire Chief

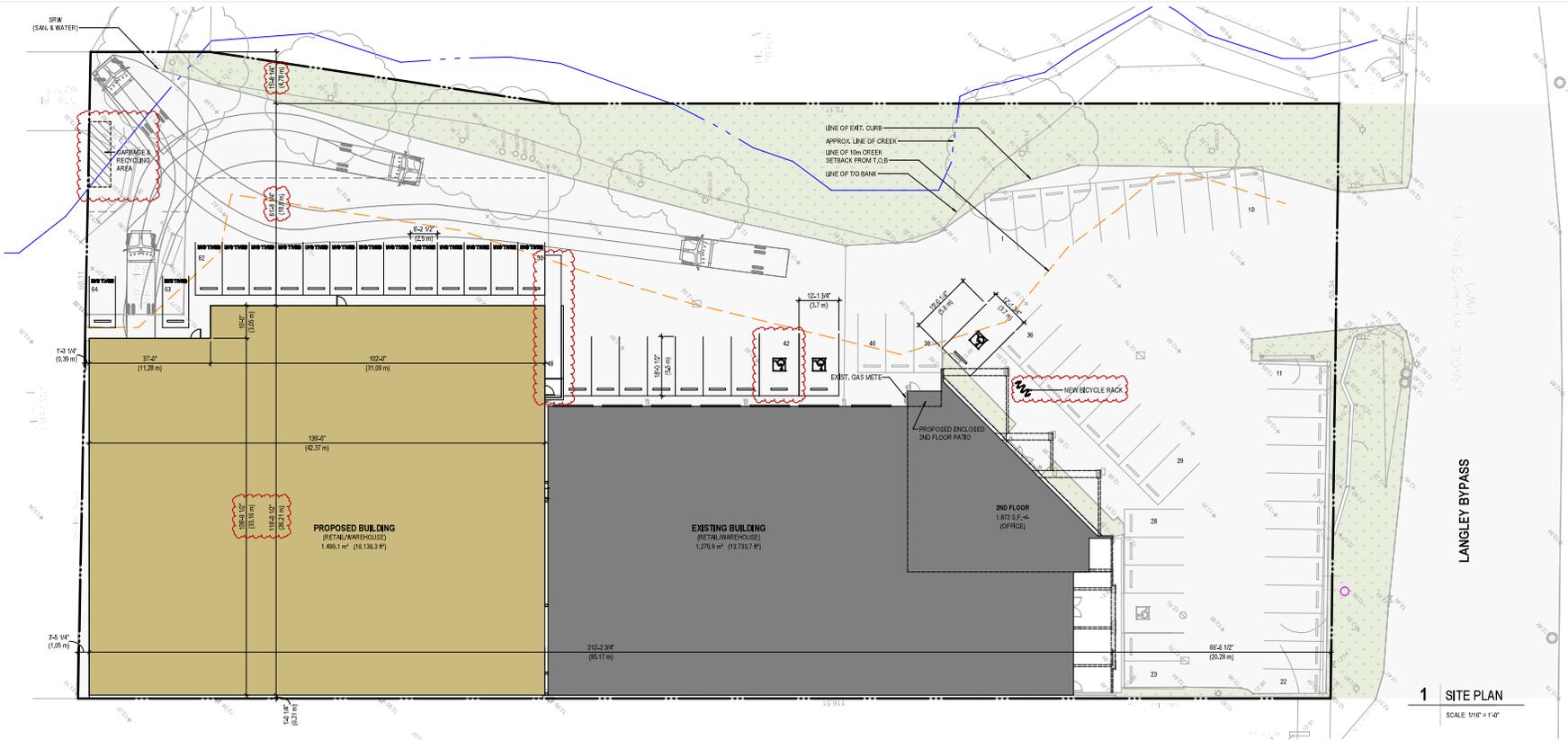
Attachments



DEVELOPMENT PERMIT APPLICATION DP 06-21

Civic Address: 20359 Langley Bypass
Legal Description: Lot 2, District Lot 308, Group 2, New Westminster District, Plan LMP6366
Applicant: Harry Evans
Owner: Jag Jaswal Holdings Ltd.





1 SITE PLAN
SCALE 1/4" = 1'-0"

ZONING BY-LAW ANALYSIS

PROJECT DATA

CIVIC ADDRESS: 20359 LANGLEY BYPASS, LANGLEY CITY
 LEGAL ADDRESS: LOT 2, LMP09686, PID 017-219-061
 BUILDING USE: RETAIL WAREHOUSE

GROSS BUILDING AREA	NAME	AREA (SM)	AREA (SF)
EXISTING		1,275.30 m ²	13,733.7 SF
ADDITION (NORTH)		1,486.11 m ²	15,933.3 SF
TOTAL GROSS BUILDING AREA		2,761.41 m²	29,667.0 SF

ZONING BYLAW ANALYSIS (CITY OF LANGLEY)

1. ZONING: C2 SERVICE COMMERCIAL

2. ZONING AREA: 6,564.99 m² [0.66 hectare] [70,664.96 SF] [1.62 acres]

3. SITE COVERAGE + BUILDING AREA:

BUILDING FOOTPRINT AREA CALCULATIONS		PROJ. SITE (BUILDING AREA)		MINIMUM SITE COVERAGE	
SDM	SQ FT	%	SDM	SQ FT	%
6,564.99	70,665.0	42.2%	2,761.41	29,667.0	39.6%

GROSS FLOOR AREA CALCULATIONS

LEVEL	NAME	OCCUPANCY	FLOOR AREA (SQ M)	FLOOR AREA (SQ FT)
EXIST. 1 ST FLOOR	EXIST. RETAIL WAREHOUSE	GROUP 2	1,275.30	13,733.7
PROPOSED 1 ST FLOOR	PROPOSED RETAIL WAREHOUSE	GROUP 2	1,486.11	15,933.3
2 ND FLOOR	EXIST. OFFICE	GROUP 0	179.9	1,917.2
2 ND FLOOR	ENCL. 2 ND FLOOR PATIO	GROUP 0	44.1	473.2
TOTAL			2,385.41	25,657.4

F.A.R. CALCULATIONS

PROPOSED F.A.R.	ALLOWABLE F.A.R.
0.48	1.00

4. LANDSCAPING REQUIREMENTS: LANDSCAPING AREA, LANDSCAPING SCREENS, AND FENCING AS PER CITY OF LANGLEY ZONING BYLAW

7. VEHICLE PARKING AND LOADING: REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATIONS UNLESS NOTED OTHERWISE.

PARKING CLASSIFICATION	BYLAW DEFINITION (METHOD)	LOCAL BYLAW REQUIREMENTS (GROSS AREA (SQ FT))	PERCENTAGE OF SPACES (AREA (SQ M))	SPACES REQUIRED
EXIST. WAREHOUSE	INDUSTRIAL	GROSS FLOOR AREA 11,275.30	13,733.7 (100%)	12
NEW WAREHOUSE	INDUSTRIAL	GROSS FLOOR AREA 11,486.11	16,183.3 (100%)	15
ADDED PATIO	ANCILLARY OFFICE	GROSS FLOOR AREA 14.10	44.1 (100%)	2
EXIST. OFFICE	ANCILLARY OFFICE	GROSS FLOOR AREA 179.97	1,922.8 (100%)	2
TOTAL VEHICLE PARKING SPACES REQUIRED:		2,863.37	31,186.8	35

VEHICLE PARKING PROVIDED:

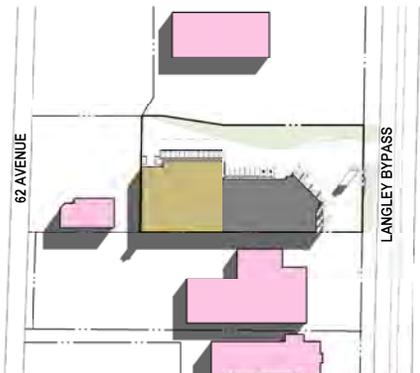
PARKING TYPE	NO. of SPACES
ACCESSIBLE PARKING	4
SMALL CAR	15
STANDARD PARKING	16
TOTAL PARKING SPACES PROVIDED:	35

STALL DIMENSIONS:

STANDARD STALL DIMENSIONS	ACCESSIBLE STALL DIMENSIONS	SMALL CAR STALL DIMENSIONS	DRIVE AISLE WIDTH
3.05 m (9'8 1/2") W, 5.50 m (18'0 1/2") L	3.76 m (12'4 3/4") W, 5.80 m (19'0 1/2") L	2.56 m (8'4 1/2") W, 4.88 m (16'0 1/2") L	6.00 m (19'4 1/4") @ 90° (TWO WAY)

LOADING DIMENSIONS:

DRIVE AISLE WIDTH FOR LOADING:
3.00 m (9'8 1/2") W, 5.00 m (16'4 1/4") L
2.50 m (8'1 1/4") W



2 AERIAL VIEW
SCALE 1" = 100'-0"



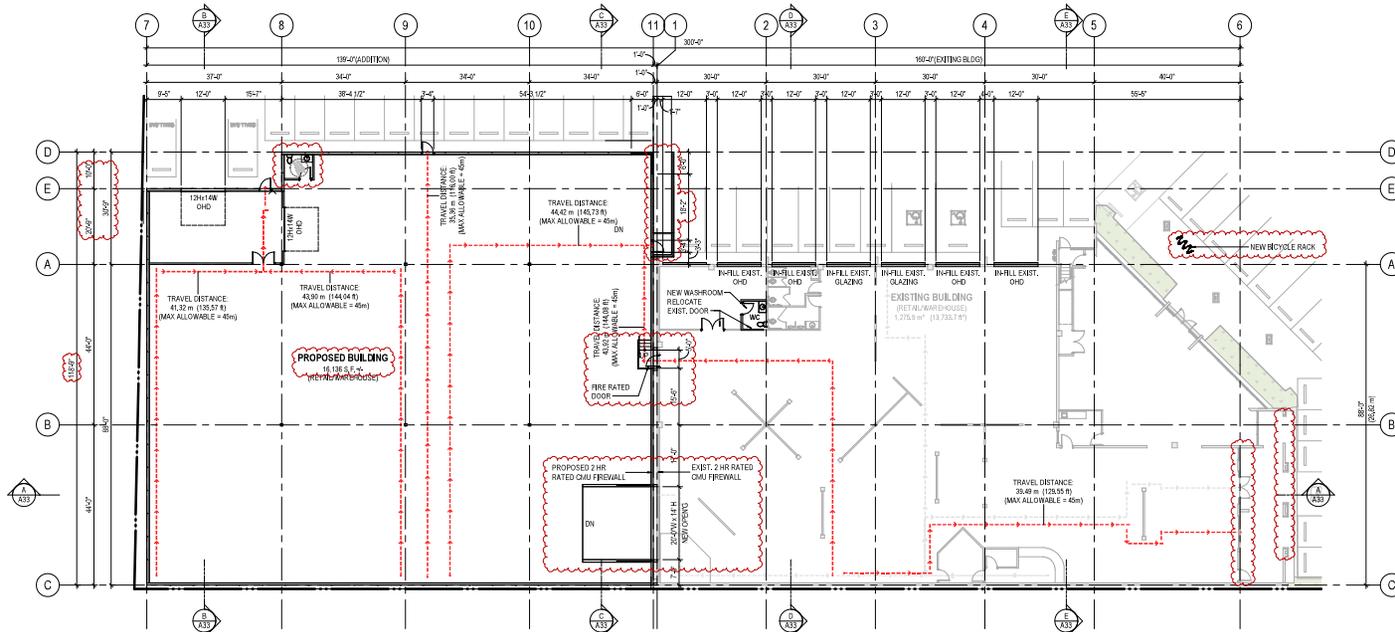
THE KRAHN GROUP OF COMPANIES
 ASSOCIATED + EDMONTON + VANCOUVER

CMAA
 CMAA (International) Architectural Design Inc.
 137 Andy Street, Vancouver, BC, V6J 3E2
 Phone: (604) 683-0000, email: cmaa@cmad.ca

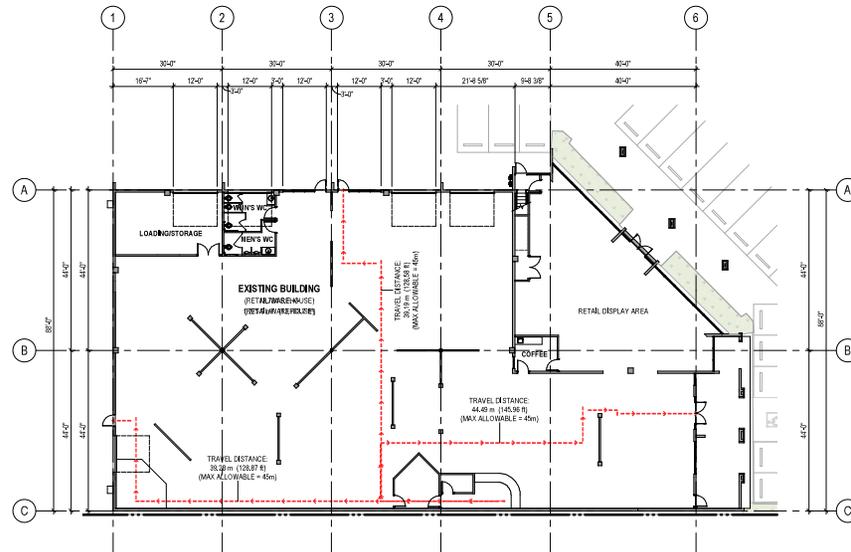
JAG'S FURNITURE LANGLEY BYPASS
 20359 LANGLEY BYPASS
 LANGLEY, BC V3A 5E8

NO.	DATE	YMO	DESCRIPTION
3	20240708		RE-ISSUED FOR DP
2	20240621		ISSUED FOR DP
1	20240505		ISSUED FOR CLIENT REVIEW

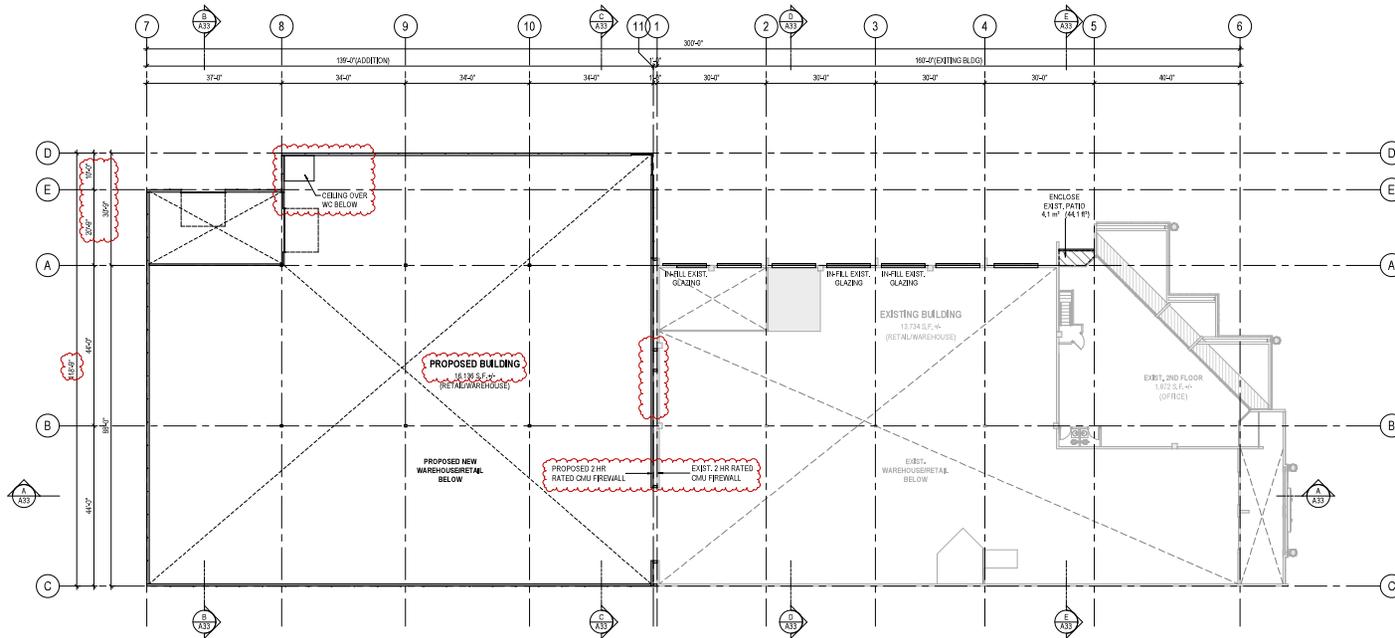
200502 | A10



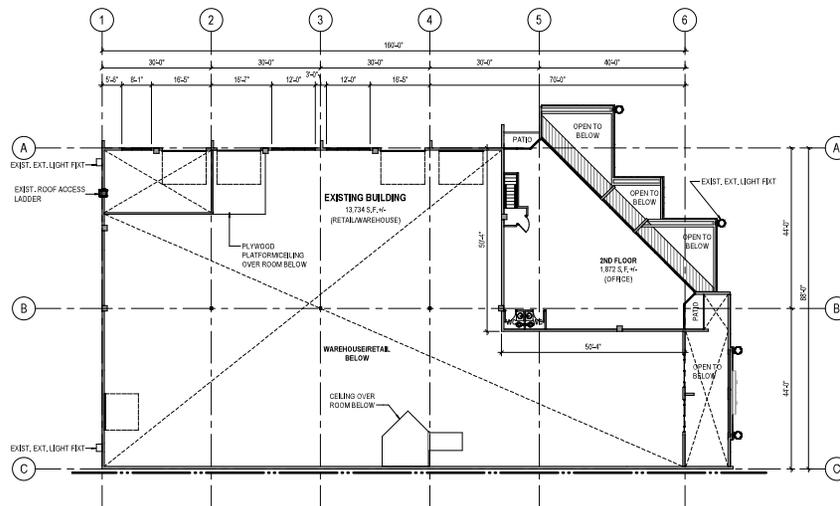
1 MAIN FLOOR PLAN - PROPOSED
SCALE: 1/8" = 1'-0"



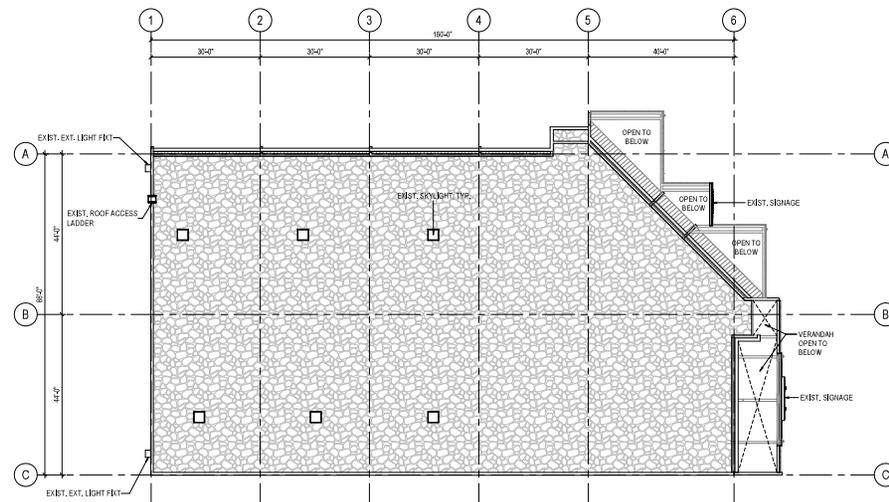
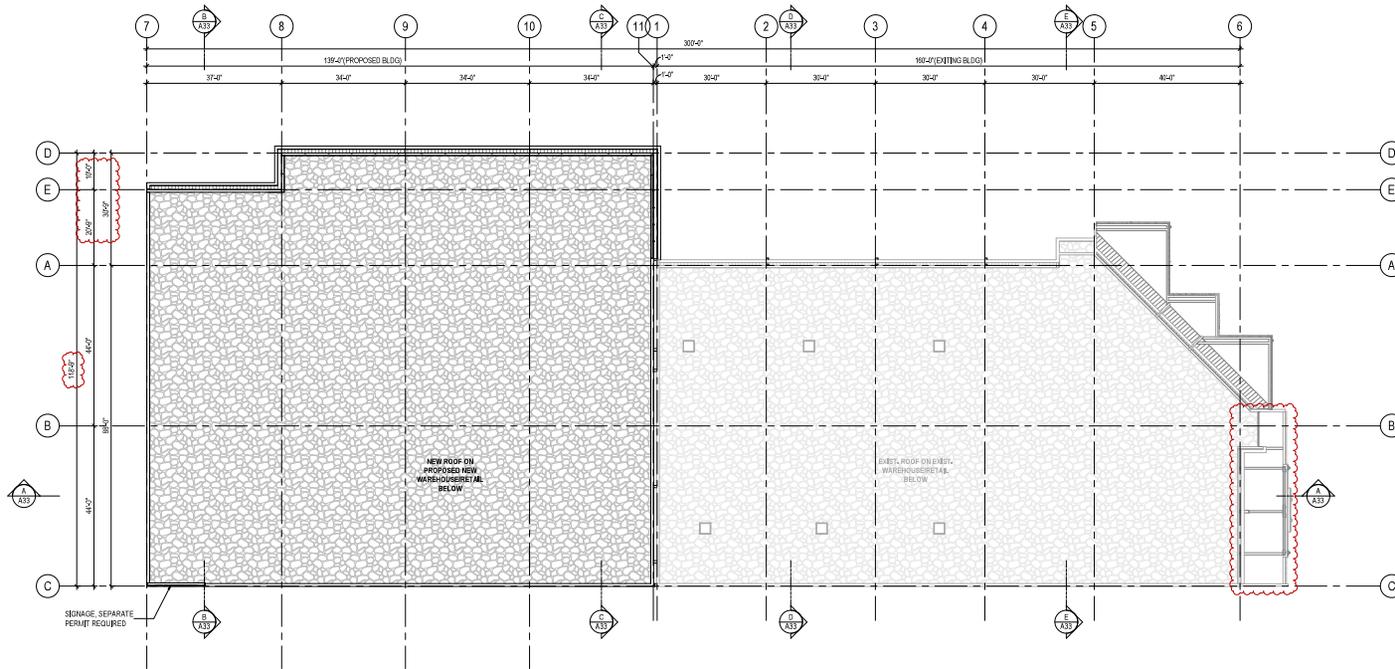
2 MAIN FLOOR PLAN - EXISTING
SCALE: 1/8" = 1'-0"

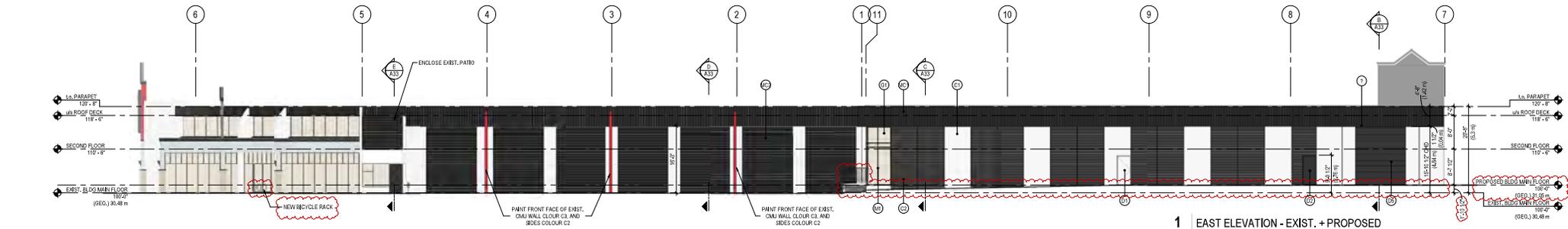


1 SECOND FLOOR PLAN - PROPOSED
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR PLAN - EXISTING
SCALE: 1/8" = 1'-0"





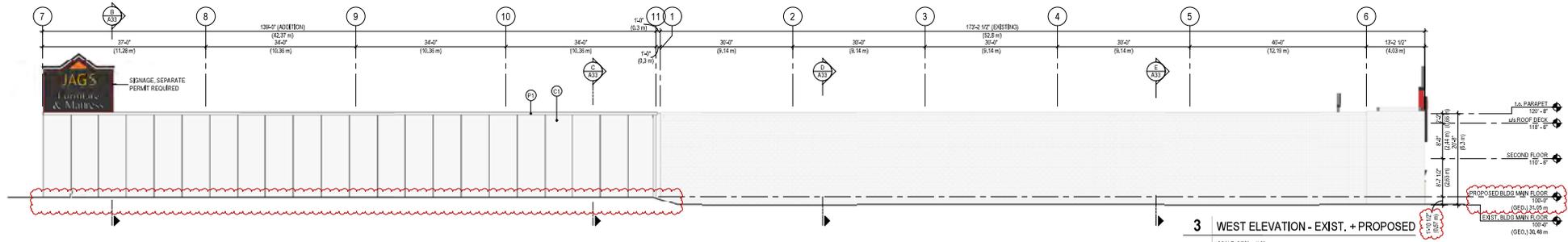
1 EAST ELEVATION - EXIST. + PROPOSED
SCALE: 3/32" = 1'-0"



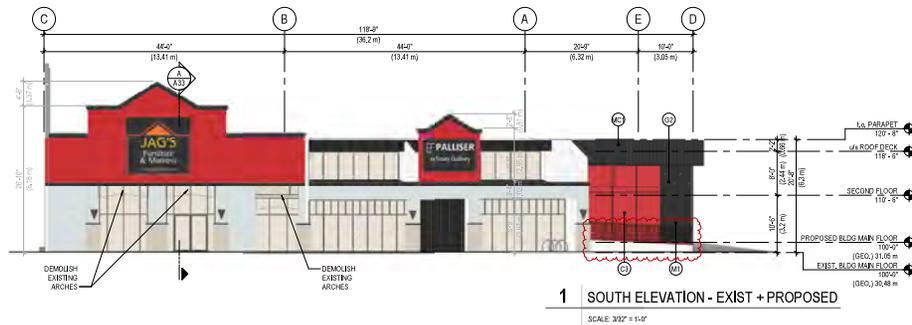
2 EAST ELEVATION - EXISTING
SCALE: 3/32" = 1'-0"

COLOR LEGEND	
	COLOR 01 - MATCH THE BASE LIGHT COLOR ON EXIST. BLDG
	COLOR 02 - MATCH THE DARK GRAY ON EXIST. BLDG
	COLOR 03 - MATCH THE RED ON EXIST. BLDG

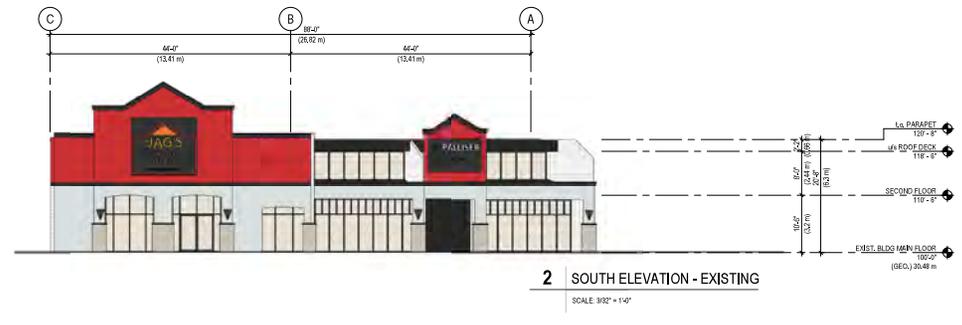
MATERIAL LEGEND	
C1	PRE-CAST CONCRETE - PAINTED COLOUR 01
C2	PRE-CAST CONCRETE - HORIZONTAL FORMWORK - PAINTED COLOUR 02
C3	PRE-CAST CONCRETE - PAINTED COLOUR 03
D1	METAL MAN DOOR - PAINTED COLOUR 01
D2	METAL MAN DOOR - PAINTED COLOUR 02
D3	METAL MAN DOOR - PAINTED COLOUR 03
D4	OVERHEAD DOOR, COLOUR 02
G1	GLASS W/ FIBER GLASS
G2	SPANGREL GLAZING, COLOUR TO MATCH G1
M1	COURTAIN WALL MULLION - PROFIBERED ALUMINUM COLOUR - MATCH THE DARK MULLION COLOR ON EXISTING BUILDING
M2	CORRUGATED METAL CLADDING - VERTICAL ORIENTATION - COLOUR 02
M3	METAL CLADDING - HORIZONTAL JOINTS - COLOUR 02
P1	PARAPET CAP FLASHING - COLOUR MATCH THE WALL BELOW



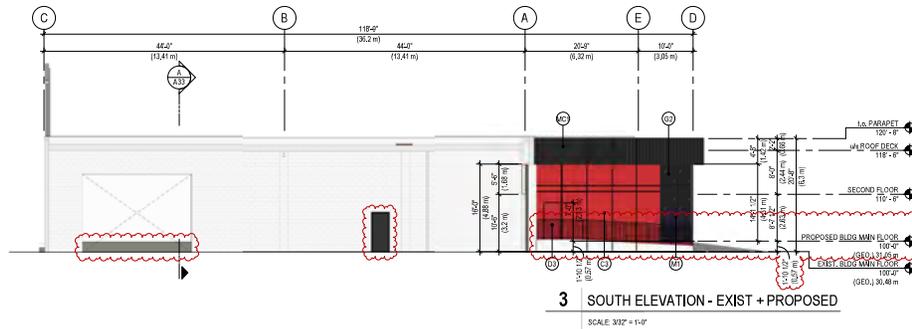
3 WEST ELEVATION - EXIST. + PROPOSED
SCALE: 3/32" = 1'-0"



1 SOUTH ELEVATION - EXIST + PROPOSED
SCALE: 3/32" = 1'-0"



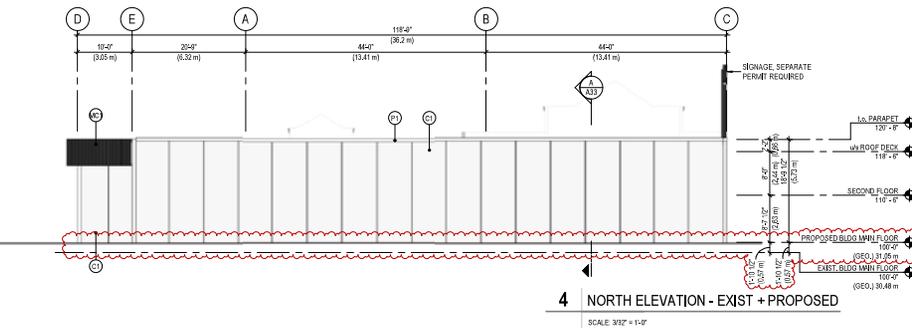
2 SOUTH ELEVATION - EXISTING
SCALE: 3/32" = 1'-0"



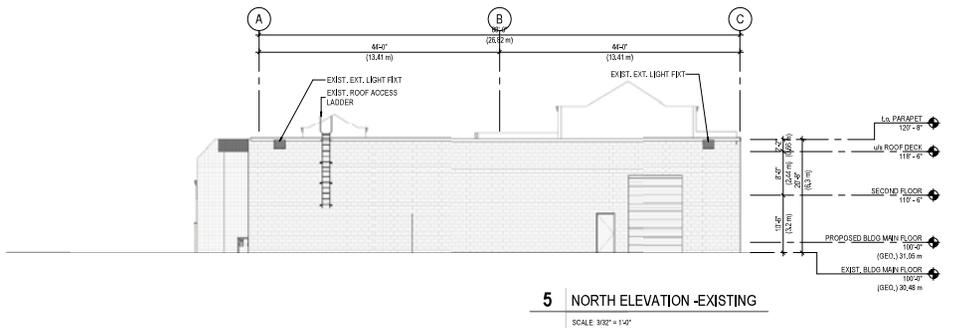
3 SOUTH ELEVATION - EXIST + PROPOSED
SCALE: 3/32" = 1'-0"

COLOR LEGEND	
	COLOUR 01 - MATCH THE BASE LIGHT COLOR ON EXIST. BLDG
	COLOUR 02 - MATCH THE DARK GRAY ON EXIST. BLDG
	COLOUR 03 - MATCH THE RED ON EXIST. BLDG

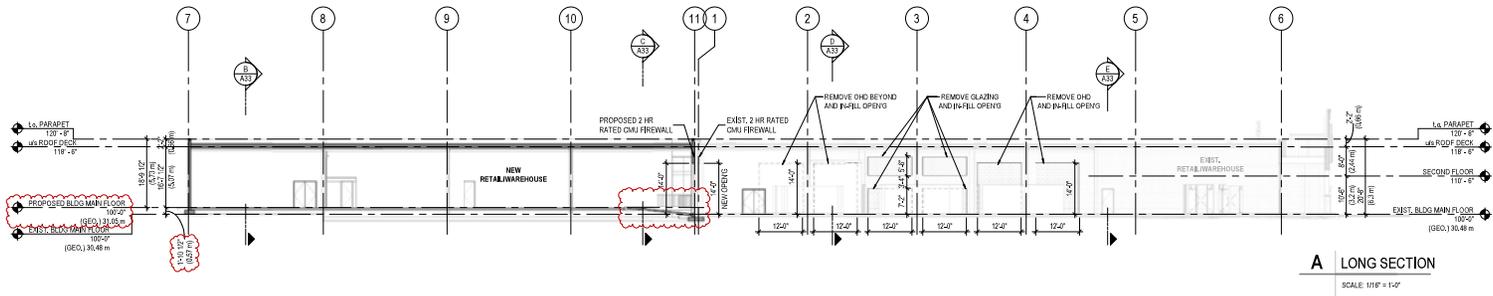
MATERIAL LEGEND	
C1	PRE-CAST CONCRETE - PAINTED COLOUR 01
C2	PRE-CAST CONCRETE - HORIZONTAL FORM FINISH - PAINTED COLOUR 02
C3	PRE-CAST CONCRETE - PAINTED COLOUR 03
D1	METAL MAIN DOOR - PAINTED COLOUR 01
D2	METAL MAIN DOOR - PAINTED COLOUR 02
D3	METAL MAIN DOOR - PAINTED COLOUR 03
D5	OVERHEAD DOOR - COLOUR 02
G1	GLASS FIBER GLASS
G2	SPANDREL GLAZING, COLOUR TO MATCH G15
M1	CURTAIN WALL MULLION PRE-FINISH ALUMINUM COLOUR: MATCH THE DARK MULLION COLOR ON EXISTING BUILDING
MC1	CORRUGATED METAL CLADDING - VERTICAL ORIENTATION - COLOUR 02
MC2	METAL CLADDING - HORIZONTAL JOINTS - COLOUR 02
P1	PARAPET TOP FLASHING COLOUR MATCH THE WALL BELOW



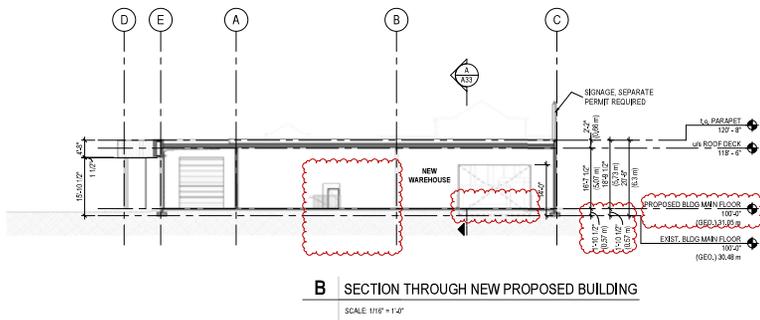
4 NORTH ELEVATION - EXIST + PROPOSED
SCALE: 3/32" = 1'-0"



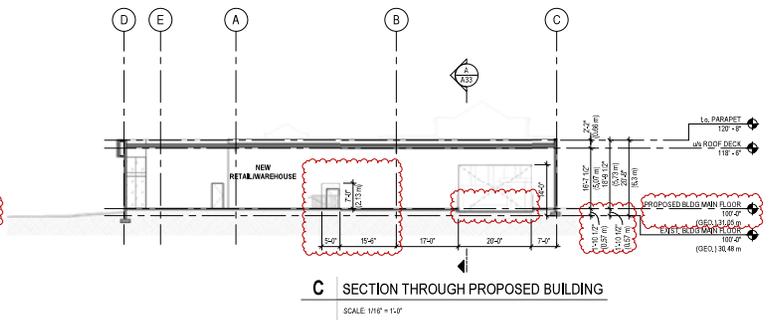
5 NORTH ELEVATION - EXISTING
SCALE: 3/32" = 1'-0"



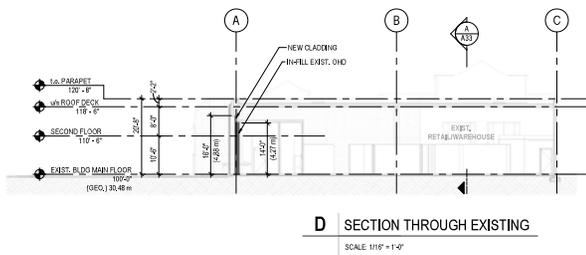
A LONG SECTION
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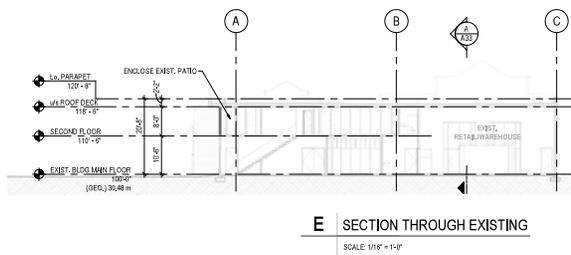
B SECTION THROUGH NEW PROPOSED BUILDING
SCALE: 1/16" = 1'-0"



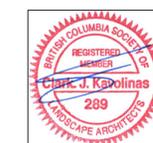
C SECTION THROUGH PROPOSED BUILDING
SCALE: 1/16" = 1'-0"



D SECTION THROUGH EXISTING
SCALE: 1/16" = 1'-0"



E SECTION THROUGH EXISTING
SCALE: 1/16" = 1'-0"



DATE	REMARKS	NO.
jun/21	committee comments	1
REVISIONS		

C.KAVOLINAS & ASSOCIATES INC.
BCSLA CSLA
2462 JONQUIL COURT
ABBOTSFORD, B.C.
V3G 3E8
PHONE (604) 857-2376

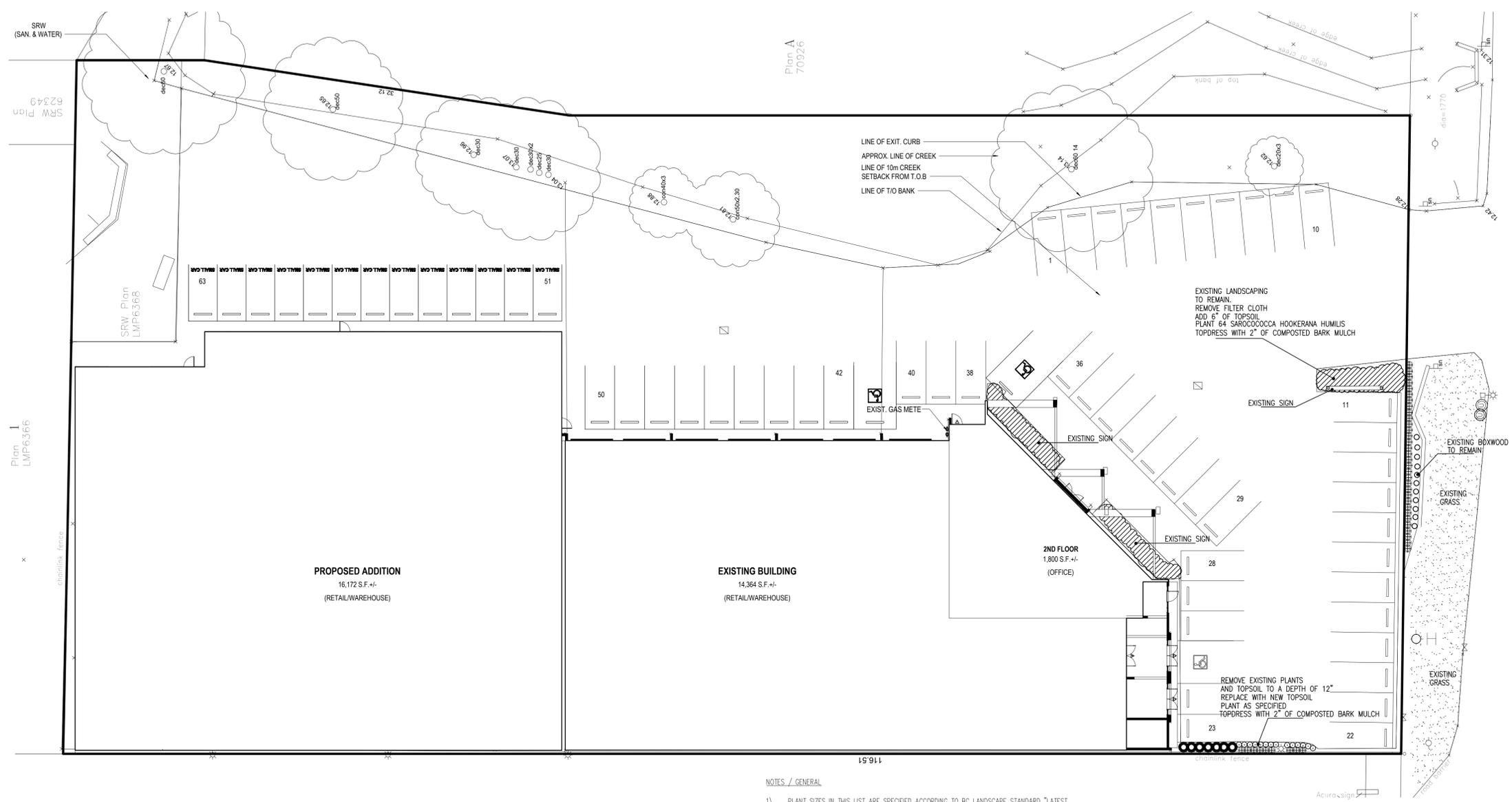
CLIENT
MR. HARRY EVANS
RAM CONSTRUCTION INC.
SUITE #101
8369 RIVER WAY
DELTA, B.C.
V4G 1G2

TITLE
PLAN VIEW
LANDSCAPE PLAN
JAG'S FURNITURE
ADDITION
20359 LANGLEY, BY-PASS
LANGLEY, B.C.

SCALE	DATE
1:200	APR/21
DRAFT	CHK'D
ENG.	CHK'D
APPR'D	AS BUILT

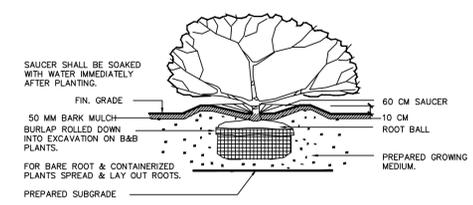
PRINTED	JOB No.
	DRAWING No.
	L-1

LANGLEY BYPASS



NOTES / GENERAL

- PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO BC LANDSCAPE STANDARD "LATEST EDITION". CONTAINER SIZES ARE SPECIFIED AS PER "ONTA STANDARDS" BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. SEARCH AND REVIEW, MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY "LANDSCAPE ARCHITECT" AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. "SUBSTITUTIONS" MUST OBTAIN WRITTEN APPROVAL FROM THE "LANDSCAPE ARCHITECT" PRIOR TO MAKING ANY SUBSTITUTIONS TO SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE WORKING DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO "B.C. LANDSCAPE STANDARD"
- ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED "DISEASE FREE" NURSERY. ALL PLANT MATERIAL MUST CONFORM TO THE LATEST EDITION OF THE "BC LANDSCAPE STANDARD". PROVIDE CERTIFICATION UPON REQUEST. ALL LANDSCAPING AND LANDSCAPE MATERIALS TO CONFORM TO THE LATEST EDITION OF THE BC/LNA/BCSLA "LANDSCAPE STANDARDS"
- MIN. GROWING MEDIUM DEPTHS OVER PREPARED SUBGRADE SHALL BE :
LAWN AREAS 450 mm
GROUND COVER AREAS 450 mm
SHRUB AREAS 450 mm
TREE PITS 300 mm AROUND ROOT BALL
- GROWING MEDIUM SHALL HAVE PHYSICAL AND CHEMICAL PROPERTIES AS DESCRIBED IN THE STANDARDS FOR LEVEL 2 AND LEVEL 3 AREAS, EXCEPT FOR AREAS OVER STRUCTURES WHERE THE MEDIUM SHALL CONFORM TO THE REQUIREMENTS FOR LEVEL 1 APPLICATIONS. PROCESSING AND MIXING OF GROWING MEDIUM COMPONENTS SHALL BE DONE OFF-SITE USING A MECHANIZED SCREENING PROCESS. PROPOSED GROWING MEDIUM SHALL BE TESTED BY A RECOGNIZED LABORATORY. THE CONTRACTOR SHALL GUARANTEE THAT THE SOIL SUBMITTED FOR TESTING IS A REPRESENTATIVE SAMPLE TAKEN FROM THE SOIL THAT WILL BE USED AT THE SITE.
- ON-SITE OR IMPORTED SOILS SHALL SATISFY THE REQUIREMENTS OF THE STANDARDS FOR GROWING MEDIUM. SOILS SHALL BE VIRTUALLY FREE FROM SUBSOIL, WOOD INCL. WOODY PLANT PARTS, WEED OR REPRODUCTIVE PARTS OF WEEDS, PLANT PATHOGENIC ORGANISMS, TOXIC MATERIALS, STONES OVER 30 MM AND FOREIGN OBJECTS.
- ALL PLANTING BEDS SHALL RECEIVE MIN. 50 MM BARK MULCH.
- PLANT SPECIES AND VARIETIES MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS OTHERWISE SPECIFIED. ALL PLANT MATERIAL NOT SURVIVING, OR IN POOR CONDITION DURING THE GUARANTEE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- THE CONTRACTOR SHALL CLEAR AWAY FROM THE SITE ALL RUBBISH AS IT ACCUMULATES, AND SHALL, AT THE COMPLETION OF THE WORK, LEAVE THE WORK AND THE SITE THEREOF IN A CLEAN AND PRESENTABLE CONDITION, FREE FROM ALL OBSTRUCTIONS.



PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS
SECTION N.T.S.

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING
⊕	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	41	#3 POT	70 CM. O.C.
●	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	7	1.50 METERS	70 CM. O.C.
○	ERICA CARNEA 'SPRINGWOOD PINK'	HEATHER	14	#3 POT	45 CM. O.C.

PROPOSED ADDITION
16,172 S.F. +/-
(RETAIL WAREHOUSE)

EXISTING BUILDING
14,364 S.F. +/-
(RETAIL WAREHOUSE)

2ND FLOOR
1,800 S.F. +/-
(OFFICE)

EXISTING LANDSCAPING TO REMAIN.
REMOVE FILTER CLOTH
ADD 6" OF TOPSOIL
PLANT 64 SAROCOCOCCA HOOKERANA HUMILIS
TOPDRESS WITH 2" OF COMPOSTED BARK MULCH

REMOVE EXISTING PLANTS AND TOPSOIL TO A DEPTH OF 12"
REPLACE WITH NEW TOPSOIL
PLANT AS SPECIFIED
TOPDRESS WITH 2" OF COMPOSTED BARK MULCH

SRW (SAN. & WATER)
SRW Plan 62349

SRW Plan LMP6368

Plan 1 LMP6366

Plan A 70926



ADVISORY DESIGN PANEL REPORT

To: **Advisory Design Panel**

Subject: **Development Permit Application DP 03-21**
Rezoning Application RZ 02-21
OCP Amendment Application OCP 02-21

From: Anton Metalnikov
Planning Assistant II

File #: 6620.00
Bylaw #: 3179,3180
Doc #:

Date: July 14, 2021

RECOMMENDATION:

THAT this report be received for information.

PURPOSE OF REPORT:

To consider a rezoning and Development Permit application by Erik Hacker for a 13-unit townhouse development at 5324-5326 & 5334-5336 198 Street.

POLICY:

The subject properties are currently zoned RS1 Single Family Residential in Zoning Bylaw No. 2100 and designated "Low-Density Residential" in the Official Community Plan (OCP) Land Use Designation Map. A new OCP is currently in development and these properties are proposed to be designated as "Low Rise Residential," with additional policy in Appendix A: Nicomekl River District Neighbourhood Plan that limits these properties to Ground Oriented Residential.

The applicant is applying to amend the OCP to this designation ahead of the adoption of the new OCP. All lands designated for multi-family residential uses are subject to a Development Permit (DP) to address building form and character. The proposed development exceeds the density permitted in the current OCP and Zoning Bylaw and requires an OCP amendment and Comprehensive Development (CD) Zone to accommodate it.

COMMENTS/ANALYSIS:

Background Information:

Applicant:	Erik Hacker
Owner:	1160233 B.C. LTD.
Civic Addresses:	5324-5326 & 5334-5336 198 Street
Legal Descriptions:	Strata Lots 1 & 2, Section 3, Township 8, New Westminster District, Strata Plan NW1183, together with an Interest in the Common Property in Proportion to the Unit Entitlement of the Strata Lot as Shown on Form 1; Strata Lots 1 & 2, Section 3, Township 8, New Westminster District, Strata Plan NW1182, together with an Interest in the Common Property in Proportion to the Unit Entitlement of the Strata Lot as Shown on Form 1
Site Area:	1,893.00 m ² (0.47 acres)
Number of Units:	13 townhouses
Residential Density:	69.0 units/ha (27.8 units/acre)
Gross Floor Area:	2,271.69 m ² (24,452.29 ft ²)
Floor Area Ratio:	1.200
Lot Coverage:	43.5%
Total Parking Required:	29 spaces (including 1 h/c space) <i>*RM1 requirement</i>
Parking Provided:	
Resident	26 spaces
Visitor	<u>3 spaces</u>
Total	29 spaces (including 1 h/c space)
Existing OCP Designation:	Low-Density Residential
Proposed OCP Designation:	Low Rise Residential
Existing Zoning:	RS1 Single Family Residential
Proposed Zoning:	CD77 Comprehensive Development Zone
Development Cost Charges:	\$200,985.75 (City - \$130,527.00, GVS&DD - \$42,255.00, SD35 - \$5,973.75, TransLink - \$22,230.00)
Community Amenity Contributions (CACs):	\$26,000.00

Discussion:

1. Context

The applicant is proposing to develop a 13-unit townhouse complex on the site of four former duplex units on two lots at 5324-5326 & 5334-5336 198 Street. This site is designated as Low-Density Residential in the City's current Official Community Plan (OCP). This designation generally aligns with the RM1 Multiple Residential Low Density Zone, which allows for low-density residential development of up to 62 units per hectare. On the subject site, this density would allow for an approximate maximum of 12 units.

The City is currently developing a new OCP, with an expected completion date of fall 2021. The draft land use plan proposed for the new OCP identifies this site as Low Rise Residential. This is further refined by Appendix A: Nicomekl River District Neighbourhood Plan, which limits the land use to Ground Oriented Residential, which would allow for townhouse development of a Floor Area Ratio (FAR) of up to 1.2, with no unit density maximums. To enable a higher density development (69 units/hectare, or 13 units on the subject site) than what is permitted in the current OCP (as noted above), the applicant has applied to amend their site's land use designation from the current High-Density Residential designation to the Low Rise Residential designation proposed in the draft OCP. The applicant held a virtual Public Information meeting on March 29, 2021 to receive public input on the application, which has been used to develop a refined proposal. This consultation is considered "early and ongoing" consultation, as typically required for OCP amendment applications.

The site is located in a neighbourhood in transition, with a variety of recently developed and under construction townhouse complexes and apartment buildings nearby to the north centred on 198 Street, and single-detached houses and duplexes in the immediate vicinity. A corner site, these properties are flanked by two roads. Vehicle access into the complex is provided through a private lane off of 53 Avenue to the south, a crosstown collector road hosting bus routes and bike lanes connecting several major north-south travel corridors. Single-detached homes are located to the south across 53 Avenue. To the west, the site is bordered by 198 Street, a collector road providing access from local roads off of it to 53 and 56 Avenues. A large public park (Brydon Park) is located on the other side of the street, which is proposed to be fronted by the unit entrances and patios of this application. To the north and east, the site is neighbored by several single-detached and duplex properties. The Ground Oriented Residential requirement in the draft Nicomekl River District Neighbourhood Plan is intended to respond to this context, by transitioning down from townhouse complexes and apartment buildings permitted in the draft

new OCP in behind (northeast) the site to Brydon Park, single-detached homes, and Nicomekl River floodplain on its other sides.

The site is located in a distinctly residential area but enjoys convenient walking connections to key amenities including:

- Brydon Park, Baldi Creek Trail, Nicomekl River trail network, Brydon Lagoon (few-minutes walk)
- Transit service on 200 Street, 56 Avenue, & 53 Avenue (5 to 10-minute walk)
- Nicomekl Elementary School (10-minute walk)
- Linwood Park (10-minute walk)
- Downtown (15-minute walk)



Site context

2. Proposed Rezoning and the Official Community Plan (OCP)

The proposed development site is currently zoned RS1 Single Family Residential and designated as Low-Density Residential in the OCP. As noted above, the City is currently developing a new OCP and is proposing to designate

the subject properties, along with the area around them, as Low Rise Residential. In addition, these properties, along with others on the east and north sides of 198 Street and 53 Avenue respectively in this block, are directed by Appendix A: Nicomekl River District Neighbourhood Plan to Ground Oriented Residential development. If the proposed land use policies for these properties is adopted by Council, it will allow the development of townhouses of up to a FAR of 1.2 and no unit density maximum. The applicant has tailored their development to this proposed designation and has applied for an OCP amendment in order to allow their application to proceed through the approval process ahead of the expected fall adoption of the new OCP.

The applicant is proposing to rezone the properties to a site-specific Comprehensive Development (CD) Zone as no existing zones adequately accommodate the types of townhouse developments envisioned in the new OCP which, on this site, would allow a slightly higher density than what is currently permitted, and enable 3-storey development as compared to the 2-storey maximum currently in place in the RM1 Multiple Residential Low Density Zone. Should the CD rezoning be adopted it is anticipated that following the adoption of the new OCP, and as part of adopting the new Zoning Bylaw, the City will rezone this site from its CD Zone to the new zone crafted to implement the Ground Oriented Residential designation.

3. Design

The applicant is proposing a site plan composed of a double-loaded private lane to make most efficient use of the site while enabling larger setbacks from the neighbouring properties to its sides. Moving outward from the central 8-metre-wide lane, a single townhouse block (Block 1 or west block) flanks it on its west side and fronts onto 198 Street and Brydon Park, while two separate blocks (Blocks 2 and 3, or east blocks) are proposed on the east side of the lane to accommodate the site's trapezoidal shape. The western block is separated from the sidewalk by front patios, while backyards on the eastern blocks form a buffer between them and neighbouring properties. Landscaping also separates the townhouses from the property to the north, and both blocks include units with patios on their south sides facing 53 Avenue.

The proposal would provide an attractive design to this higher-profile local corner, with its blend of a cool-colour base and warm-colour accents relating well to the site's natural surroundings, and its pitched roofs complementing the architecture of the surrounding homes. This contrasting material and colour palette combined with street-facing doors on all external units, glazing, and thorough landscaping, sets a street-friendly character that relates well to the substantial surrounding public realm as well as to the existing development

around it. The individual units rise with the site, following the ground's natural grade as it elevates from 53 Avenue toward the north.

The façade design of all blocks is generally similar. All elevations are treated with a grey base composed of fiber cement asphalt shingles, punctuated by dark grey doors, windows, rosewood-tone fiber cement lap siding accents, and white garage doors. On the upper two storeys, white and light grey fibre cement panelled extrusions are interspersed by the same rosewood siding rising from the floor below. White cornices separate the ground floors from the upper storeys and them in turn from the asphalt roof. Generous glazing features prominently on all sides, and the southeast block (Block 2) features a balcony facing 53 Avenue, which enhances the proposal's engagement with the street.

The site benefits from a diversity of landscaping, with a variety of shrub plantings delineating the blocks from common areas both within and outside the site, and several tree species incorporated as well. This includes Magnolia and American Hornbeam trees lining 53 Avenue and 198 Street respectively, and a Maple tree centred in in the garden on the site's east complemented with Spruce trees. This garden is designed with this greenery surrounded by a river rock surface.

Patterned hardscaping also plays a prominent role in the landscape design, with brick-coloured concrete pavers used for entrance walkways and sawcut concrete used for parking spaces and other access points throughout the site. Grey hydra pressed slabs connect the 198 Street-fronting entrances to the public sidewalk, while brick-coloured slabs form the private patios. These slabs are separated with sod and granular surface respectively to accommodate stormwater runoff. A secured dog run is located in the northeast corner of the site with a bench under a trellis placed for owners to watch. The interior lane is softened with metal trellis columns between unit driveways intended to accommodate climbing vines.

The proposed design largely reflects preliminary setbacks being considered for the draft new Zoning Bylaw, including shallower (3 metre) front and exterior side setbacks, and 4.5 metre rear yard setbacks. Staff worked with the applicant to refine the design following the Public Information Meeting (PIM), including pulling the eastern townhouse blocks away from the east property line to the recommended 4.5 metre rear setback for townhouses. This 4.5 metre setback results in no shadowing of the neighbouring properties until after at least 3 pm at the equinoxes. In addition, the applicant will be installing 1.8 metre (5.9 foot) tall privacy fencing along the shared boundaries with neighbouring properties.

Staff also note that in order to accommodate more generous setbacks and an 8-metre-wide drive aisle, some parts of the buildings are slightly closer to 198 Street and 53 Avenue than 3 metres. However, nearly 75% of the 198 Street

frontage is set back 3 metres or more, with intrusions into this setback (i.e. about 0.5 metres) occurring as a result of the curved property line and internal lane. Similarly, over half of the 53 Avenue frontage is set back 3 metres or more, with intrusions beyond this (i.e. select building corners are at a 2 metre setback). This is a result of articulating the building faces to avoid flat walls and provide more visual interest for these building sides from the street, which staff support.

In total, almost 2/3 of the street-facing frontages are setback 3 metres or more. Staff are comfortable with this design given the wide rights-of-way and public realm (sidewalk and tree strip) that is in place along these streets, having Brydon Park directly across the street, as well as the future plans to widen the 198 Street public realm, by way of a 1-metre property dedication along the 198 St. frontage.

These shallower front and exterior setbacks are partially a result of design considerations (i.e. pulling the townhouse blocks further away from the northern and eastern property line to increase the length of the rear yards and reduce massing and shadowing impacts on adjacent properties), and the site's challenging shape and size. This design and property context would likely contribute to similar reduced front and exterior lot line setbacks for an application with a slightly lower unit count.

The proposed private access lane design also enables the possibility of connecting this lane to a potential future redevelopment application located to the north, with the intent of enabling vehicular access through to 54 Avenue (to both the potential future redevelopment and this application). This could also enable the possible option of making the current proposed vehicular access to 53 Avenue become pedestrian-only. The applicant will be expected to ensure there is reciprocal access agreement in place to potentially facilitate this option in the future, prior to adoption of the proposed rezoning.

Sustainability is incorporated into the proposal through gravel-separated pavers facilitating rainwater infiltration, using recycled materials in construction and establishing a construction recycling plan, using drought-tolerant and non-water dependent landscaping, and installing a Level II EV charger in each unit garage.

Pedestrian access is provided into the units from the internal lane as well as from 198 Street on the western block. Vehicle parking is accommodated through two enclosed garage spaces in each unit and three outdoor visitor spaces, one of which is accessible. All units have three bedrooms and ground-level patios, and range in size from 168 m² (1,812 ft²) to 198 m² (2,136 ft²).

4. CPTED

The applicant's proposal benefited from a comprehensive Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

5. Summary

The proposed development is consistent with the City's proposed new OCP and Development Permit Area guidelines for this area and presents an attractive design providing family-oriented housing in close proximity to parks and trails, the transit system, and Nicomekl Elementary School.

Engineering Requirements:

Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents. All work to be done to the City of Langley Specifications & MMCD Standards.

These requirements have been issued to reflect the application for development for a proposed **13 Unit Townhome Development located at 5324-36 198 St.**

These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

A) The developer is responsible for the following work which shall be designed by a Professional Engineer:

1. A Qualified Environmental Professional (QEP) or a Professional Engineer with experience in Erosion and Sediment Control monitoring must be engaged to implement erosion and sediment control in accordance with the City of Langley Watercourse Protection Bylaw #3152, as amended.
2. A storm water management plan for the site is required. Rainwater detention measures used on site shall limit the release rate to pre-development levels to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw. All calculations shall be based on the updated IDF data for Surrey Kwantlen Park (1962-2013) with 20% added to the tabulated data to account for climate change. A safety factor of 20% shall be added to the calculated storage volume. Pre-development release rates shall *not* include climate change effect.

3. All existing services shall be capped at the main by the City, at the Developer's expense prior to applying for a Demolition permit.
4. New water, sanitary and storm sewer service connections are required. The Developer's engineer will determine the appropriate main tie-in locations and size the connections for the necessary capacity. All service design calculations shall be submitted in spreadsheet format and shall include all formulas for review by the City.
5. SMA4181 will require re-alignment designed by the Developer's consultant and installed by the Developer's contractor at the Developer's expense.
6. The capacity of the existing water and sanitary sewer mains shall be assessed through hydraulic modeling performed by the City's hydraulic modeling consultant at the Developer's expense. At the Developer's expense, the City's hydraulic modeling consultant shall conduct a fire hydrant flow test to be used in the City's water modeling to determine if the existing water network is adequate for fire flows (based on architectural data supplied by the Developer's Architect). Upgrading of the existing watermain(s) may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995." Any upgrades required to service the site shall be designed by the Developer's consultant and installed at the Developer's expense.
7. The Consulting Engineer shall demonstrate that all downstream storm sewer infrastructures for a distance of up to 1.0 km are capable of conveying the projected 5-year runoff flows created by the proposed Subdivision/Development within the catchment area and under the ultimate land use (OCP) conditions.
8. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be approved by the City of Langley Fire Rescue Service.
9. 198 St. shall be designed to the City's new SS-R04 standard (modified). The Developer's consultant shall contact Engineering Services to obtain the City's road cross-section design standards and modification details.
10. A property dedication of 1m will be required along the 198 St. frontage and 0.5m along the 53 St. frontage of the proposed development. A 4m corner truncation at 198 St. and 53 Ave. will be required.
11. New sidewalk, barrier curb, gutter will be required along the entire project frontage, complete with boulevard trees and a planting strip. The Developer's consultant shall contact Engineering Services to obtain City's Landscaping design standards prior to hiring a professional to prepare boulevard trees and a planting strip plan.
12. If the proposed development will generate more than 30 additional peak direction trips (inbound and outbound) to or from the site during the peak hour, then a basic traffic impact assessment (TIA) will be required; between 30 and 40 trips – reduced scope TIA; 50 and greater trips – TIA. Prior to

- hiring a traffic engineering consultant, the Developer shall contact Engineering Services Division for the required scope of work.
13. The condition of the existing pavement along the proposed project's entire frontage shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate, it shall be remediated at the Developer's expense.
 14. The site layout shall be designed by a civil engineer to ensure that the parking and access layout meets minimum design standards, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls and drive-aisles are accessible by the design vehicle.
 15. Existing and proposed street lighting along the entire project frontage shall be reviewed by a qualified lighting consultant to ensure street lighting and lighting levels meet current City of Langley standards. Any required upgrades will be completed by the Developer's contractor at the Developer's expense.
 16. Eliminate the existing overhead BC Hydro/telecommunication infrastructure along the development's entire frontage by undergrounding.

B) The developer is required to deposit the following bonding and fees:

1. The City would require a Security Deposit based on the estimated construction costs of installing civil works, as approved by the Director of Engineering, Parks and Environment.
2. The City would require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).
3. A deposit for a storm, sanitary and water connection is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
4. The City would require a \$40,000 bond for the installation of a water meter to current standards.
5. Permanent pavement restoration of all pavement cuts, all associated deposits and fees shall be as per the City of Langley's pavement cut policy# CO-57 by the developer's contractor at the developer's expense (if applicable).

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the developer with an estimate of connections costs, and the Developer will declare in writing that the estimate is acceptable.

C) The developer is required to adhere to the following conditions:

1. Undergrounding of hydro, telephone and cable services to the development site is required, complete with underground or at-grade transformer.
2. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner.
3. A water meter is required to be installed on private property, preferably in the mechanical room, in accordance to the City's current water meter specifications at the developer's cost.
4. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
5. A *Stormceptor* or equivalent oil separator is required to treat site surface drainage.
6. A complete set of as-built drawings, service record cards, a completed tangible capital asset form (TCA) and a completed pavement cut form (final) all sealed by a Professional Engineer shall be submitted to the City within 60 days of the substantial completion date. Digital drawing files in *.pdf* and *.dwg* formats shall also be submitted. All the drawing submissions shall:
 - a. Use City's General Note Sheet and Title Block; and
 - b. Closely follow the format and sequence outlined in the City's "Drawing Specifications" that will be provided to the Developer's Consulting Engineer.
7. The selection, location and spacing of street trees and landscaping shall follow the City's "Specifications and Standards for Landscaping" and are subject to the approval of the Director of Engineering, Parks & Environment.
8. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
9. A dedicated on-site loading zone shall be provided by the developer.
10. Any PMT and associated maintenance access servicing the project shall be located on site.
11. Garbage and recycling enclosures shall accommodate on the site and be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update."

Fire Department Comments:

Fire department access for the whole project was reviewed to ensure adequate access was provided for Fire Rescue vehicles and personnel. Fire extinguishers in common rooms such as the electrical room and inclusion in the lockbox program will be evaluated during the Building Permit stage. Building Code requirements relating to water availability, progressively installed standpipe and

sprinkler systems, installation of fire doors, and other fire-mitigating strategies will be enforced in the construction stage of the project. A 24/7 Fire Watch will also be required from the commencement of wood-frame construction through to full activation of the buildings' fire protection systems.

Advisory Design Panel:

In accordance with Development Application Procedures Bylaw No. 2488, the subject Zoning Bylaw amendment and Development Permit application will be reviewed by the Advisory Design Panel (ADP) at the July 21, 2021 meeting.

According to the Council-approved ADP Terms of Reference, the ADP is to provide form and character and urban design-related advice and recommendations for Council's consideration. ADP recommendations will be presented to Council through the ADP meeting minutes and, if applicable, through an additional City staff report, prior to Council consideration of the proposed Zoning Bylaw amendment and Development Permit Applications.

A copy of the ADP minutes will be presented to Langley City Council at a future Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$130,527.00 to City Development Cost Charge accounts and \$26,000.00 in Community Amenity Contributions.

Prepared by:



Anton Metalnikov
Planning Assistant II

Concurrence:



Roy M. Beddow, RPP, MCIP
Deputy Director of Development Services

To: Advisory Design Panel
Date: July 14, 2021
Subject: Development Permit Application DP 03-21, Rezoning Application RZ 02-21, & OCP
Amendment Application OCP 02-21
Page 13

Concurrence:



Carl Johannsen, RPP, MCIP
Director of Development Services

Concurrence:



Rick Bomhof, P.Eng.
Director of Engineering, Parks &
Environment

Concurrence:



Scott Kennedy, Deputy Fire Chief

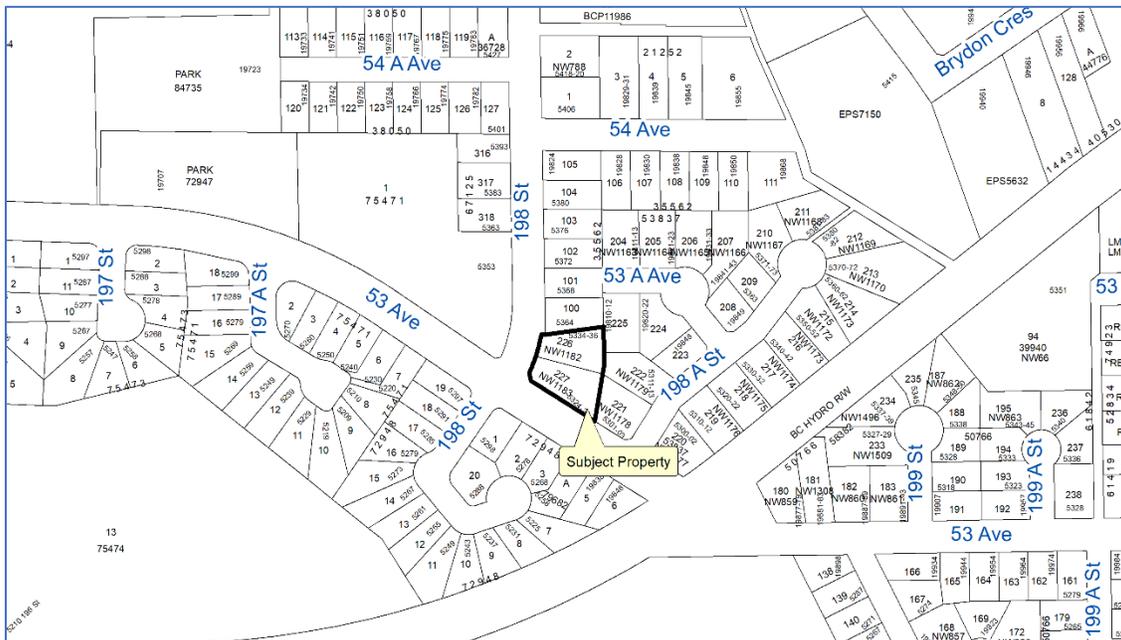
Attachments



DEVELOPMENT PERMIT APPLICATION DP 03-21 REZONING APPLICATION RZ 02-21 OCP AMENDMENT APPLICATION OCP 02-21

Civic Addresses: 5324-5326 & 5334-5336 198 Street
Legal Description: Strata Lots 1 & 2, Section 3, Township 8, New Westminster District, Strata Plan NW1183, together with an Interest in the Common Property in Proportion to the Unit Entitlement of the Strata Lot as Shown on Form 1; Strata Lots 1 & 2, Section 3, Township 8, New Westminster District, Strata Plan NW1182, together with an Interest in the Common Property in Proportion to the Unit Entitlement of the Strata Lot as Shown on Form 1

Applicant: Erik Hacker
Owner: 1160233 B.C. LTD.



PROJECT TEAM DIRECTORY

OWNER: QUARRY ROCK DEVELOPMENTS
ARCHITECT: ATELIER PACIFIC ARCHITECTURE INC.
LANDSCAPE CONSULTANT: VAN DER ZALM + ASSOCIATES INC.
ARBORIST: VAN DER ZALM + ASSOCIATES INC.
CIVIL CONSULTANT: CENTRAS ENGINEERING LTD
SURVEYOR: SOUTH FRASER LAND SURVEYING LTD.

ARCHITECTURAL DRAWING LIST:

DP 0.1 CONTEXT PHOTO
DP 0.2 OFFICIAL COMMUNITY PLAN COMPLIANCE
DP 0.3 PROJECT DATA
DP 0.4 PROJECT DATA - AREA DISTRIBUTION
DP 0.5 PROJECT DATA - AREA DISTRIBUTION
DP 0.6 COLOUR ELEVATIONS
DP 0.7 SHADOW STUDY

DP 1.0 SITE PLAN OVERALL
DP 1.1a ENLARGED SITE PLAN
DP 1.1b ENLARGED SITE PLAN

DP 2.0 FLOOR PLANS - BLOCK 1
DP 2.1 FLOOR PLANS - BLOCK 2
DP 2.2 FLOOR PLANS - BLOCK 3

DP 3.0 ELEVATIONS - BLOCK 1
DP 3.1 ELEVATIONS - BLOCK 2
DP 3.2 ELEVATIONS - BLOCK 3

DP 4.0 SECTIONS - BLOCK 1
DP 4.1 SECTIONS - BLOCK 2
DP 4.2 SECTIONS - BLOCK 3



DEVELOPMENT PERMIT APPLICATION

Proposed Multifamily Residential Townhouse Development

5324-5326/5334-5336 198th Street, Langley, B.C.



PREPARED BY:  atelier pacific architecture inc.

BRYDON LANDING TOWNHOUSE DEVELOPMENT

DP0.0

COVER SHEET



QUARRY ROCK DEVELOPMENTS
5324-5326/5334-5336 198th Street Langley, B.C.

ATELIER PACIFIC ARCHITECTURE INC.
Revised: JULY 09, 2021 DP Submission: FEBRUARY 22, 2021
Revised: JUNE 20, 2021
Revised: JULY 05, 2021





BRYDON LANDING TOWNHOUSE DEVELOPMENT



JUL 12 2021

DP0.1

CONTEXT PHOTO



QUARRY ROCK DEVELOPMENTS

QUARRY ROCK DEVELOPMENTS

5324-5326/5334-5336 198th Street Langley, B.C.

ATELIER PACIFIC ARCHITECTURE INC.

Revised: JULY 09, 2021 DP Submission: FEBRUARY 22, 2021

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Official Community Plan

A. OFFICIAL COMMUNITY PLAN

- THE SUBJECT PROPERTY IS CURRENTLY DESIGNATED "LOW-DENSITY RESIDENTIAL", IN THE CITY OF LANGLEY'S OFFICIAL COMMUNITY PLAN WHICH ALLOWS A DENSITY OF 62 UNITS/HECTARE. WE ARE REQUESTING AN AMENDMENT TO THE OCP TO ALLOW OUR PROPOSED DENSITY OF 69 UNITS/HECTARE.
- THE PROPOSED DEVELOPMENT CONSISTS OF A REZONED CD ZONE WITH 13 TOWNHOUSE UNITS WITH A BUILDING HEIGHT OF 3 STOREYS ABOVE THE FINISH GRADE AND TANDEM GARAGES
- THE DEVELOPMENT ENHANCES PUBLIC SIDEWALK STREETSCAPES AND PROVIDES AN ATTRACTIVE ENVIRONMENT FOR WALKWAYS
- UNITS ARE GROUND ORIENTED WITH ENTRANCE STATEMENTS FACING PUBLIC ROADS
- INTERNAL/STRATA ROADS PROVIDE VEHICLE ACCESS TO GARAGES
- SECURE BICYCLE PARKING FACILITIES ARE PROVIDED IN EACH UNIT

B. TRAFFIC & PARKING

- RESIDENTIAL PARKING IS PROVIDED IN SECURED GARAGES DOORS
- THREE VISITOR PARKING SPACES ARE PROVIDED AT GRADE
- GARAGE ENTRANCES ARE NOT PRESENTED TO PUBLIC ROADS

C. CRIME PREVENTION THOUGHT ENVIRONMENTAL DESIGN

- THE OVERALL DESIGN THEME ALLOWS OBSERVATION ONTO PUBLIC AND STRATA ROADS.
- NATURAL SURVEILLANCE AND ACCESS CONTROL THROUGH 'EYES ON THE STREET' WILL BE IMPROVED BY LARGE WINDOWS FACING YARDS, STREETS, AND INTERNAL ROADS
- UNITS WILL HAVE DIRECT ACCESS TO THE STREET OR THE STRATA ROAD
- GARAGES DOORS CAN BE OVERLOOKED FROM TOWNHOUSES
- FENCES ON THE SITE PERIMETER WILL DELINEATE THE PROPERTY LINE, DETER INTRUDERS, AND PROVIDE PRIVACY
- UTILITY BOXES WILL LAMINATED/WRAPPED TO RESIST GRAFFITI AND TO REDUCE CLEANING MAINTENANCE

D. SUSTAINABILITY FEATURES

- PAVERS WITH GRAVEL WILL FACILITATE RAINWATER INFILTRATION AND REDUCE THE LOADS ON MUNICIPAL SYSTEMS
- LOW FLUSH TOILETS
- WHEREVER POSSIBLE, THE PROJECT WILL SPECIFY MATERIALS AND EQUIPMENT THAT ARE:
 - EXTENSIVE RECYCLED MATERIAL CONTENT
 - WOOD CONSTRUCTION PRODUCTS THAT ARE CERTIFIED (FROM RESPONSIBLY MANAGED FORESTS)
 - LOW ENERGY CONSUMPTION FIXTURES AND APPLIANCES

E. AESTHETICS/ BUILDING COMPLIANCE

- THE MASSING OF EACH HOUSING ELEMENT HAS BEEN KEPT AS A SIMPLE FORM. BUMP OUTS AND RECESSES ON THE ELEVATIONS REDUCE THE MASSING AND ANIMATE THE FACADES.
- BUILDING ELEMENTS SUCH AS WINDOW SIZES, FASCIA, TRIMS, CANOPIES ELEMENTS ARE USED TO ENHANCE THE BASIC BUILDING FORMS
- THE UNITS ARE DESIGNED TO 198 STREET AND 53 AVENUE ENHANCE THE STREETSCAPE WITH ENTRANCE STATEMENTS WITH CANOPIES, PAVED PATHS, PAVED PRIVATE YARD
- PRIVATE PATIO/YARD ARE PROVIDED FOR EACH UNIT, AS WELL AS ENCLOSED AND SECURED GARAGES
- THE DEVELOPMENT IS LANDSCAPED AND FENCED THROUGHOUT DIFFERENTIATING THE PUBLIC AND PRIVATE SPACES
- RETAINING WALLS ARE KEPT TO A MINIMUM HEIGHT
- DECORATIVE METAL LATTICE TRELLISES ARE PROPOSED BETWEEN ENTRIES AS PRIVACY SCREENS WITH A 'NATURAL' CHARACTER

F. MATERIALITY

- THE BUILDING MATERIALS HAVE BEEN SELECTED AND COMBINED TO CREATE A CONTEMPORARY DESIGN
- THE PALETTE CHOSEN IS A COMBINATION OF COOL TONES – WHITE AND LIGHT AND MEDIUM GREY; OFFSET BY WARM WOOD TONES GIVING TEXTURE AND VISUAL INTEREST TO THE BUILDING
- THE ALTERNATING WHITE AND LIGHT GREY CEMENTITIOUS PANELS FROM UNIT TO UNIT PROVIDES VARIATION, AND CONTRAST WITH THE WOOD TONE SIDINGS AND DARK GREY SHINGLES BASE.



Legend

Estate Residential	Medium Density Residential	Service Commercial	Institutional
Urban Residential	High-Density Residential	Mixed Employment	Agricultural
Low-Density Residential	Downtown Commercial	Industrial	Agricultural Land Reserve



JUL 12 2021

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DP0.2

OFFICIAL
COMMUNITY PLAN

Project Data Sheet

CIVIC ADDRESS

5324-5326/5334-5336 198th Street, Langley, B.C., V3A 1E9

LEGAL DESCRIPTION

Plan NWS1183 Lot 1/ Plan NWS1182 Lot 2

SITE LOCATION

BETWEEN 53 Avenue and 54 Avenue

EXISTING ZONING

RS-1

PROPOSED ZONING

CD

OCP LAND USE

LOW DENSITY RESIDENTIAL

PROPOSED BUILDING TYPE

THREE-STOREY WOOD FRAME TOWNHOUSE

GROSS SITE AREA

20,376.07 ft² / 1,893.00 m² / 0.468 acre / 0.189 HA

ROAD DEDICATION

708.83 ft² / 65.85 m² / 0.02 acre / 0.01 HA

NET SITE AREA

19,667.24 ft² / 1,827.15 m² / 0.452 acre / 0.183 HA

*Note: Net site area excludes road dedications.

DENSITY, COVERAGE & HEIGHT REQUIREMENT

	REQUIRED/ ALLOWED Based off of RM-1	PROPOSED
DENSITY	12 Units (62 Units/Hectare)	13 Units (69 Units/Hectare)
FSR	1.2	*1.2
COVERAGE	35%	43.5%
BUILDING HEIGHT	2 Storey	3 Storey

*FSR Based off of Gross Floor area/Gross Site Area

BUILDING SETBACKS

	REQUIRED Based off of RM-1	PROPOSED
FRONT (SOUTH) (53rd AVENUE)	7.5 m	2.0m
EXTERIOR SIDE (WEST) (198TH STREET)	7.5 m	*3.0m
INTERIOR SIDE (EAST)	7.5 m	4.5m
REAR (NORTH)	7.5 m	3.0m

*Note: Unit A1-5 of Block 1 encroaches 0.7m into the Exterior Side (West) setback reducing the setback to 2.3m locally

PARKING REQUIREMENT

	REQUIRED	PROPOSED
RESIDENTIAL (0.5 SPACES PER EACH UNIT)	13 units x 2 = 26	26
VISITOR (0.2 SPACES PER UNIT)	13 X 0.2 = 3 (2.6)	3
TOTAL:	26 + 3 = 29	29 (INCLUDING 1 B/F SPACE)
B/F PARKING STALL (5%)	3 X 0.05 = 1 (0.15)	1
E.V. STALL (10%)	29 x 10% = 3 (2.9)	13*

*Note: Each garage will accommodate one (1) electrical outlet capable of housing a Level 2 electrical vehicle charging station.

BICYCLE PARKING REQUIREMENT

	REQUIRED	PROPOSED
RESIDENTIAL (0.5 SPACES PER EACH UNIT)	13 units x 7 (6.5)	13*
VISITOR	6	6
TOTAL:	7 + 6 = 13	19

*Residential bicycles can be stored in the garage of each unit.

UNIT AREA DISTRIBUTION

-See DP0.5 and DP0.6



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DP0.3

PROJECT DATA

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QUARRY ROCK
DEVELOPMENTS



Project Data Sheet

BLOCK AREA DISTRIBUTION

BLOCK	BLOCK 1										BLOCK 2							
	Aa-1 (3-storey)		Ac-2 (3-storey)		A-3 (3-storey)		Ac-4 (3-storey)		A1-5 (3-storey)		A2-6 (3-storey)		Ac-7 (3-storey)		A-8 (3-storey)		A-9 (3-storey)	
	TANDEM		TANDEM		TANDEM		TANDEM		TANDEM		TANDEM		TANDEM		TANDEM		TANDEM	
	m ²	ft ²	m ²	ft ²	m ²	ft ²	m ²	ft ²	m ²	ft ²	m ²	ft ²	m ²	ft ²	m ²	ft ²	m ²	ft ²
GARAGE:	51.24 m ²	551.56 ft ²	47.42 m ²	510.44 ft ²	47.42 m ²	510.44 ft ²	47.40 m ²	510.23 ft ²	54.34 m ²	584.91 ft ²	65.09 m ²	700.63 ft ²	47.32 m ²	509.35 ft ²	47.32 m ²	509.35 ft ²	48.24 m ²	519.23 ft ²
BASEMENT:	2.55 m ²	27.50 ft ²	2.55 m ²	27.50 ft ²	2.55 m ²	27.50 ft ²	2.55 m ²	27.50 ft ²	2.64 m ²	28.44 ft ²	2.55 m ²	27.50 ft ²	2.55 m ²	27.50 ft ²	2.55 m ²	27.50 ft ²	2.55 m ²	27.50 ft ²
GROUND FLOOR:	6.10 m ²	65.66 ft ²	6.10 m ²	65.66 ft ²	6.10 m ²	65.66 ft ²	6.10 m ²	65.66 ft ²	7.19 m ²	77.37 ft ²	6.10 m ²	65.66 ft ²	6.10 m ²	65.66 ft ²	6.10 m ²	65.66 ft ²	6.10 m ²	65.66 ft ²
SECOND FLOOR:	59.38 m ²	639.20 ft ²	58.94 m ²	634.46 ft ²	56.77 m ²	611.07 ft ²	58.92 m ²	634.23 ft ²	67.13 m ²	722.58 ft ²	59.38 m ²	639.20 ft ²	58.91 m ²	634.05 ft ²	56.73 m ²	610.66 ft ²	61.58 m ²	662.87 ft ²
UPPER FLOOR:	59.38 m ²	639.19 ft ²	58.97 m ²	634.72 ft ²	56.77 m ²	611.06 ft ²	58.92 m ²	634.24 ft ²	67.13 m ²	722.58 ft ²	59.38 m ²	639.20 ft ²	58.91 m ²	634.06 ft ²	56.73 m ²	610.67 ft ²	61.58 m ²	662.85 ft ²
UNIT SUBTOTAL (INCL. GARAGE/MECH):	178.66 m ²	1,923.11 ft ²	173.99 m ²	1,872.78 ft ²	169.62 m ²	1,825.73 ft ²	173.90 m ²	1,871.86 ft ²	198.43 m ²	2,135.88 ft ²	192.51 m ²	2,072.20 ft ²	173.79 m ²	1,870.62 ft ²	169.44 m ²	1,823.84 ft ²	180.06 m ²	1,938.11 ft ²
UNIT SUBTOTAL (EXCL. GARAGE/MECH):	124.87 m ²	1,344.05 ft ²	124.01 m ²	1,334.84 ft ²	119.64 m ²	1,287.79 ft ²	123.94 m ²	1,334.13 ft ²	141.45 m ²	1,522.53 ft ²	124.87 m ²	1,344.07 ft ²	123.91 m ²	1,333.77 ft ²	119.57 m ²	1,286.99 ft ²	129.26 m ²	1,391.38 ft ²
UNIT SUBTOTAL (EXCL. MECH) (FSR):	176.11 m ²	1,895.61 ft ²	171.43 m ²	1,845.28 ft ²	167.06 m ²	1,798.23 ft ²	171.35 m ²	1,844.36 ft ²	195.79 m ²	2,107.44 ft ²	189.96 m ²	2,044.70 ft ²	171.23 m ²	1,843.12 ft ²	166.89 m ²	1,796.34 ft ²	177.50 m ²	1,910.61 ft ²
GROSS FLOOR AREA (INCL. GARAGE/MECH):	894.60 m ² (9,629.36 ft ²)										715.80 m ² (7,704.77 ft ²)							
GROSS FLOOR AREA (EXCL. GARAGE/MECH):	633.91 m ² (6,823.34 ft ²)										497.61 m ² (5,356.21 ft ²)							
GROSS FLOOR AREA (EXCL. MECH) (FSR):	881.74 m ² (9,490.92 ft ²)										705.58 m ² (7,594.77 ft ²)							



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DPO.4
 PROJECT DATA

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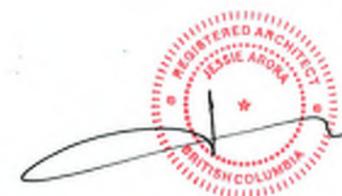
QUARRY ROCK
 DEVELOPMENTS

Project Data Sheet

BLOCK AREA DISTRIBUTION

BLOCK	BLOCK 3							
	A3a-10 (3-storey)		Ac-11 (3-storey)		A3-12 (3-storey)		A3b-13 (3-storey)	
	TANDEM		TANDEM		TANDEM		TANDEM	
	m ²	ft ²	m ²	ft ²	m ²	ft ²	m ²	ft ²
GARAGE:	47.14 m ²	507.4 ft ²	46.24 m ²	497.77 ft ²	46.24 m ²	497.77 ft ²	47.14 m ²	507.39 ft ²
BASEMENT:	2.55 m ²	27.50 ft ²	2.55 m ²	27.50 ft ²	2.55 m ²	27.50 ft ²	2.55 m ²	27.50 ft ²
GROUND FLOOR:	6.10 m ²	65.66 ft ²	6.10 m ²	65.66 ft ²	6.10 m ²	65.66 ft ²	6.10 m ²	65.66 ft ²
SECOND FLOOR:	59.38 m ²	639.2 ft ²	58.91 m ²	634.07 ft ²	56.73 m ²	610.66 ft ²	61.58 m ²	662.87 ft ²
UPPER FLOOR:	59.38 m ²	639.21 ft ²	58.91 m ²	634.08 ft ²	56.73 m ²	610.67 ft ²	61.58 m ²	662.87 ft ²
UNIT SUBTOTAL (INCL. GARAGE/MECH):	174.56 m ²	1,878.97 ft ²	172.72 m ²	1,859.08 ft ²	168.36 m ²	1,812.26 ft ²	178.96 m ²	1,926.29 ft ²
UNIT SUBTOTAL (EXCL. GARAGE/MECH):	124.87 m ²	1,344.07 ft ²	123.92 m ²	1,333.81 ft ²	119.57 m ²	1,286.99 ft ²	129.27 m ²	1,391.40 ft ²
UNIT SUBTOTAL (EXCL. MECH) (FSR):	172.01 m ²	1,851.47 ft ²	170.16 m ²	1,831.58 ft ²	165.81 m ²	1,784.76 ft ²	176.40 m ²	1,898.79 ft ²
BLOCK FLOOR AREA (INCL. GARAGE/MECH):	694.60 m ² (7,476.60 ft ²)						GROSS FLOOR AREA (INCL. GARAGE/MECH):	2,304.99 m ² (24,810.73 ft ²)
BLOCK FLOOR AREA (EXCL. GARAGE/MECH):	497.61 m ² (5,356.27 ft ²)						GROSS FLOOR AREA (EXCL. GARAGE/MECH):	1,629.13 m ² (17,535.82 ft ²)
BLOCK FLOOR AREA (EXCL. MECH) (FSR):	684.38 m ² (7,366.60 ft ²)						GROSS FLOOR AREA (EXCL. MECH) (FSR):	*2,271.69 m ² (24,452.29 ft ²)

*Gross Floor Area used to calculate FSR excludes, all mechanical rooms.



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DP0.5
PROJECT DATA

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QUARRY ROCK
DEVELOPMENTS



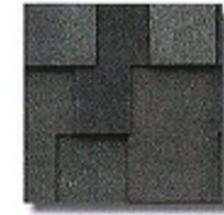
COLOUR & MATERIALS



BLOCK 1 - FRONT ELEVATION



BLOCK 1 - REAR ELEVATION



1
ASPHALT ROOFING
STORM GREY



6
PAINTED WOOD WINDOW TRIM
EBONY SLATE



2
FIBER CEMENT SMOOTH PANEL
ARCTIC WHITE

7

FIBERGLASS O/H GARAGE DOOR
WHITE



3
FIBER CEMENT LAP SIDING
WOODTONE - ROSEWOOD

8

VINYL WINDOW
PREFINISHED WHITE



4
FIBER CEMENT ASPHALT SHINGLES
RICH EXPRESSO

9

PAINTED FIBERGLASS DOOR
DARK GRAY



5
FIBER CEMENT SMOOTH PANEL
PEARL GRAY



JUL 12 2021

DP0.6

COLOUR
ELEVATIONS &
MATERIALS

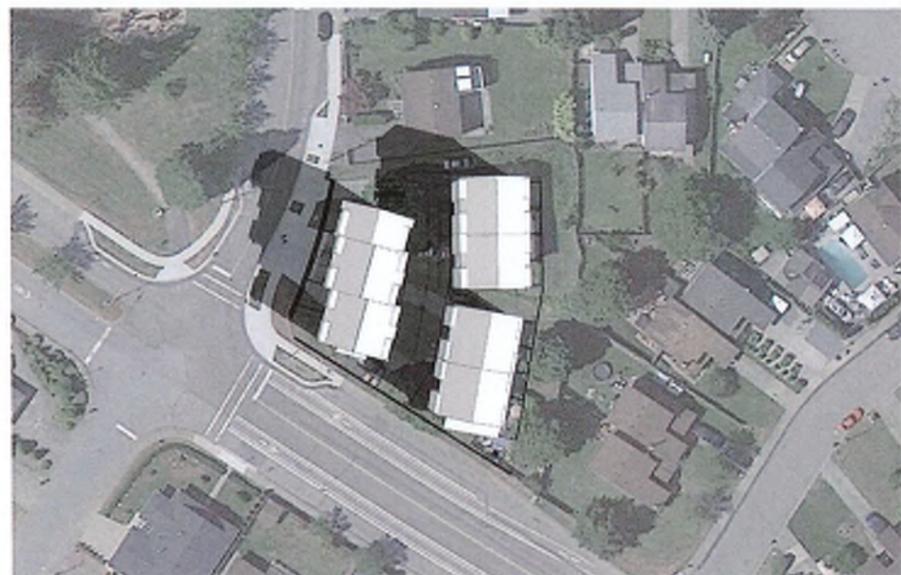
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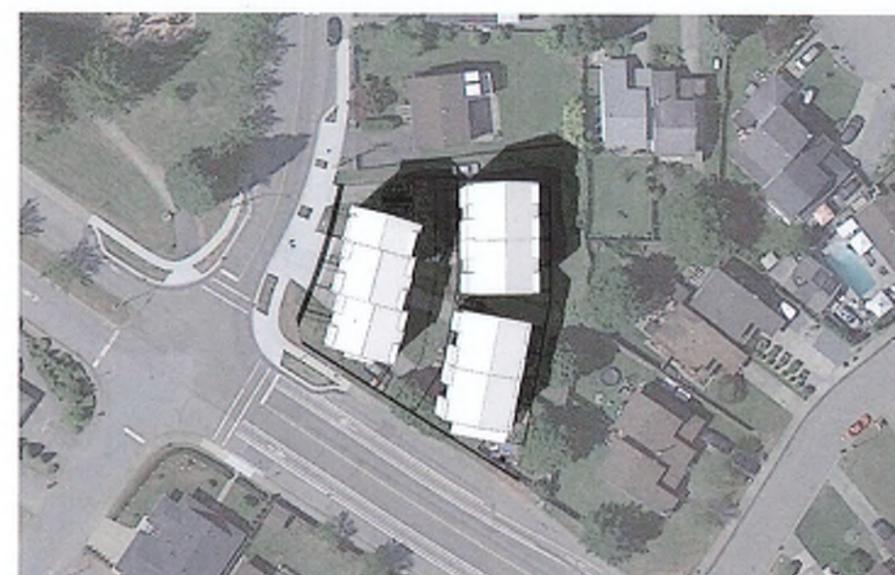
SHADOW STUDY



SPRING EQUINOX - 9:00 AM



SPRING EQUINOX - 12:00 PM



SPRING EQUINOX - 3:00 PM



JUL 12 2021

DP0.7

SHADOW STUDY

BRYDON LANDING TOWNHOUSE DEVELOPMENT

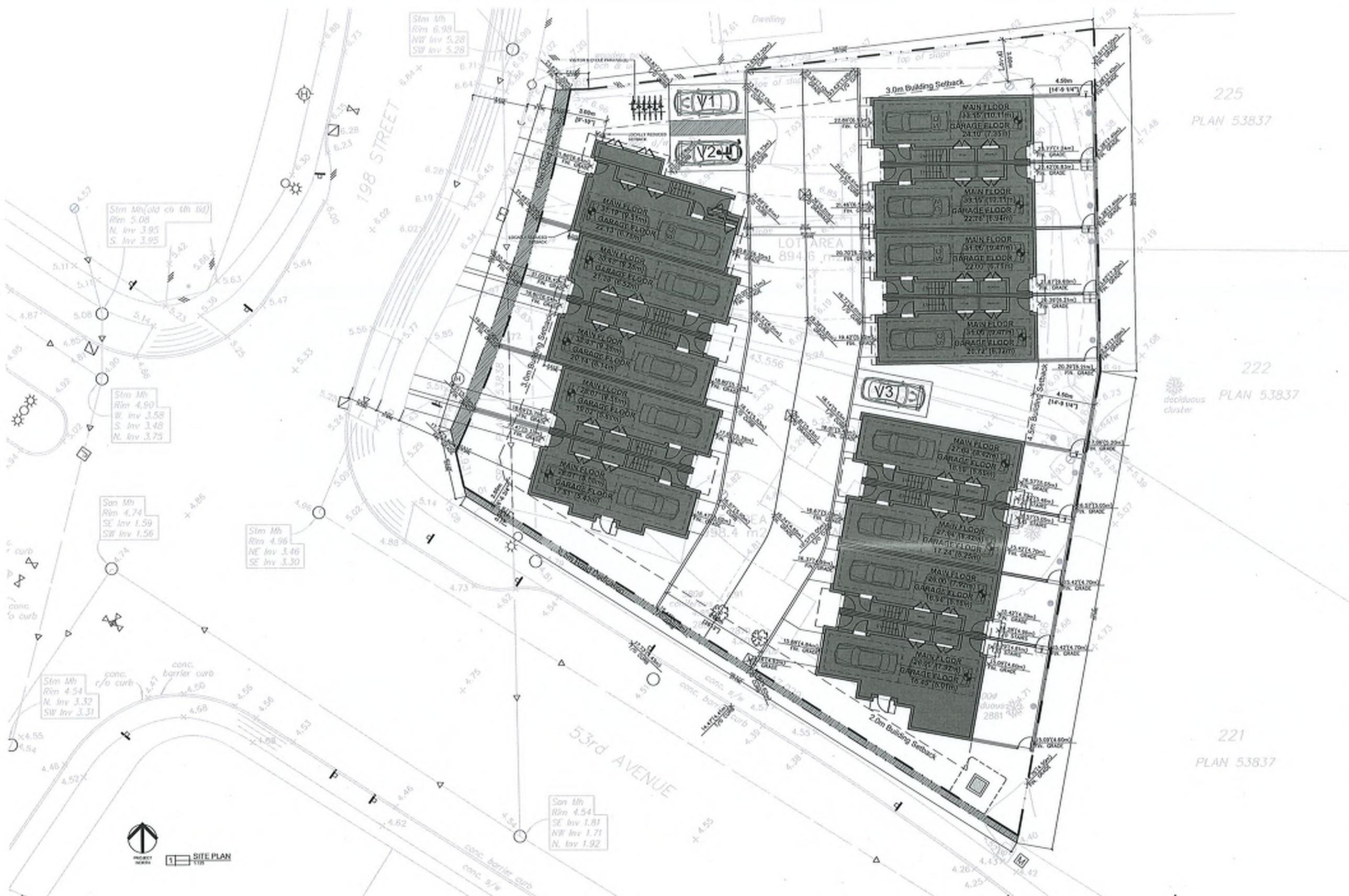
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QUARRY ROCK
DEVELOPMENTS





225
PLAN 53837

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PLAN 53837

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PLAN 53837



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BRYDON LANDING TOWNHOUSE DEVELOPMENT

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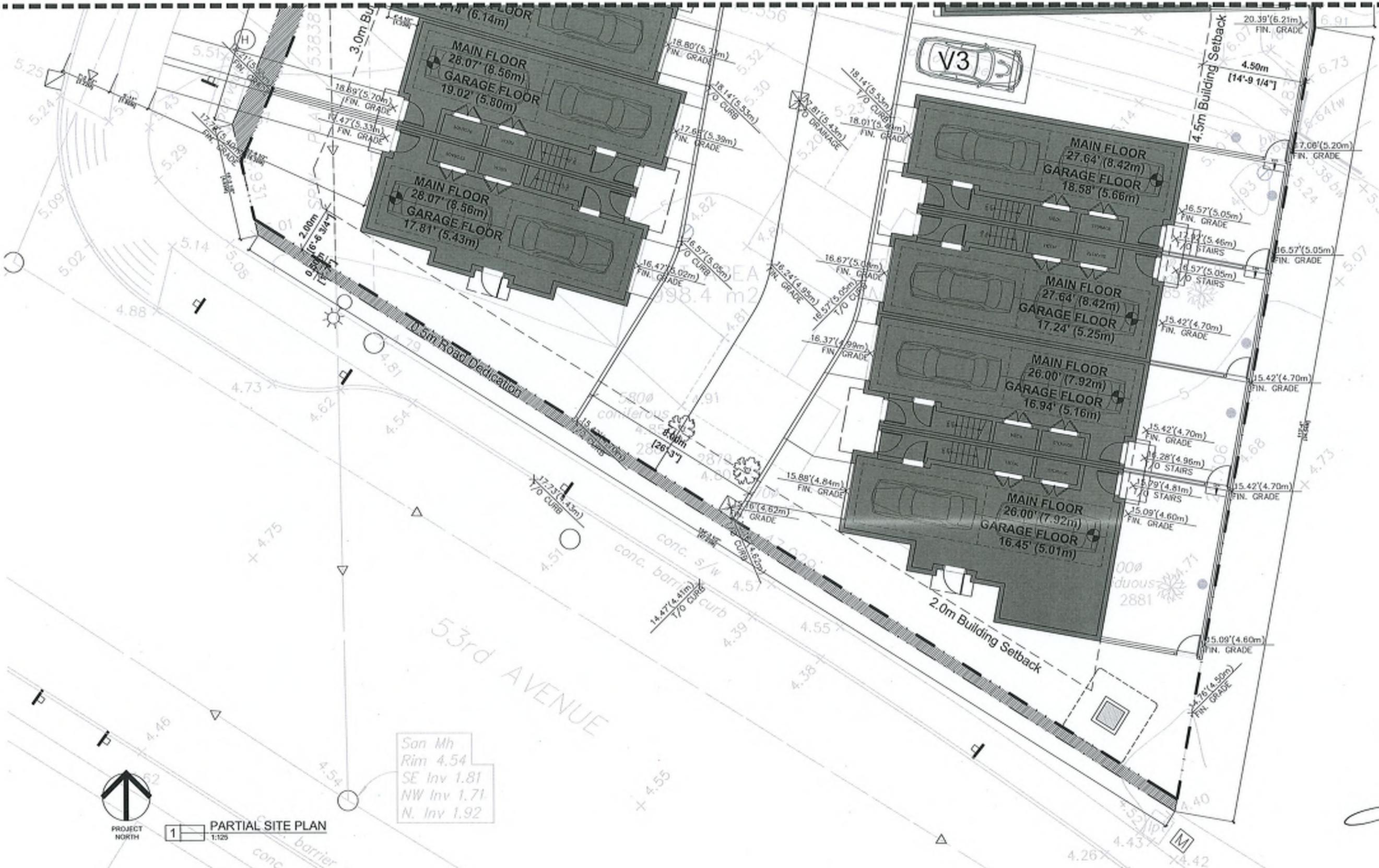


DP1.0

OVERALL SITE PLAN

SCALE: 1:125





San Mh
Rim 4.54
SE Inv 1.81
NW Inv 1.71
N. Inv 1.92

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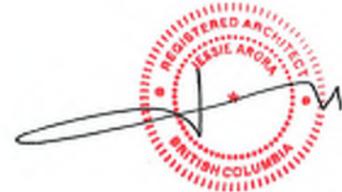
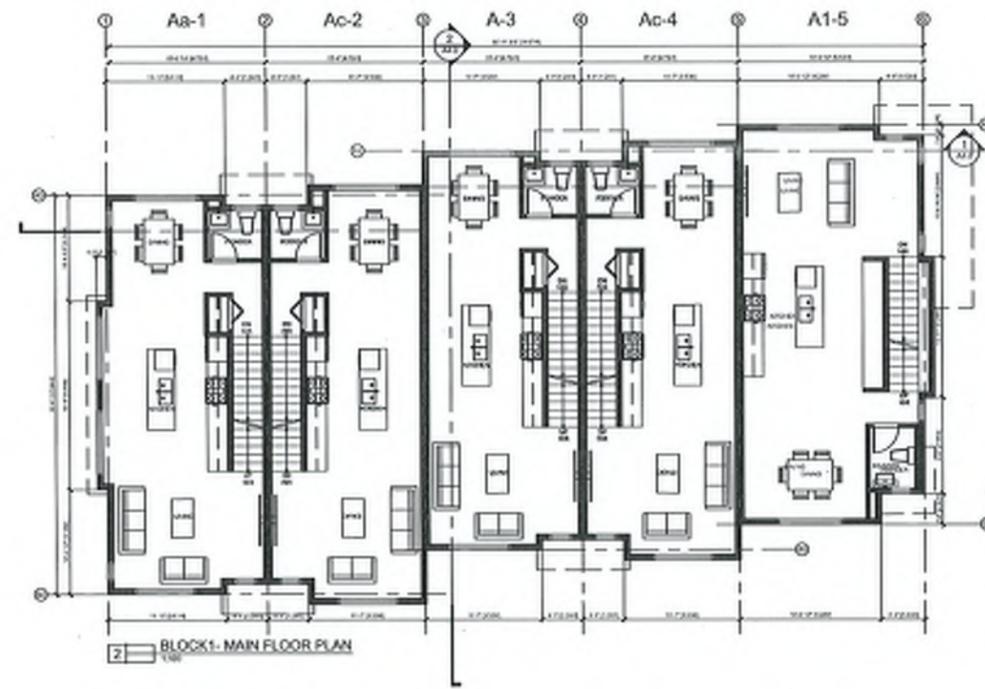
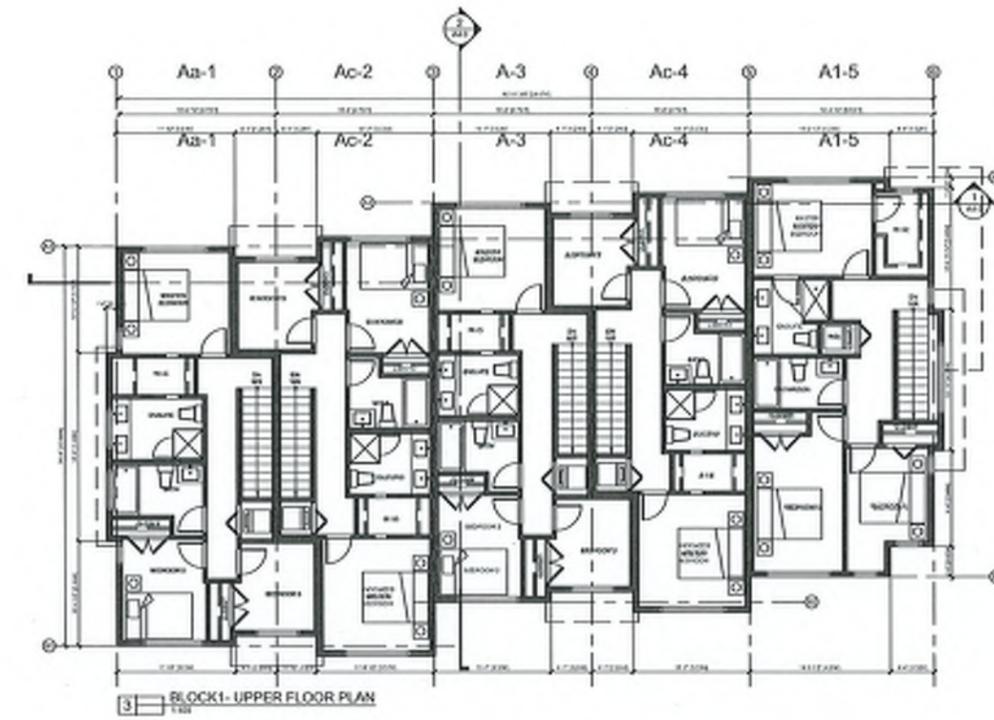
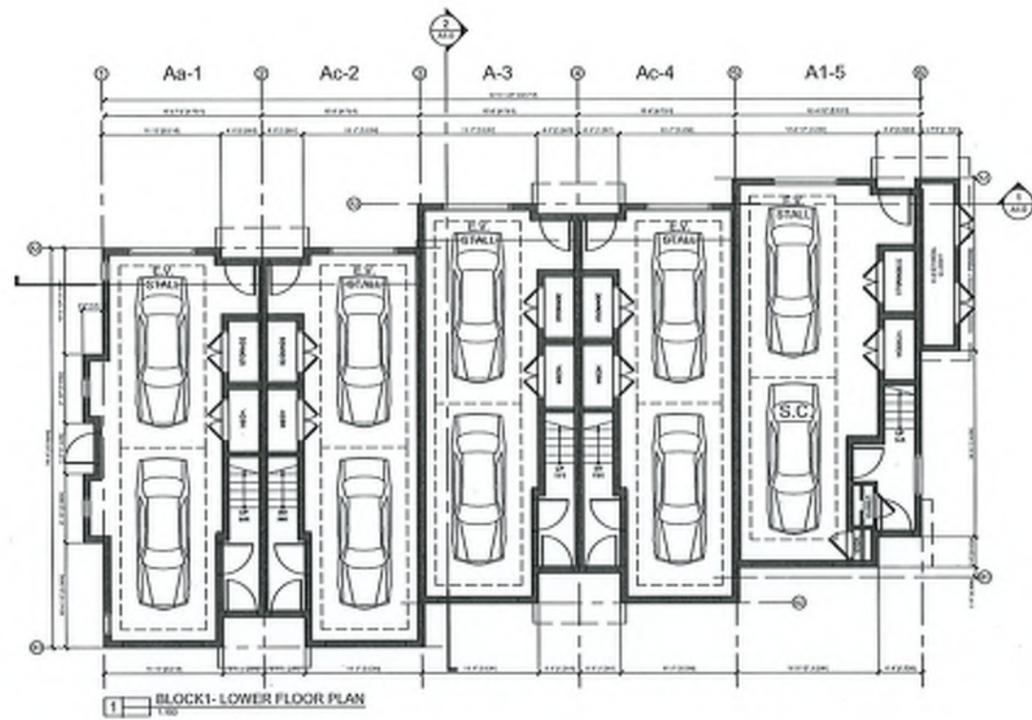
JUL 12 2021

DP1.1b

ENLARGED SITE PLAN

SCALE: 1:75





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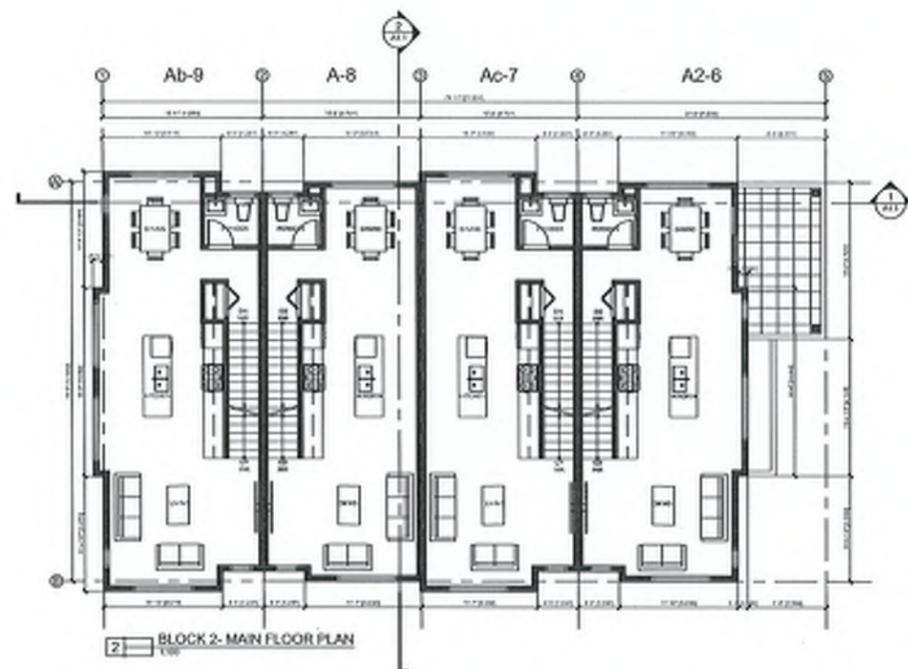
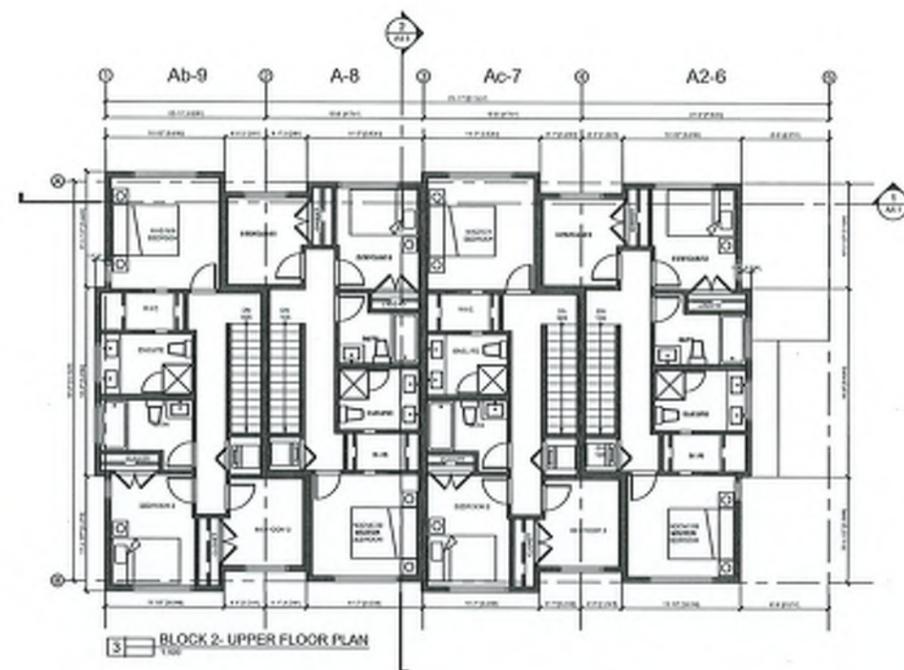
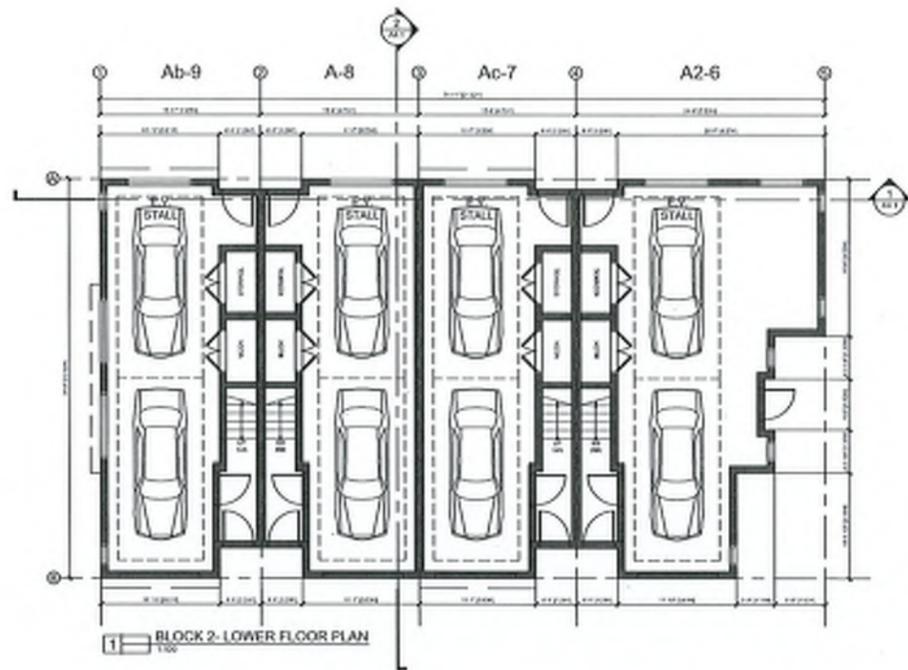


DP2.0

FLOOR PLANS
BLOCK 1

SCALE: 1:100





JUL 12 2021

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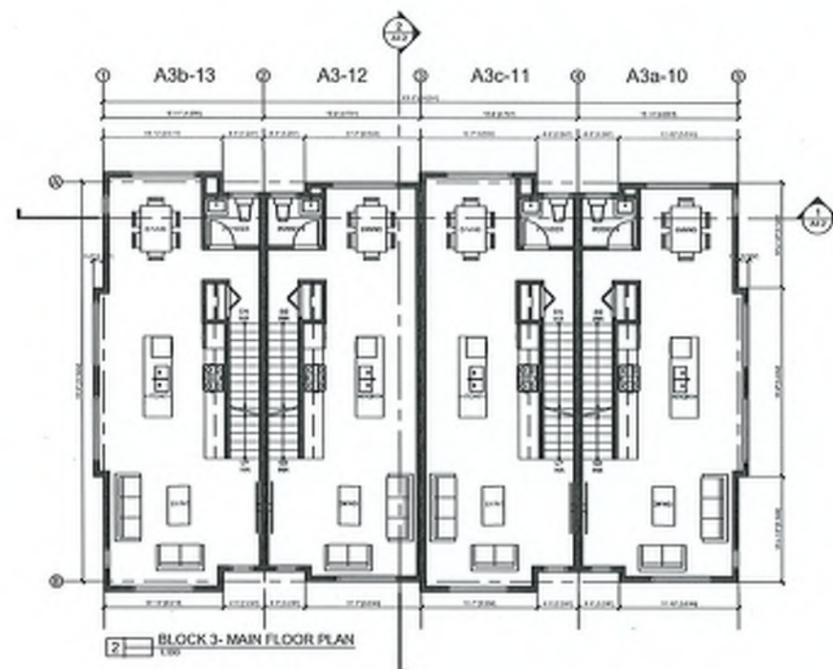
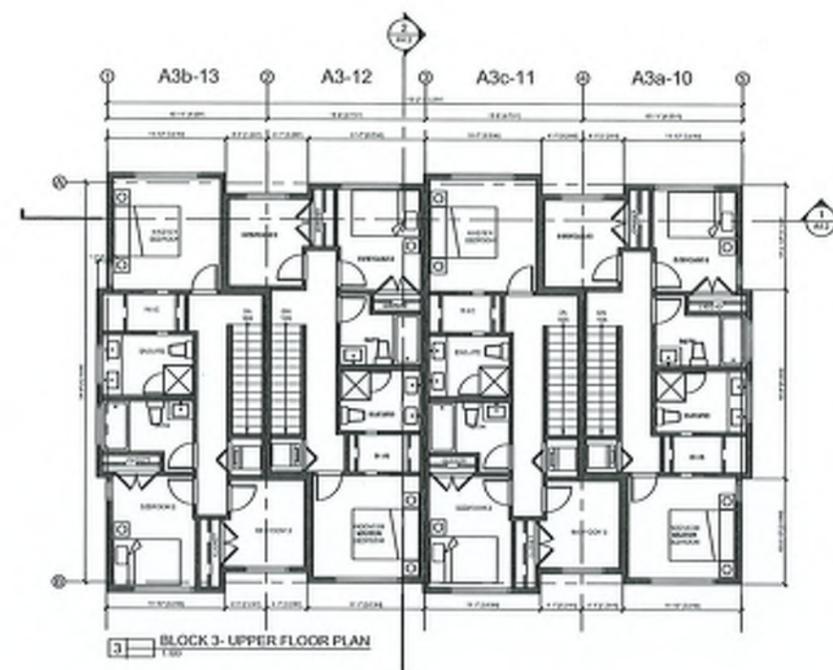
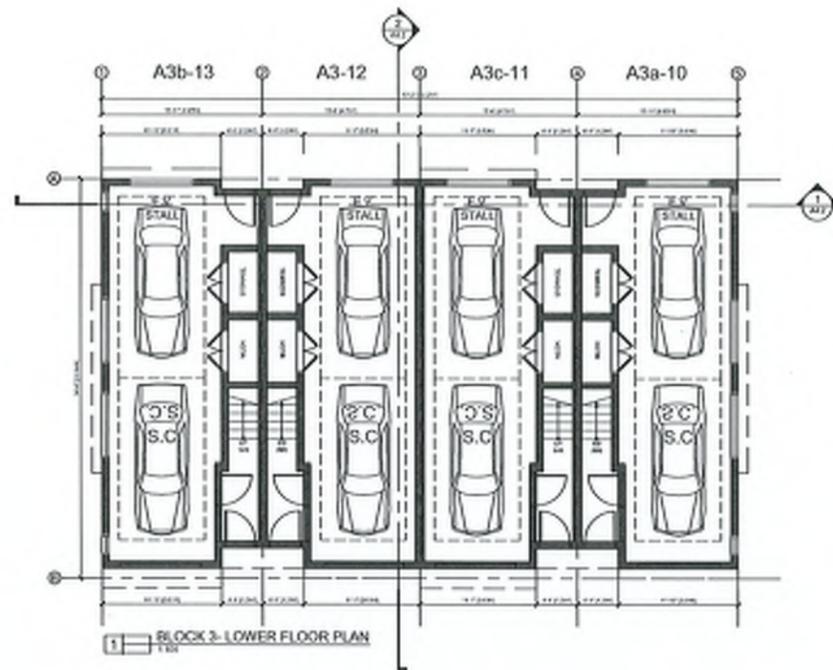
FLOOR PLANS
BLOCK 2

SCALE: 1:100



QUARRY ROCK
DEVELOPMENTS





REGISTERED ARCHITECT
JESSIE ANTON
VICTORIA
JUL 12 2021

BRYDON LANDING TOWNHOUSE DEVELOPMENT

QUARRY ROCK DEVELOPMENTS

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DP2.2

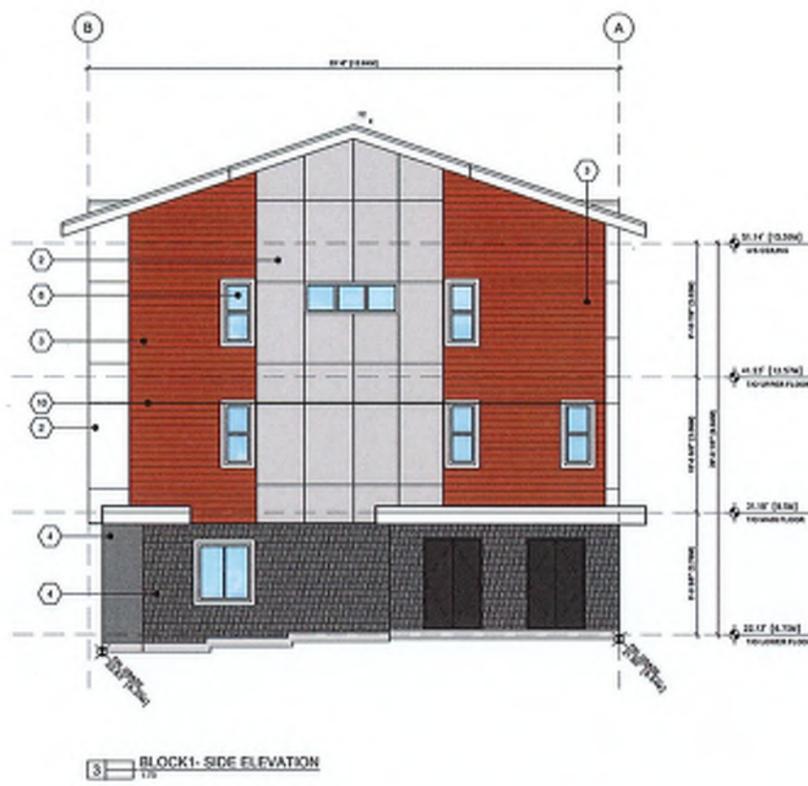
FLOOR PLANS
BLOCK 3

SCALE: 1:100



QUARRY ROCK
DEVELOPMENTS





MATERIAL FINISHES LEGEND

1	ASPHALT ROOFING - STORM GREY
2	FIBER CEMENT SMOOTH PANEL - ARCTIC WHITE
3	FIBER CEMENT LAP SIDING 'WOOD-TONE' - ROSEWOOD
4	FIBER CEMENT ASPHALT SHINGLES - RICH EXPRESSO
5	FIBER CEMENT SMOOTH PANEL - PEARL GRAY
6	PAINTED WOOD TRIMFACIA - EBONY SLATE
7	FIBERGLASS O/H GARAGE DOOR AND DOOR - WHITE
8	VINYL WINDOWS - PREFINISHED (WHITE)
9	PAINTED FIBERGLASS DOOR - DARK GRAY
10	THROUGH WALL FLASHING TO MATCH ADJACENT CLADDING COLOUR

REGISTERED ARCHITECT
 LESSIE ARORA
 BRITISH COLUMBIA
 JUL 1 2 2021

BRYDON LANDING TOWNHOUSE DEVELOPMENT

QUARRY ROCK DEVELOPMENTS
 5324-5326/5334-5336 198th Street Langley, B.C.

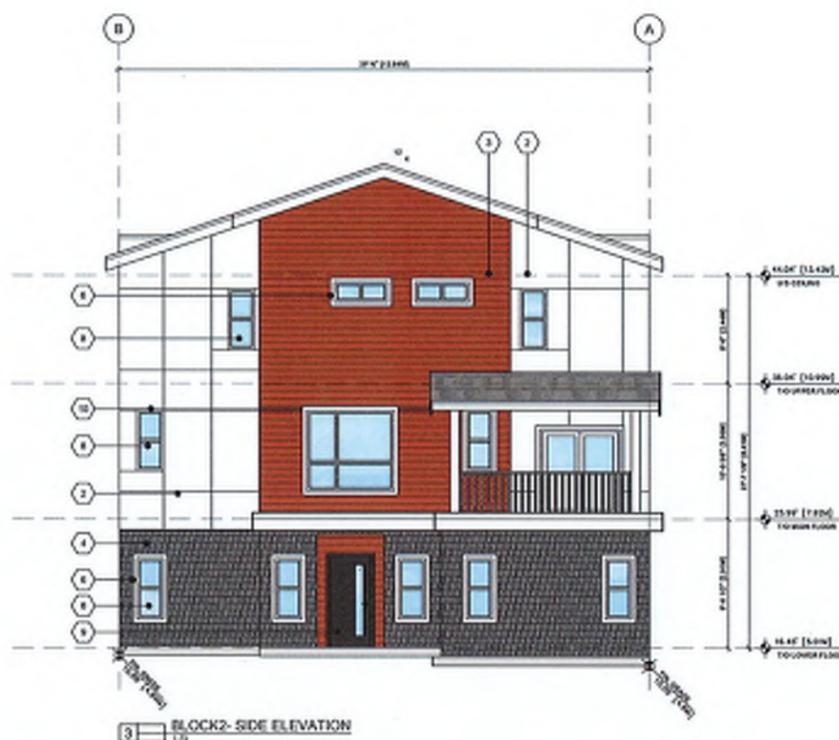
ATELIER PACIFIC ARCHITECTURE INC.
 Revised: JULY 09, 2021 DP Submission: FEBRUARY 22, 2021
 Revised: JUNE 20, 2021
 Revised: JULY 05, 2021

DP3.0

ELEVATIONS
 BLOCK 1

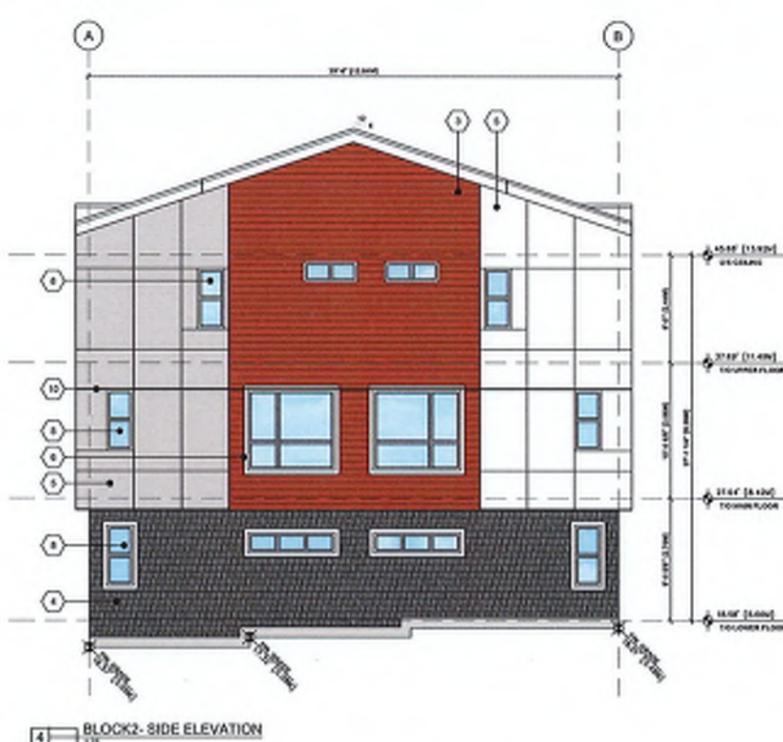
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MATERIAL FINISHES LEGEND

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4	FIBER CEMENT ASPHALT SHINGLES - RICH EXPRESSO
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6	PAINTED WOOD TRIMFACIA - EBONY SLATE
7	FIBERGLASS O/H GARAGE DOOR AND DOOR - WHITE
8	VINYL WINDOWS - PREFINISHED (WHITE)
9	PAINTED FIBERGLASS DOOR - DARK GRAY
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JUL 1 2 2021

DP3.1

ELEVATIONS
BLOCK 2

SCALE: 1:100

BRYDON LANDING TOWNHOUSE DEVELOPMENT

QUARRY ROCK DEVELOPMENTS

5324-5326/5334-5336 190th Street Langley, B.C.

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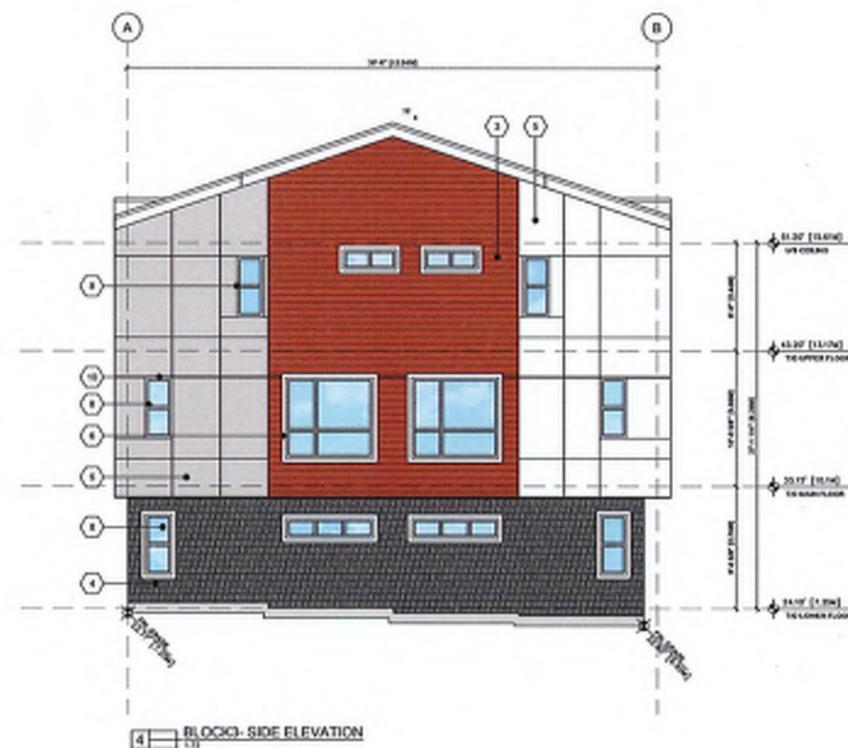
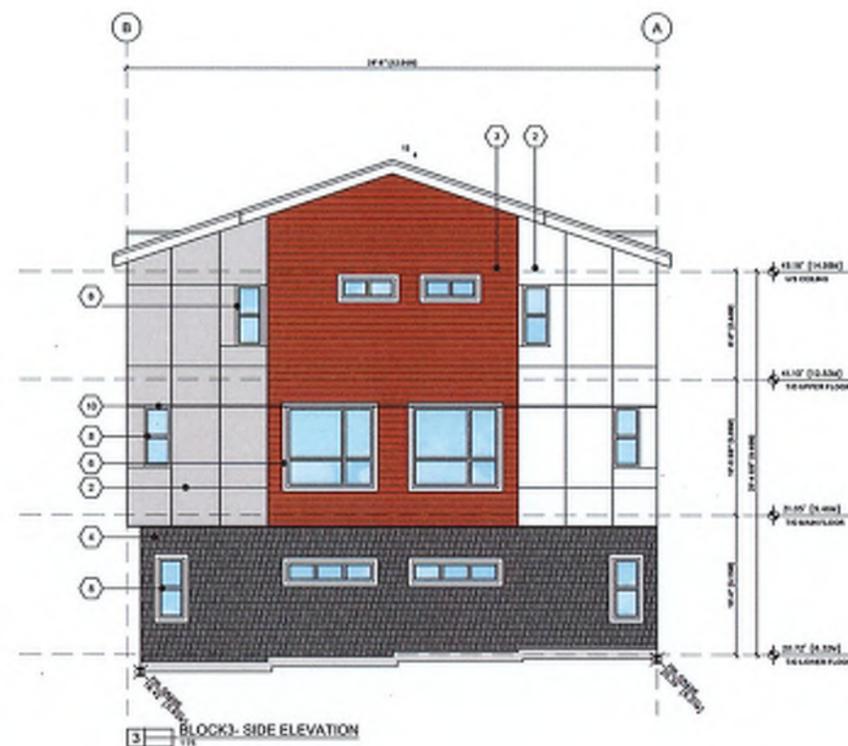
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QUARRY ROCK
DEVELOPMENTS





MATERIAL FINISHES LEGEND

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10	THROUGH WALL FLASHING TO MATCH ADJACENT CLADDING COLOUR



JUL 1 2 2021

DP3.2

ELEVATIONS
BLOCK 3

SCALE: 1:100

BRYDON LANDING TOWNHOUSE DEVELOPMENT

QUARRY ROCK DEVELOPMENTS

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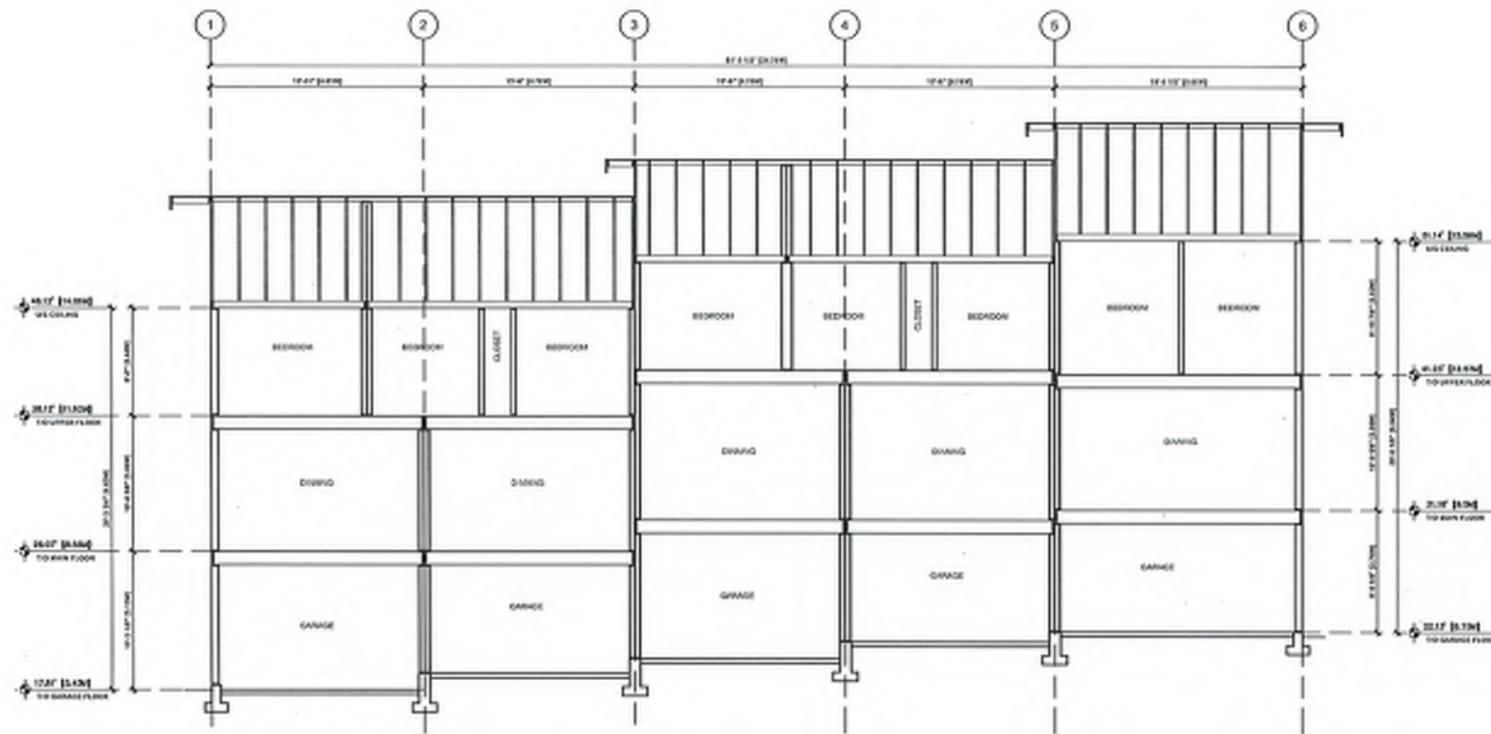
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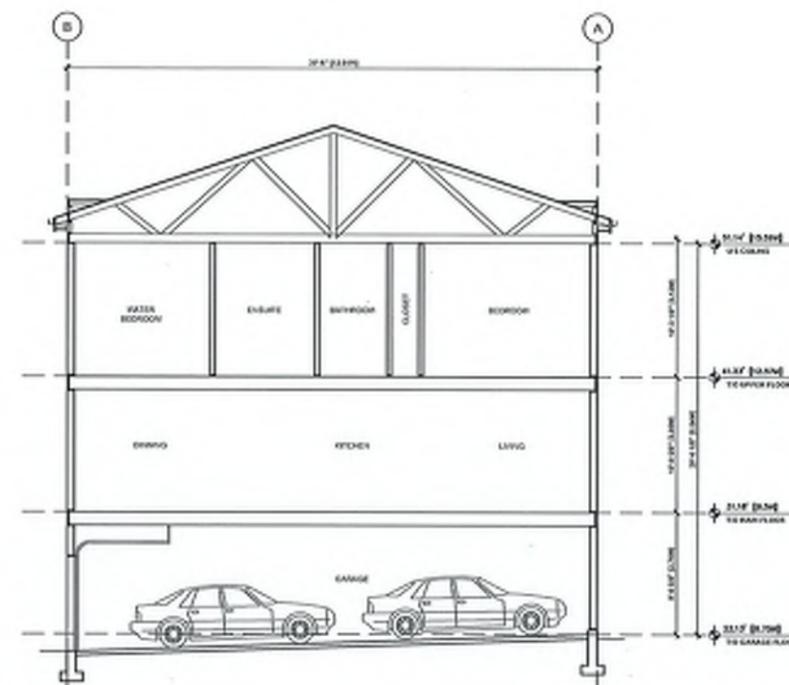


QUARRY ROCK
DEVELOPMENTS





1 BLOCK1- N-S SECTION



2 BLOCK1- E-W SECTION



JUL 1 2 2021

DP4.0

SECTIONS
BLOCK 1

SCALE: 1:100

BRYDON LANDING TOWNHOUSE DEVELOPMENT

QUARRY ROCK DEVELOPMENTS

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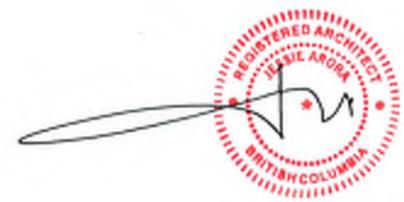
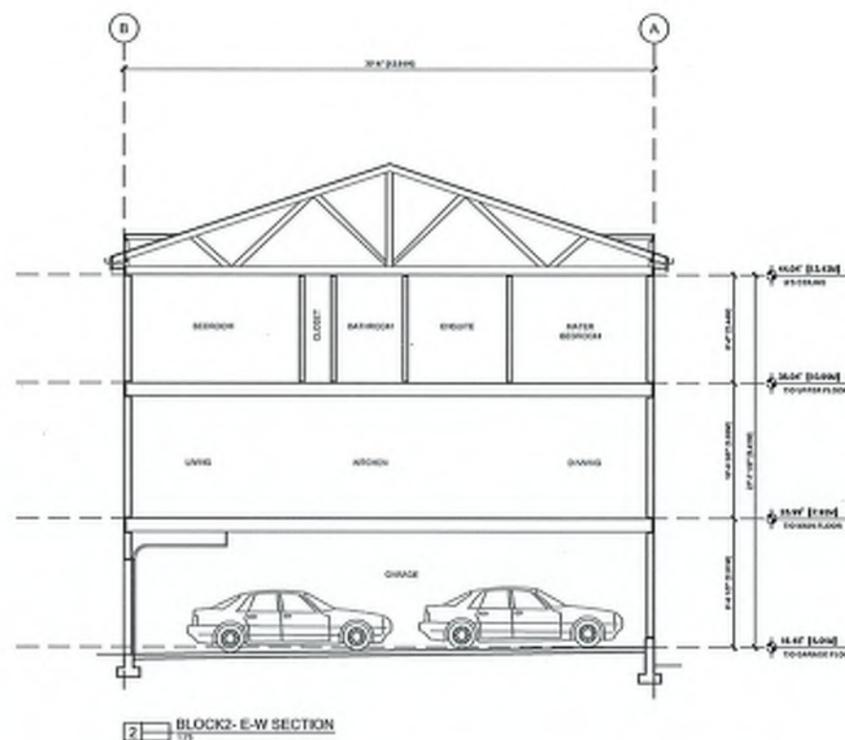
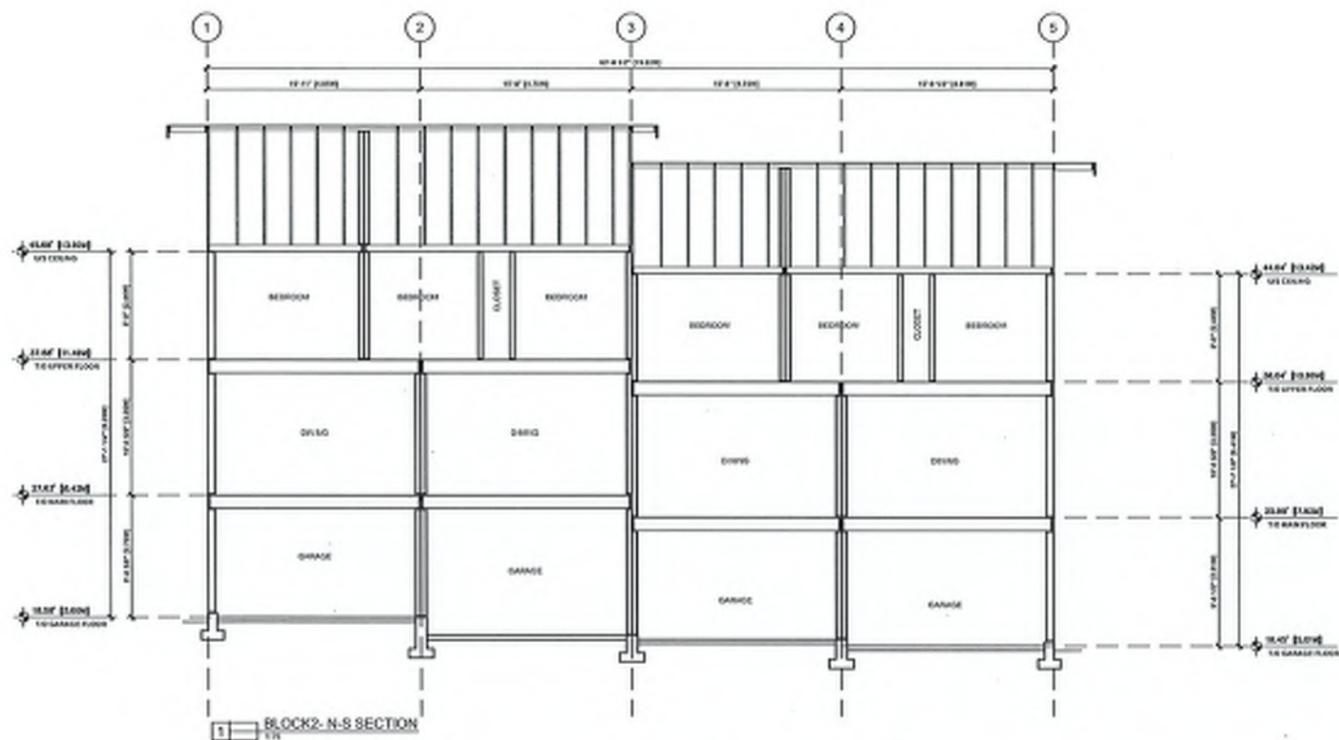
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QUARRY ROCK
DEVELOPMENTS





JUL 1 2 2021

DP4.1

SECTIONS
BLOCK 2

SCALE: 1:100

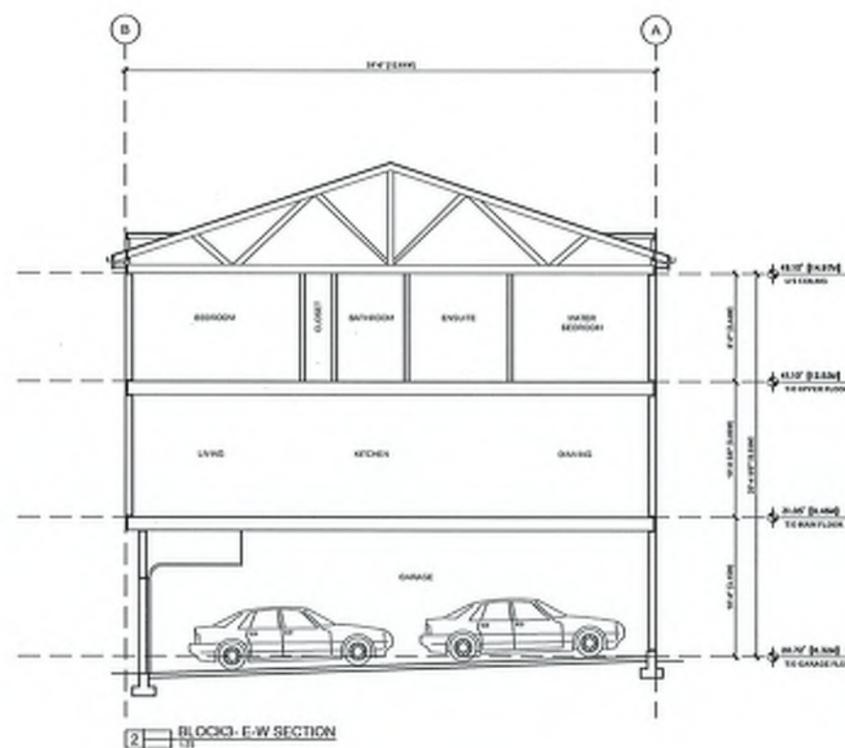
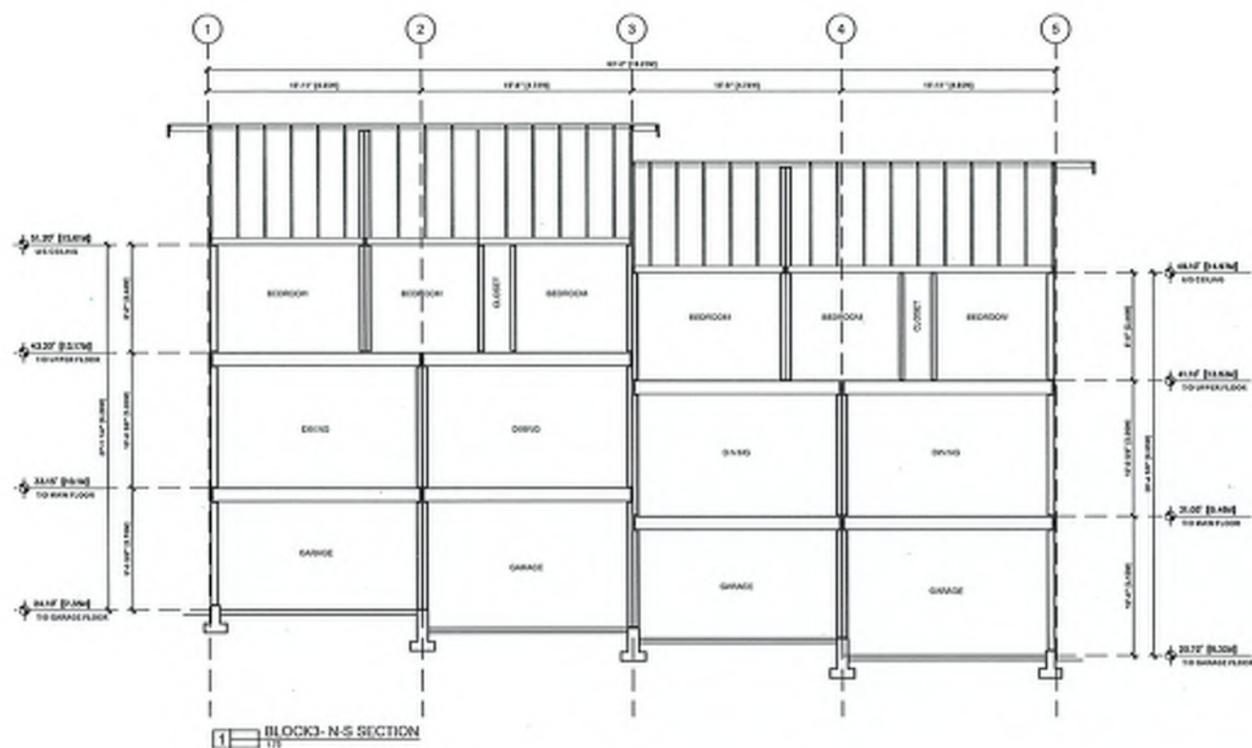
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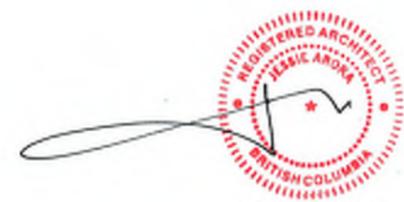
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QUARRY ROCK
DEVELOPMENTS




 JUL 1 2 2021

BRYDON LANDING TOWNHOUSE DEVELOPMENT

DP4.2

SECTIONS
BLOCK 3

SCALE: 1:100



QUARRY ROCK
DEVELOPMENTS

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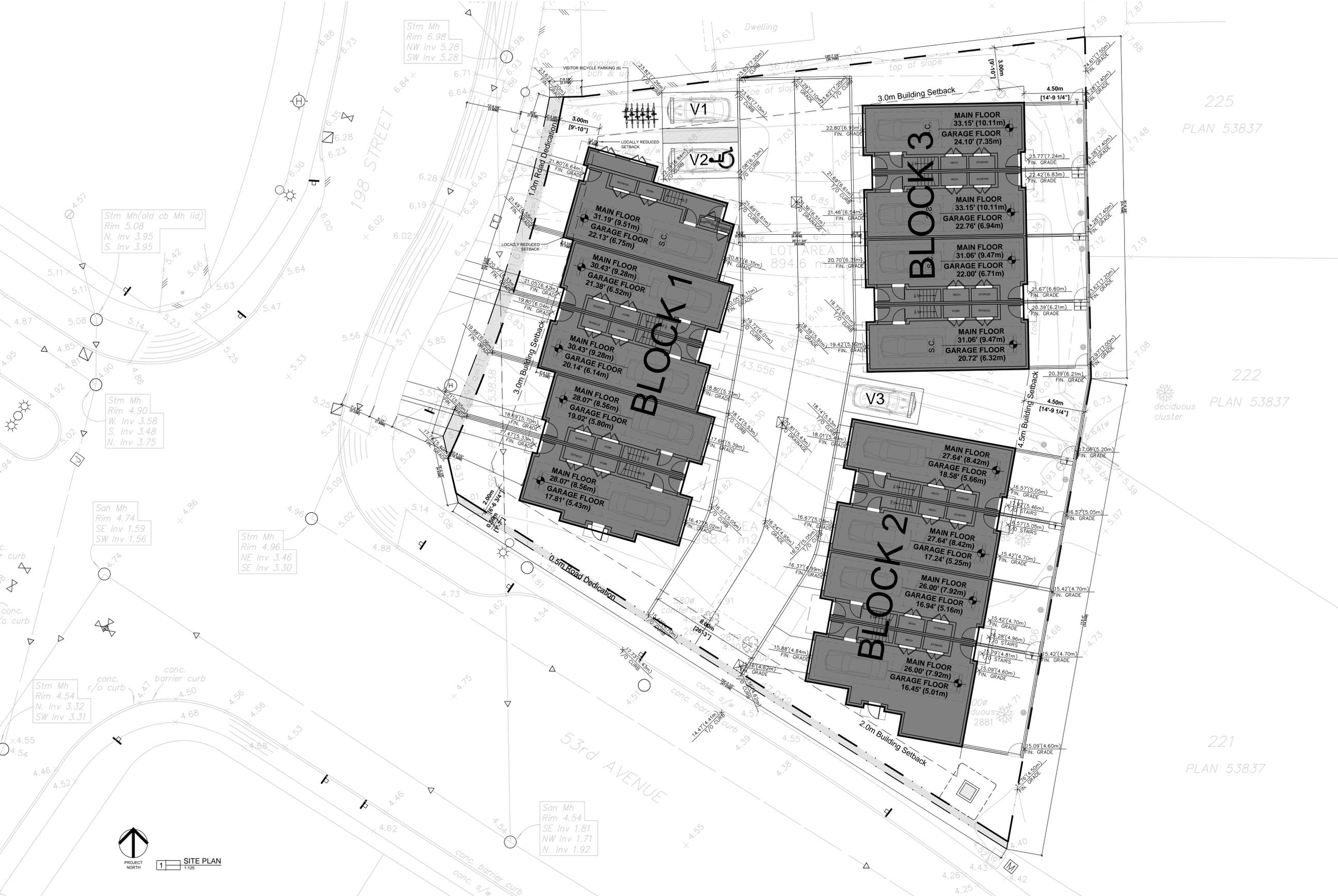
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Revised: JUNE 20, 2021

Revised: JULY 05, 2021





225
PLAN 53837

222
PLAN 53837

221
PLAN 53837

BRYDON LANDING TOWNHOUSE DEVELOPMENT

QUARRY ROCK DEVELOPMENTS

5324-5326/5334-5336 198th Street Langley, B.C.

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DP1.0

OVERALL SITE
PLAN

SCALE: 1:125



PROJECT
NORTH

1 SITE PLAN
1:125

Brydon Landing Townhouse Development

Re-issued for Development Permit

Contact Information	Other Key Contacts:	
VDZ+A Project Landscape Architecture Fort Langley Studio 100 - 9181 Church Street Fort Langley, British Columbia, V1M 2R8 Mount Pleasant Studio 102-355 Kingsway Vancouver, British Columbia, V5T 3J7 Primary project contact: Jennifer Wall jennifer@vdz.ca o. 604 546 0928 Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vdz.ca o. 604 546 0928	Quarry Rock Developments Project Owner 5489 Byrne Rd Burnaby, BC V5J 3J1 (604) 699 8000	Atelier Pacific Architecture Project Building Architecture 111-3823 Henning Dr Burnaby, BC V5C 6P5 (604) 662 8689
Legal Address and Description: 5324 198 ST LANGLEY BC V3A 1E9 PID: 001-664-668 Folio: 123510 Legal: Plan NWS1183 Lot 1		

Sheet List Table	
Sheet Number	Sheet Title
L-00	COVER SHEET
L-01	TREE MANAGEMENT PLAN
L-02	SITE PLAN
L-03	GRADING PLAN
L-04	PLANTING PLAN
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS



1 SITE PLAN OVERVIEW
Scale: 1:250



2 LOCATION MAP
Scale: N.T.S.

No.	By:	Description	Date
5	JW	Re-issued for DP	2021-July-12
4	JW	Re-issued for DP	2021-Jun-22
3	JW	Issued for DP	2021-Feb-19
2	JW	Issued for DP	2021-Jan-27
1	JW	Issued for Review	2020-Jan-06

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Brydon Landing
Townhouse Development

Location:
5336, 5334, 5326, 5300
198 Street
Langley, B.C.

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Scale: As Shown	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REQUIREMENTS AND CONDITIONS MUST BE MET BY THE CONTRACTOR AND SHALL BE LABELED AS SUCH FOR THE CONTRACTOR'S RECORD.

Drawing Title:
COVER SHEET



VDZ Project #:
DP2020-65

Drawing #:
L-00



GRADING LEGEND

KEY	DESCRIPTION
6.80 EG	EXISTING GRADE
6.80	PROPOSED GRADE
6.80 TW	TOP / BOTTOM OF WALL
6.20 BW	STAIR RISERS & ELEVATION
2@175mm	SLOPE

1 GRADING PLAN
Scale 1:150



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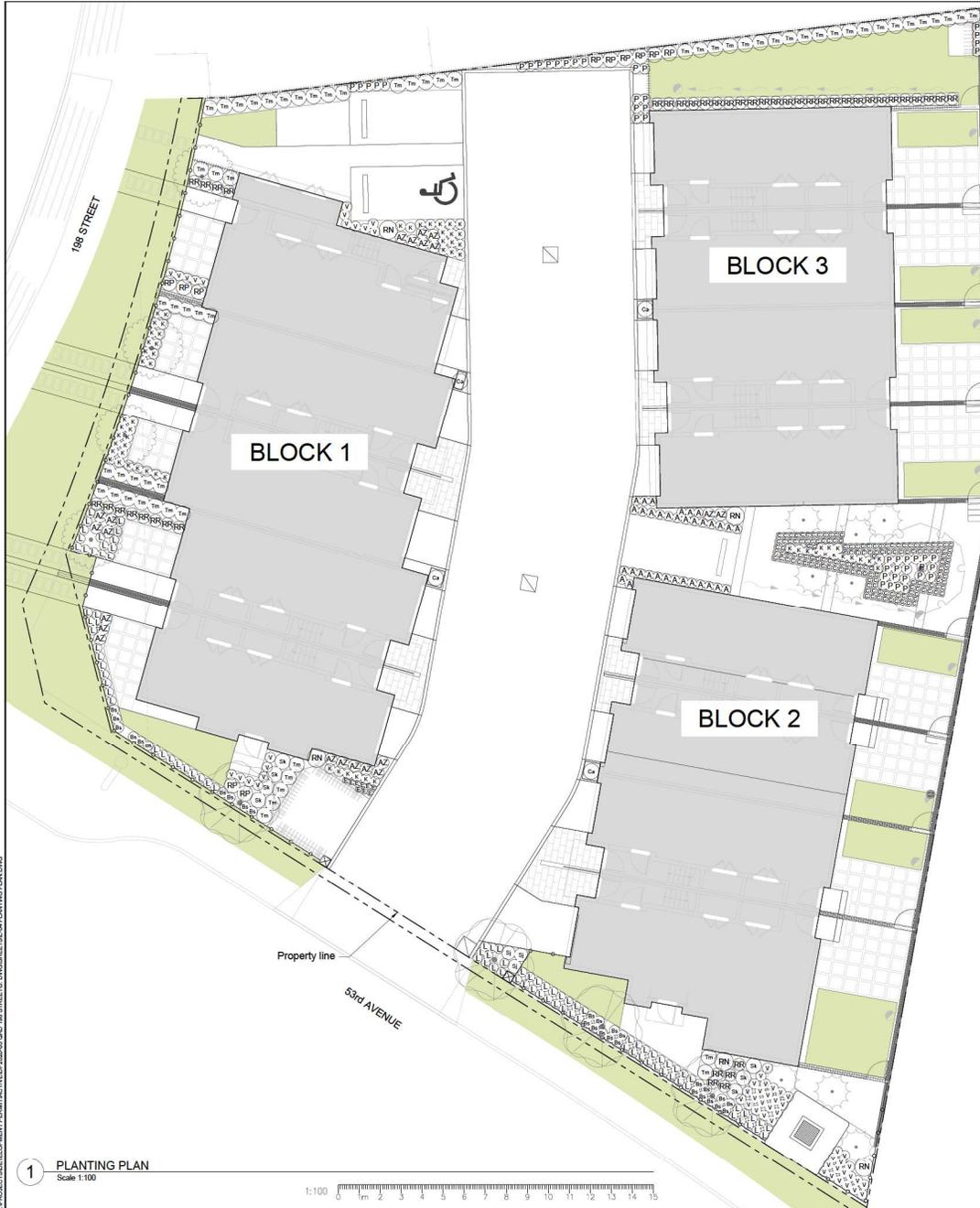
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Drawing Title: **GRADING PLAN**



VDZ Project #: **DP2020-65**

Drawing #: **L-03**



TREE SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY
	Acer griseum / Paperbark Maple	B&B, 6cm cal	1
	Carpinus caroliniana 'Firepire' / Firepire American Hornbeam	B&B, 6cm cal	4
	Magnolia x soulangeana 'Susan' / Susan Magnolia	B&B, 6cm cal	4
	Picea abies 'Cupressina' / Columnar Norway Spruce	2.5m Height B&B	8

PLANT SCHEDULE

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	Azalea japonica 'Hino Crimson' / Hino Crimson Japanese Azalea	#3	0,6m	21
	Buxus sempervirens 'Green Mountain' / Green Mountain Boxwood	#2	0,5m	28
	Rhododendron x 'Nova Zembla' / Rhododendron	#3	0,9m	5
	Rhododendron x 'P.J.M.' / P.J.M. Rhododendron	#3	0,75m	11
	Rhododendron x 'Ramapo' / Ramapo Rhododendron	#3	0,6m	43
	Skimmia japonica 'Rubella' / Skimmia	#2	0,75m	7
	Spiraea japonica 'Goldmound' / Spiraea	#2	0,65m	3
	Taxus x media 'H.M. Eddie' / Eddie Yew	1,2m ht.	0,75m	63
FERNS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	Polystichum munifolium / Western Sword Fern	#2	0,5m	45
VINES	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	Clematis armandi / Evergreen Clematis	#1	0,75m	4
GRASSES	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	Carex morrowii 'Ice Dance' / Ice Dance Japanese Sedge	#1	0,3m	148
	Hakonechloa macro 'Aureola' / Golden Japanese Forest Grass	#1	0,45m	34
PERENNIALS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	Calluna vulgaris 'Silver Knight' / Silver Knight Heather	#1	0,5m	57
	Echinacea purpurea 'Magnus' / Magnus Purple Coneflower	#1	0,3m	9
	Erica x darleyensis 'Kramer's Red' / Kramer's Red Heather	#1	0,5m	66
	Lavandula angustifolia 'Munstead' / Munstead English Lavender	#1	0,45m	92

Planting Notes:

- Plants in this plant list are specified according to the Canadian Nursery Landscape Association Canadian standards for nursery stock and section 12, container grown plants of the BC landscape standard, current edition.
- All plant material shall meet or exceed standards required by BCLNA or BCSLA guidelines. Plant material to be approved by landscape architect prior to delivery to site.
- Topsoil supplied shall be from a reputable source. A full analysis of the topsoil will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend topsoil per soil analysis recommendations prior to spreading on site. Rejected topsoil shall be removed from site immediately at the landscape contractors expense.
- Topsoil depths for planting as follows:
 - shrubs: 450mm
 - sod: 150mm
 - tree pits: 1000mm with 300mm (below root ball)
6. 2" minus compost mulch to be installed in all shrub planting areas.
- Plantings to be offset 250mm from curb and other edges in proximity to parking spaces and pedestrian walkways measured from edge of foliage.

Irrigation Note:
 1. All areas to be irrigated. Irrigation system to meet or exceed IIABC standards. Landscape architect to review irrigation plans.

VDZ+A
 landscape architecture | interior architecture | urban planning
 FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO
 100-5181 Church St | 101-355 Kingsway
 Fort Langley, BC | Nanaimo, BC
 VIM 2B8 | VST 1A7
 www.vdz.ca | 604-882-0024

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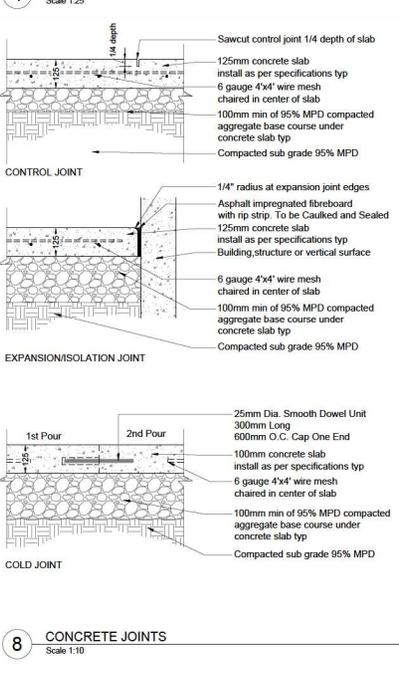
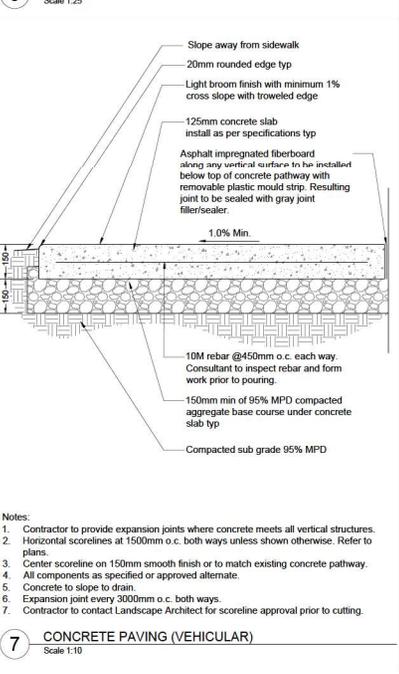
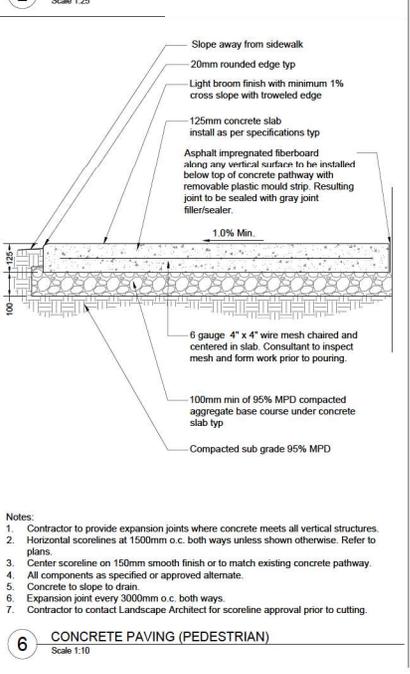
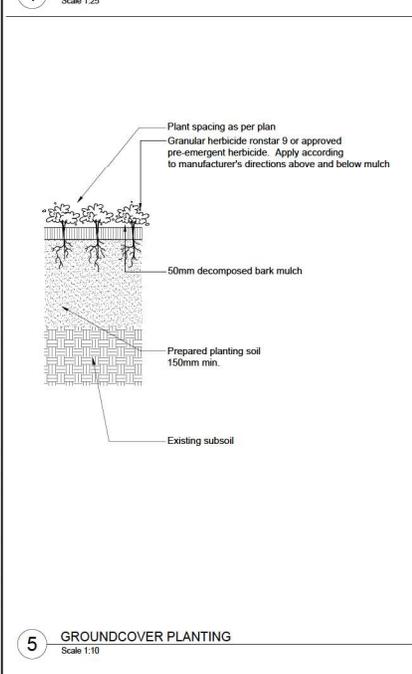
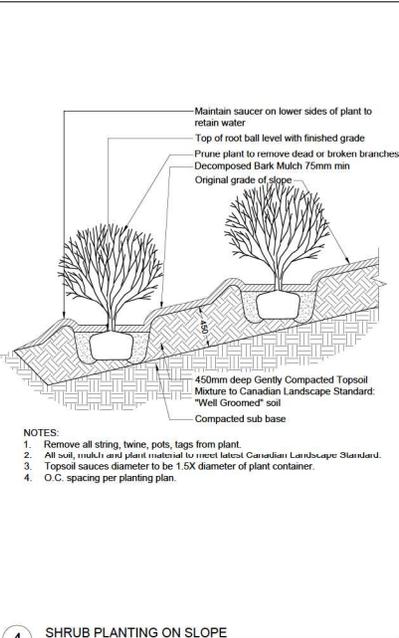
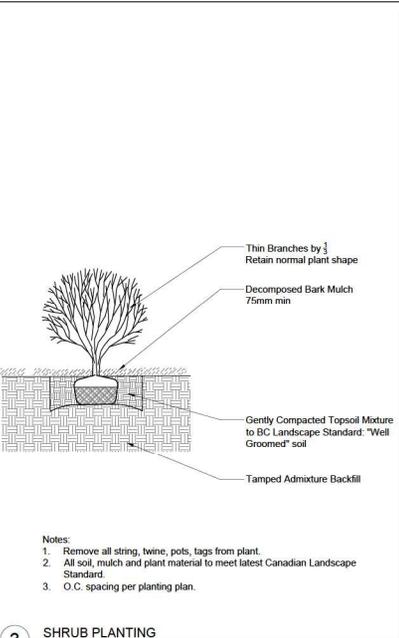
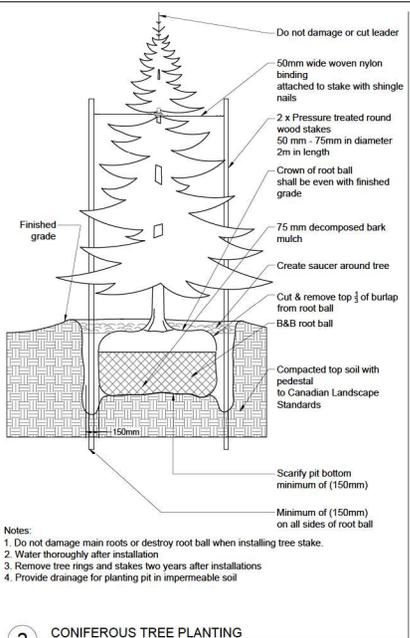
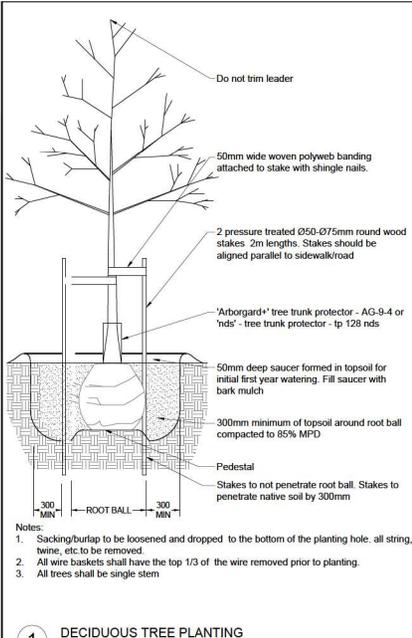
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Z:\PROJECTS\DEVELOPMENT\TOWNHOUSE\DP2020-65\040_198 STREET\040_198 STREET_VDZ\BIBL-04 PLANTING PLAN.DWG

1 PLANTING PLAN
 Scale 1:100

Drawing Title: **PLANTING PLAN**
 Drawing #: **L-04**
 Project #: **DP2020-65**
 NORTH



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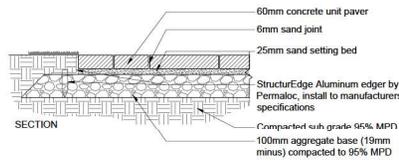
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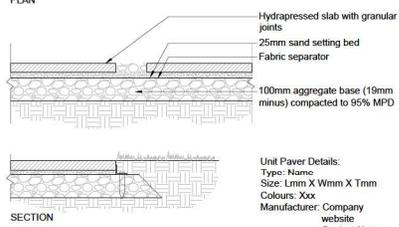
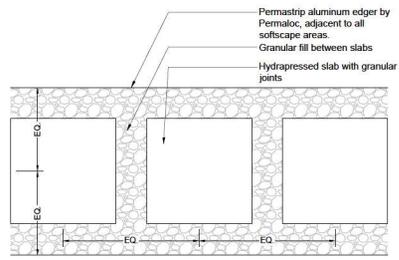


- NOTES:**
1. All bedding sand to meet ASTM C33 or CSA A23.1 FA.1.
 2. All joint sand to meet ASTM C144 or CSA A17.9.
 3. All components as specified or approved alternate.
 4. Contractor to provide cut sheets of all components for Landscape Architect approval.
 5. Contractor to ensure no visible pooling occurs on paver surface.
 6. All joints to be tight fit.
 7. All paver cuts to be minimum $\frac{1}{2}$ Paver.

1 UNIT PAVERS
Scale N.T.S.



5 1.2M HIGH STREET FRONTAGE FENCING
Scale N.T.S.



- Notes:**
1. Install all components as per manufacturer's specifications.
 2. Slabs to be spaced equally between adjacent surfaces.
 3. Limit slab cuts to $\frac{1}{2}$ slab.

2 HYDRAPRESSED SLAB IN GRANULAR
Scale N.T.S.



6 PRIVACY PANELS AT DRIVEWAY ENTRANCES
Scale N.T.S.



3 BACKYARD PATIOS
Scale N.T.S.



7 PRIVACY FENCE
Scale N.T.S.



4 PAVERS OUT TO 198 STREET
Scale N.T.S.



8 RETAINING WALL
Scale N.T.S.

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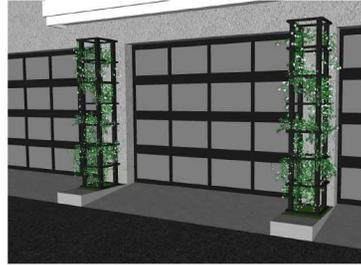
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1 BIKE RACK
Scale N.T.S.



2 BENCH
Scale N.T.S.



3 METAL TRELLIS AT DRIVEWAYS
Scale N.T.S.



4 ENTRY COLUMN
Scale N.T.S.



5 ENTRY TRELLIS WITH SIGNAGE
Scale N.T.S.



6 CANTILEVER TRELLIS
Scale N.T.S.

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 Townhouse Development

 Location:
 5336, 5334, 5326, 5300
 198 Street
 Langley, B.C.

Drawn: AL	Stamp:
Checked: JW	
Approved: MVDZ	Original Sheet Size: 24"x36" 2021-07-12

Scale:
 AS SHOWN
 CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REQUIREMENTS AND CONDITIONS MUST BE MET BY THE CONTRACTOR AND SHALL BE LABELLED ISSUED FOR TENDER/CONSTRUCTION.

Drawing Title:
DETAILS

VDZ Project #:
DP2020-65

Drawing #:
LD-03