

CITY OF
LANGLEY



ADVISORY DESIGN PANEL

WEDNESDAY, JULY 19, 2023 AT 7:00 PM

Council Chambers
Langley City Hall
(In-Person Meeting)

A G E N D A

1) **AGENDA**

Adoption of the July 19, 2023 agenda.

2) **MINUTES**

Adoption of minutes from the July 5, 2023 meeting.

3) **DEVELOPMENT PERMIT APPLICATION DP 06-23**

6-storey, 126-unit apartment building at 19948 55A Avenue.

4) **NEXT MEETING**

September (to be confirmed).

5) **ADJOURNMENT**



**MINUTES OF THE
ADVISORY DESIGN PANEL**

**HELD IN COUNCIL CHAMBERS,
LANGLEY CITY HALL**

**WEDNESDAY, JULY 5, 2023
AT 7:01 PM**

In Attendance: Councillor Paul Albrecht (Chair)
Councillor Mike Solyom (Co-Chair)
Blair Arbuthnot
Matt Hassett
Leslie Koole
Johnnie Kuo
Cst. Peter Mann
Chad Neufeld
Tony Osborn
Scott Thompson
Ella van Enter

Guest: Mayor Nathan Pachal

Staff: C. Johannsen, Director of Development Services
R. Beddow, Deputy Director of Development Services
A. Metalnikov, Planner

Chair Albrecht began by acknowledging that the land on which we gather is on the traditional unceded territory of the Katzie, Kwantlen, Matsqui and Semiahmoo First Nations.

1) AGENDA

Adoption of the July, 5 2023 agenda.

It was MOVED and SECONDED

THAT the agenda for the July 5, 2023 Advisory Design Panel be approved.

CARRIED

2) **MINUTES**

Adoption of minutes from the June 7, 2023 meeting.

It was MOVED and SECONDED

THAT the minutes of the June 7, 2023 Advisory Design Panel meeting be approved as circulated.

CARRIED

3) **ZONING BYLAW UPDATE**

Mr. Carl Johannsen, Director of Development Services, provided an update on the scope, process and timing of the Zoning Bylaw Update, which is being undertaken to modernize and align the Zoning Bylaw with the new Official Community Plan (OCP).

4) **DEVELOPMENT PERMIT APPLICATION DP 05-23**

Proposed 2-building, 9,681 m2 industrial development at 5721 Production Way.

Mr. Roy Beddow, Deputy Director of Development Services, spoke to the staff report dated June 23, 2023 and provided a brief overview of the Development Permit application.

The Applicant team entered the meeting:

- Jeremy Bergmann, Senior Project Manager, Hungerford Properties
- Jon Leugner, Senior Director of Real Estate, Hungerford Properties
- Darren Cruickshanks, Senior Associate Project Manager, d. Force Design Inc.
- Jessica Thiessen, Landscape Architect, Manager, KD Planning & Design Ltd.
- Ruchir Dhall, Principal, Architecture Panel Inc.

Mr. Dhall, Leugner and Cruickshanks presented the application, providing an overview of the development with details on the following:

- Site location
- Site context
- Project description
- Design principles
 - Siting configuration and constraints, resultant building design
 - Small bay industrial uses
 - Architectural aesthetic
 - Vehicle access

- Loading areas
- Pedestrian circulation
- Amenity areas
- Renderings from different views
- Elevation views
- EV charging
- Waste management
- High albedo roof membranes.

Ms. Thiessen provided information on the landscape plan, including:

- Preserved cedar trees and hedge along south property line
- 27 new trees on-site
- Site plan and landscaping choices.

Panel members provided feedback on the form and character of the development and discussion took place in regard to the following:

- on-site traffic management and circulation;
- access and maneuvering space for large trucks;
- robustness of proposed trees given the site conditions;
- pedestrian access through site and need for wayfinding;
- architectural design is well done;
- sufficient soil volumes for proposed trees;
- consider using permeable pavement and structural soil to support a more sustainable design;
- design of amenity area adjacent to Production Way, noting there is an opportunity to enhance the design and follow the curve of the Production Way frontage;
- mail delivery (is it central or to each unit);
- on-site lighting for security, including central loading area;
- should have larger canopy, coniferous trees on-site;
- amenity area need to have covered areas, to protect from sun and rain, such as a pergola;
- tree protection needs to be followed through on during construction;
- need for secure on-site bike parking;
- considering pedestrian connectivity to Production Way and on to Fraser Highway, 56 Avenue and 196 Street, as well as considering connectivity for cycling (supporting active transportation); and
- considering innovative rooftop treatments, including landscaping, amenity areas (ie. portions visible from 196 Street overpass).

In response to questions from Panel members, the applicant team members advised that:

- stop signs and wayfinding signs will be used to calm/manage traffic and assist pedestrian navigation through site;

- smaller trucks will be using the site, including SU9 and 40 foot single axle trucks;
- a Transportation Impact Assessment (TIA) will need to be completed as part of the application and will inform access and circulation requirements and other potential transportation improvements;
- tree species are robust enough for the expected site conditions;
- site and circulation design based on CPTED review;
- signage is being used to align with building architecture and wayfinding design;
- site lighting plan tailored to night time security;
- tree protection barriers and on-site arborist supervision will be used to ensure trees identified for preservation are protected during construction; and
- site circulation will be reviewed by a traffic engineer as a part of finalizing design and access lanes/drive aisles.

In response to comments/questions from Panel members, staff advised that:

- future redevelopment in the area, particularly south of the proposed application could create additional pedestrian/active transportation access to 196 Street and 56 Avenue.

The applicant team left the meeting.

The Panel compiled a list of recommendations for the applicant.

It was MOVED and SECONDED

THAT:

1. The ADP receive the staff report as information; and
2. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
 - a. Review opportunities to enhance pedestrian access into and within the site, along with enhanced pedestrian safety/priority measures (e.g. raised crosswalks)
 - b. Review opportunities to incorporate more permeable surfaces into the site
 - c. Provide more detail on the building signage program, including drawing of front monolith sign
 - d. Consider providing more landscaping within the City right-of-way to mimic the curve of the proposed sidewalk
 - e. Review opportunities to provide larger canopy trees and additional coniferous trees
 - f. Provide rain shelter/shade structures in amenity areas

- g. Provide more secure visitor bicycle parking opportunities outdoors (e.g. enclosed bike lockers, larger two-point bike racks, etc.)
- h. Review site maneuverability for safety (especially visitor and pedestrian) and efficiency, including considering one-way sections, sightlines, speeding, and providing more details on traffic management signage
- i. Provide more design interest on the building roofs (e.g. green roof, geometric patterns, etc.)
- j. Ensure sufficient soil volumes are provided for all trees (i.e. 10 m³)
- k. Review landscape plan in conjunction with fire hydrant placement to ensure the viability of the landscaping

CARRIED

5) DEVELOPMENT PERMIT APPLICATION DP 03-23
ZONING BYLAW AMENDMENT APPLICATION RZ 03-23

Proposed two 6-storey buildings with a total of 171 apartment units at 20659-20679 Eastleigh Crescent.

Mr. Anton Metalnikov, Planner, spoke to the staff report dated June 23, 2023 and provided a brief overview of the Development Permit application.

The Applicant team entered the meeting:

Stanford Siu, Managing Director, Admiral Operations Ltd.

Patrick Yang, Principal Architect, Pacific West Architecture Inc.

Molly Liu, Landscape Architect, Durante Kreuk Ltd.

Mr. Siu and Yang presented the application, providing an overview of the development with details on the following:

- Site location
- Site context
- Project description
- 21 rental units, remainder are strata
- Shadow studies
- Design principles
 - Siting and building design
 - Massing
 - Entrance lobby design
 - Central amenity space/courtyard
 - Parking access ramps
 - Façade design
 - Colour palette and building materials
 - Elevation views
 - Renderings from different views.

Ms. Liu provided information on the landscape plan, including:

- traditional Japanese garden inspired courtyard and amenity area;
- unique entry experience, transitioning to different amenity area components
- description of shrubs and trees.

Panel members provided feedback on the form and character of the development and discussion took place in regard to the following:

- considering plantings on west side of parkade ramp, like the other edges of the site;
- ensure that street trees are shown on street-side renderings to provide a better sense of streetscape greening;
- enlarge balconies on top of amenity rooms near entrance;
- architectural design is well done;
- need to review stairwell and exiting on ground floor interface with surface parking lot;
- questions about landscaping concept and stormwater management;
- consider more native and coniferous plantings and trees;
- request for more texture in façade, less monochromatic color palette, add more cedar soffit panelling;
- re-orienting rental units on ground floor;
- using different materials for fencing;
- screen waste management area and PMT;
- add more landscape variety on east side, show tiered wall landscaping more clearly;
- discussion regarding garden style (Japanese garden vs. west coast native plants);
- ensure garden/courtyard design is accessible;
- difference between existing and proposed new rental floorspace;
- better, more secure location needed for visitor bike parking;
- is air conditioning being provided;
- mail area design and location;
- washer and dryer access in adaptable units;
- sound attenuation between units;
- access from visitor parking to west building;
- ensuring that landscape strip along north property line is maintained;
- inquiry in how surface of exposed parkade walls will be treated;
- dog use area and proposed materials (no synthetic turf);
- harmonizing landscape design with adjacent amenities (library and gym);
- accessible parking spaces need to be closer to elevator;
- loading space and accessible parking space need to be reviewed and redesigned;
- importance of ensuring mail room is up to Canada Post standard;

- updating access ramp to ensure sightline are maintained;
- considering roof top amenity area; and
- considering the use of non-fossil fuel based heating/cooling elements, such as heat pumps and solar panels.

In response to questions from Panel members, the applicant team members advised that:

- accessible parking space locations will be updated;
- air conditioning rough-ins will be incorporated into units;
- bike repair and dog wash areas will also be included;
- mail and package delivery space with secure entry will be designed into lobby;
- access to east building needed to consider CPTED (access from visitor parking area to east building should not go through resident-only courtyard); and
- parkade surface will be painted.

The applicant team left the meeting.

The Panel compiled a list of recommendations for the applicant.

It was MOVED and SECONDED

THAT:

1. The ADP receive the staff report for information; and
2. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
 - a. Provide softer edge at southwest property line, and review opportunities to soften the west property line elsewhere (e.g. permeable fencing, landscaping, etc.), including potentially rerouting the west sidewalk to the east of the parkade ramps
 - b. Consider incorporating additional/larger canopy trees and native and coniferous plant species into landscape plans while maintaining hardiness and original Japanese theme
 - c. Review the loading zone for location beside the accessible parking stall, access to buildings, and consider providing one additional loading zone
 - d. Reposition the underground accessible parking stalls to be closer to each elevator lobby
 - e. Look to provide additional visual interest/texture to the elevations (i.e. making greater use of metal cedar siding), especially on interior elevations
 - f. Consider rearranging the ground floor units and indoor amenity areas to improve livability
 - g. Show location of mail/package rooms, and consider Canada Post standards in their design

- h. Enhance design of underground parkade ramp “cage”
- i. Consider opportunities to screen the PMT and garbage staging area
- j. Provide more shrub plantings in ground floor grass patios
- k. Relocate visitor bike parking areas and replace with additional landscaping
- l. Ensure accessible route is provided through the entire length of the courtyard
- m. Provide benches in children’s play area
- n. Consider additional sound attenuation measures for inter-unit walls with living room/kitchen-to-bedroom interfaces (not form and character)
- o. Ensure all appliances in adaptable units are accessible
- p. Review rental and adaptable unit selection for unit type variety (i.e. number of bedrooms) (not form and character)
- q. Consider opportunities to provide more direct access between the visitor parking area and east building
- r. Provide more information on maintenance logistics of landscaping along north property line
- s. Replace all artificial turf with non-synthetic material
- t. Review outdoor areas adjacent to indoor amenity spaces to align with indoor uses (i.e. workout space outside the gym, seating areas outside the library)
- u. Consider use of non-fossil fuel-based heating/cooling systems (not form and character)
- v. Consider installation of air conditioning within rental units at opening (not form and character)
- w. Ensure a high-albedo roof surface is provided
- x. Adjust landscaping around the accessible entrance ramp to ensure safety and adequate sightlines
- y. Provide additional design interest on the stepped-back roofs, including considering additional privacy enhancements on the north

CARRIED

6) NEXT MEETING

July 19 or 26, 2023 (tentative).

Staff will poll the panel to see what date works best for most panel members.

7) ADJOURNMENT

It was MOVED and SECONDED

THAT the meeting adjourn at 9:30 pm.

CARRIED

A handwritten signature in black ink, appearing to read "P. Alhadeff". The signature is fluid and cursive, with a large initial "P" and a stylized "A".

ADVISORY DESIGN PANEL CHAIR

A handwritten signature in black ink, consisting of a series of loops and a long, sweeping horizontal stroke at the end.

DIRECTOR OF DEVELOPMENT SERVICES



ADVISORY DESIGN PANEL REPORT

To: **Advisory Design Panel**

Subject: **Development Permit Application DP 06-23
Rezoning Application RZ 05-23
(19948 55A Avenue)**

From: **Anton Metalnikov, RPP, MCIP
Planner**

File #: 6620.00
Bylaw #: 3254

Date: July 13, 2023

Doc #:

RECOMMENDATION:

THAT this report be received for information.

PURPOSE OF REPORT:

To consider Development Permit and Zoning Bylaw amendment applications by Andrew Cheung Architects Inc. for a 6-storey, 126-unit apartment development at 19948 55A Avenue.

POLICY:

The subject property is currently zoned RS1 Single Family Residential in Zoning Bylaw No. 2100 and designated "Low Rise Residential" in the Official Community Plan Land Use map. All lands designated for multi-unit residential use are subject to a Development Permit (DP) to address building form and character.

The density of the proposed development complies with the Official Community Plan but exceeds the parameters in the current Zoning Bylaw. As such, a Comprehensive Development Zone is proposed to accommodate it.

COMMENTS/ANALYSIS:

Background Information:

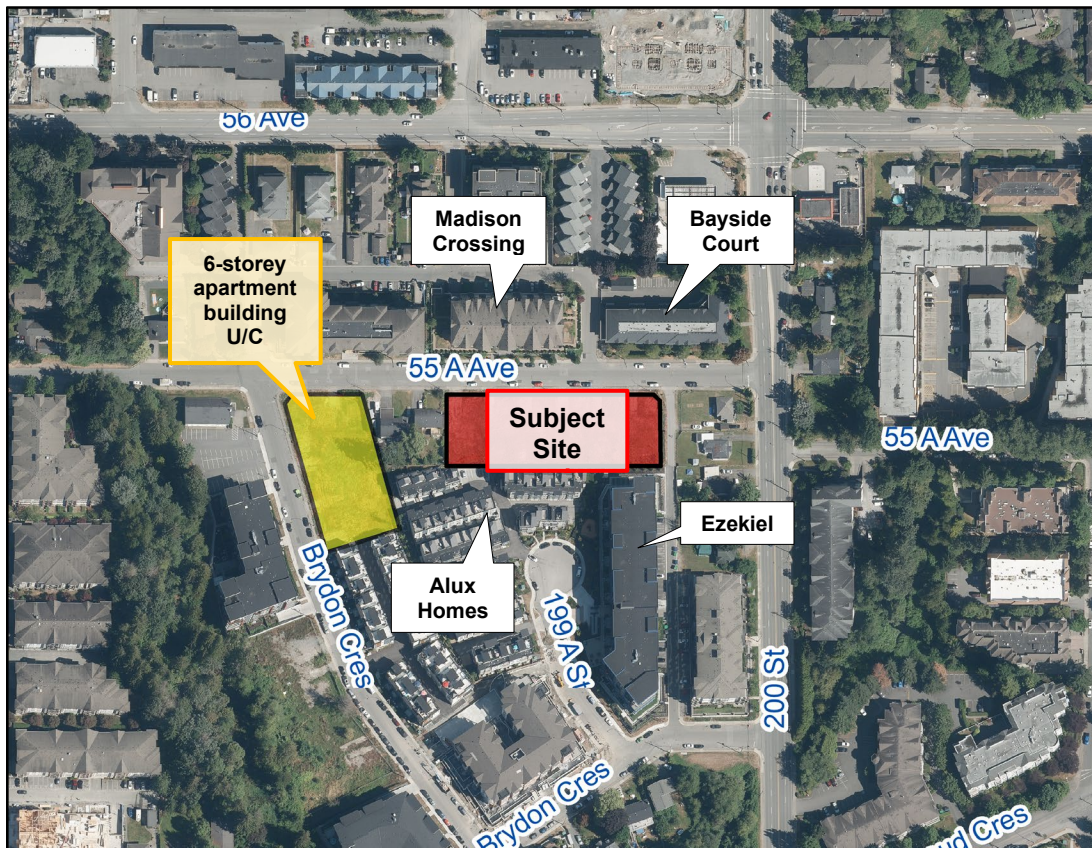
Applicant:	Andrew Cheung Architects Inc.
Owner:	1166934 B.C. Ltd.
Civic Address:	19948 55A Avenue
Legal Description:	Lot A, Section 3, Township 8, New Westminster District, Plan EPP120331
Site Area:	4,080 m ² (1.01 acres)
Number of Units:	126 apartments
Gross Floor Area:	8,568 m ² (92,225 ft ²)
Floor Area Ratio:	2.100
Lot Coverage:	40.5%
Total Parking Required:	182 spaces (including 9 h/c spaces) <i>*RM3 requirement</i>
Parking Provided:	
Resident	148 spaces
<u>Visitor</u>	<u>26 spaces</u>
Total	174 spaces (including 8 h/c spaces)
OCP Designation:	Low Rise Residential
Existing Zoning:	RS1 Single Family Residential
Proposed Zoning:	CD91 Comprehensive Development
Variances Requested:	5.5 m long accessible parking stalls (5.8 m min.) 48% small car space share (40% max.) 2.4 m wide small car spaces (2.5 m required) Distance of 0.31 m to 0.48 m between parking spaces and walls (0.6 m required) <i>Note a resident parking variance is not required due to the use of CD Zone – see staff commentary in Variances section of this report for further details and rationale</i>
Development Cost Charges:	\$2,337,270.00 (City - \$1,092,720.00, GVS&DD - \$500,370.00, GVWD - \$496,734.00, SD35 - \$69,600.00, TransLink - \$177,846.00)
Community Amenity Contributions (CACs):	\$504,000.00

Discussion:

1. Context

The applicant is proposing to develop a 6-storey, 126-unit apartment building on a large vacant site, which consolidated 6 former single-detached home properties as part of a previous, now cancelled, development application on the same site. The site is located in a residential area transitioning to higher densities, with the surroundings largely consisting of recently developed and under construction apartment buildings and townhouse complexes, with the remaining single-detached home properties having been the subject of development interest.

The site's frontage is formed on the north by 55A Avenue, a local road across from which lie Madison Crossing (4-storey apartment building completed in 2010) and Bayside Court (3-storey apartment building completed in 1995). A lane acts as the site's eastern boundary and separates it from a row of single-detached houses. Two single-detached houses also neighbour the site on its west. To the south, the site is bordered by the Ezekiel (5-storey apartment building completed in 2023) and by Alux Homes (3-storey townhouse complex completed in 2021).



Site context

The site is well positioned with pedestrian connections to retail and service areas, with Downtown located within a 10-minute walk. It also benefits from proximity to key neighbourhood amenities, including:

- Brydon and Linwood Parks (5-to-10-minute walk);
- Nicomekl Elementary School (10-minute walk); and
- Timms Community Centre (15-minute walk).

The site is also located near several transportation services, including:

- Three regional transit lines on 200 Street and 56 Avenue (5-minute walk);
- The frequent service 503 Fraser Highway Express (10-to-15-minute walk); and
- The planned 203 Street SkyTrain station and its associated transit exchange (15-minute walk).

2. Proposed Rezoning and the Official Community Plan (OCP)

The site is designated Low Rise Residential in the City's OCP, which allows for apartment development of up to 6 storeys in height and a Floor Area Ratio (FAR) of up to 2.1.

The subject properties are proposed to be rezoned to a site-specific Comprehensive Development (CD) Zone as no existing zones adequately accommodate the Low Rise Residential designation. A new Zoning Bylaw is currently in development and the project was designed to conform to the preliminary draft zoning regulations associated with this designation. Should the CD rezoning be adopted it is anticipated that, as part of adopting the new Zoning Bylaw, the City will rezone this site from its CD Zone to the new zone created to implement the Low Rise Residential designation.

3. Design

The applicant is proposing a flat-roofed, wood-frame, 6-storey building oriented east-west with the site. The building sits atop an underground parkade which is extruded approximately 1.5 metres above grade due to geotechnical conditions, with this raised portion tiered with a step, clad with brick, and screened by landscaping to soften its interface with the public realm.

The main building entrance stairs and individual stairs connecting the ground-floor apartment units to the street serve to break up the parkade wall, and the use of façade projections and a recessed/off-set entrance lobby help to reduce the apparent length of the building face along 55A Avenue.

The first-floor units are designed in a single-loaded corridor condition to screen an additional level of above-grade parking at the rear of the site, which is

screened from the neighbouring properties to the south and west by planting beds. Both parkade levels are accessed off the east lane. The second level of the building widens to a double-loaded corridor configuration, with deep balconies on the south side providing partial cover over the above-grade parking area below while maintaining adequate setbacks and enabling the building walls themselves to be stepped back further with setbacks of 8-12 metres. The building rises in a similar form until the 6th storey, which is stepped in on all sides to reduce massing.

The parkade podium brick treatment continues up along the building corners and sides for the first two levels, with much of the rest of the elevations clad with Hardie panels of beige tones on the lower floors and white tones on the upper floors to contribute to a base-middle-top design common in the area. Bright orange rectangular frame features are incorporated on the longer north and south elevations, with the street-fronting north elevation also hosting a fully glazed double-height entrance lobby accented with brick and heavy timber columns.

The development's landscaping is primarily oriented to the site perimeter, with long planting beds hosting various shrubs, grasses, and perennials demarcating the building and ground-floor patio boundaries. Along 55A Avenue, these planting beds host Flowering Dogwood trees, with Amanogawa Cherry trees on the corners. Two Paperbark Maple trees flank the main building entrance and two Dwarf Japanese Maple trees are located on the second floor outdoor amenity deck, for a total of 18 trees provided on site.

The unit type distribution of the building provides 20 studios, 66 one-bedroom unit types (1-bedroom or 1-bedroom + flex room), and 40 two-bedroom unit types (2-bedroom or 2-bedroom + flex room). 25 of the units are adaptable. Resident storage facilities are primarily provided within in-unit storage rooms, with some additional storage lockers located in the underground parkade.

384 m² (4,133 ft²) of total amenity space is provided in the building, including 191 m² (2,056 ft²) of indoor amenity space and 193 m² (2,077 ft²) of outdoor amenity space. These amenity areas are split into an indoor party room and outdoor barbecue area on the first floor, and an indoor gym and meeting room with an outdoor children's play area and community garden plots on the second floor. A two-elevator core services the building.

4. Sustainability

The proposal incorporates several sustainable development features, including:

- Using construction techniques that minimize site disturbance and protect air quality;

- Using lighting systems meeting ground-level and dark skies light pollution reduction principles;
- Using non-water dependent and drought-tolerant materials in the landscape design served by an irrigation system with central control and rain sensors;
- Providing community garden plots;
- Using water-conserving toilets; and
- Providing 18 parking stalls with Level II electric vehicle (EV) chargers, with the remaining resident spaces pre-wired and visitor spaces pre-ducted for future installation.

5. CPTED

The applicant's proposal benefited from a comprehensive Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

6. Variances

As noted above, the applicant's proposed development is generally consistent with the draft 4-6 storey apartment building zoning regulations that are being considered for the new Zoning Bylaw to implement the Official Community Plan's Low Rise Residential land use designation. However, given the proponent has applied to redevelop the site prior to the adoption of the new Zoning Bylaw, a site-specific Comprehensive Development (CD) Zone is proposed to be created to accommodate the redevelopment.

Despite the use of a CD Zone, the proposal requires variances from general Zoning Bylaw provisions to reduce the length of accessible parking spaces, reduce the width of small car spaces, reduce the distance between select parking spaces and parkade walls, and increase the share of small car spaces. Staff support these variances per the rationales below.

The accessible parking space variance requested is to reduce their length from 5.8 metres to 5.5 metres. The 5.5 metre length is consistent with the City's standard parking stall dimension requirements and a review of nearby municipalities (Langley Township, Surrey, Maple Ridge, and Abbotsford) found that all used the same stall length for both standard and accessible parking spaces. Staff are also considering making standard and accessible parking stall lengths consistent in the City's upcoming new Zoning Bylaw.

The applicant is also requesting a variance to reduce the width of small car spaces to 2.4 metres from the 2.5 metres required in the Zoning Bylaw. These adjustments were made to ensure this application meets the 174-space target

that aligns with the residential rates being considered for the new Zoning Bylaw (additional discussion below). Reducing the width of small car spaces to 2.4 metres is under consideration for the new Zoning Bylaw to accommodate additional parking spaces in all development projects. This width is also similar to other municipalities in the region, such as Burnaby, which has a minimum small car space width of 2.4 metres, and Richmond, which has a minimum small car space width of 2.3 metres. Staff are not considering changes to the required drive aisle widths in the Zoning Bylaw to ensure safe and easy vehicle movements in parking areas are maintained.

Additionally, 10 parking spaces adjacent to a parkade wall are located between 0.31 and 0.48 metres away from the wall face, which is below the minimum 0.6 metres currently required in the Zoning Bylaw. Staff note the Township of Langley, Coquitlam, Richmond and Surrey permit the distance between parking spaces and parkade walls to be as low as 0.3 metres, and this proposed variance is considered to be minor.

The share of small car parking spaces is proposed as 48%. The current Zoning Bylaw allows a maximum of 40% small car spaces, but staff are considering increasing this to a maximum of 50% for properties outside the “Core” and “Shoulder” areas in the new Zoning Bylaw. This approach can significantly improve parkade space efficiency, as the use of slightly smaller individual spaces often results in the creation of additional stalls on the same amount of land without needing to further reduce parking rates. This in turn allows additional site density while maintaining reasonable parking supply.

Proposed Parking

If the current Zoning Bylaw requirement for a similar type of building (i.e. RM3 Zone) was applied to this application, the applicant’s proposed overall parking amount is 4.4% less than what would be required. Given that a CD zone is being proposed to accommodate this development, technically variances are only required for the share of small car spaces and adjustments to stall dimensions, as outlined above. However, it is important to note that staff support the applicant’s overall parking approach, as the proposal (less 8 spaces or 4.4%) exceeds the standard rates under preliminary consideration for the new Zoning Bylaw. These rates are being contemplated based on research work conducted by the City’s Zoning Bylaw update consultant and staff to date, what has included a review of the Metro Vancouver Parking Study as well as of parking rate requirements in other municipalities within the Lower Mainland.

If the preliminary rates being considered for the draft new Zoning Bylaw were applied to this application, 170 parking spaces would be required, based on rates of 1 space per studio, 1.1 spaces per 1-bedroom unit, 1.3 spaces per 2-bedroom unit (=145 resident spaces), and 0.2 visitor spaces per unit (=25 visitor spaces,

rounding down from 25.2). This total is 4 spaces (2.3%) less than the proposed parking amount of 174 spaces, which includes 26 visitor spaces, and is 6.6% less than the current RM3 Zone requirement of 182 spaces, which is based on rates of 1.2 spaces per studio and 1-bedroom unit, 1.3 spaces per 2-bedroom unit (=156 resident spaces), and 0.2 visitor spaces per unit (=26 visitor spaces, rounding up from 25.2 as required by the current Zoning Bylaw). Greater variances have recently been approved by Council in the nearby area at 5504 Brydon Crescent (9.1% reduction), 5605 201A Street (10.5% reduction), and 20191 53A Avenue (13% reduction).

Based on the above commentary and analysis, staff support these variances.

7. Summary

The proposed development is consistent with the City's OCP and Development Permit Area guidelines for the area and presents an efficient and compatible design providing housing in close proximity to parks, transit, and Downtown.

Engineering Requirements:

Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents.

All work to be done to the City of Langley's Design Criteria Manual (DCM), and the City's Subdivision and Development Servicing Bylaw (SDSB).

Per the City's DCM requirement, the developer and their consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Commitment by Owner and Consulting Engineer) prior to starting their design works.

Per the City's Watercourse Protection Bylaw No. 3152, the developer's consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Confirmation of Commitment by Qualified Environmental Professional - QEP) prior to starting their site monitoring works.

These requirements have been issued to reflect the application for development for a proposed **126-Unit Condominium Development located at 19948 55A Ave.**

These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

A) The Developer is responsible for the following work which shall be designed by a Professional Engineer:

1. A Qualified Environmental Professional (QEP) must be engaged to implement erosion and sediment control in accordance with the City of Langley Watercourse Protection Bylaw #3152, as amended.
2. A storm water management plan for the site is required. Rainwater management measures used on site shall limit the release rate to pre-development levels to mitigate flooding and environmental impacts as detailed in the City's DCM. All calculations shall be based the City' DCM with 20% added to the calculated results to account for climate change. A safety factor of 20% shall be added to the calculated storage volume. *Pre-development release rates shall not include climate change effect.*
3. All existing services shall be capped at the main by the City, at the Developer's expense prior to applying for a demolition permit.
4. New water, sanitary and storm sewer service connections are required. All pertinent pipe design calculations shall be submitted in spreadsheet format and shall include all formulas for review by the City. The Developer's engineer will determine the appropriate main tie-in locations and size the connections for the necessary capacity.
5. The capacity of the existing water and sanitary sewer mains shall be assessed through hydraulic modeling performed by the City's hydraulic modeling consultant at the Developer's expense.
 - a. Any upgrade requirement for either sanitary or water mains not covered under the City's DCC bylaw shall be designed and installed by the Developer at the Developer's expense.
 - b. At the Developer's expense, the City's hydraulic modeling consultant shall conduct a fire hydrant flow test to be used in the City's water modeling to determine if the existing water network is adequate for fire flows (based on architectural data supplied by the Developer's Architect). Upgrading of the existing watermain(s) may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995."
6. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be per the DCM Section 3.10 and approved by the City Engineer and the City of Langley Fire Rescue Service.
7. A property dedication of 2.5m will be required along the lane frontage of the proposed development to provide a new ROW width of 8.5m. A

corner truncation of 4m will be required at the corner of the lane and 55A Ave - all to be determined by a legal surveyor.

8. At the Developer's expense, a Traffic Impact Assessment (TIA) will be completed by the City's traffic consultant as per the DCM Section 8.21. The proposed development plan and statistics, once ready, should be forwarded to the City to develop the scope of this traffic study and the applicable fee.
9. The exact scope and extent of the off-site works be determined, in part, from the TIA. New sidewalk, barrier curb, gutter will be required along the entire 55A Avenue frontage, complete with boulevard trees, street light relocation / replacement as necessary and a planting strip as per the City DCM cross-section SS-R07 and Section 11.0 - Specifications and Standards for Landscaping. Curb bulges shall be included across from the north-south public lane on the north side, also where the adjacent lane meet 55A Avenue. The design shall be adequate for MSU trucks as the design vehicle.
10. The condition of the existing pavement along both frontages shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road service life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the adjacent street / lane . If the pavement is inadequate, it shall be remediated at the Developer's expense.
11. The site layout shall be reviewed by a qualified Professional Engineer to ensure that the parking layout, vehicle circulation, turning paths and access design meet applicable standards and sight line requirements, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls, loading areas and drive aisles are accessible by service vehicles. Refer to DCM Section 8.
12. A separate design sheet to show existing and proposed street lighting along the project frontage prepared by a qualified Electrical Engineer. This will ensure street lighting infrastructure and lighting levels meet the City's DCM Section 9.0 criteria and standards. The power source, its adequacy and load calculations shall be shown on the drawing.
13. A dedicated on-site loading zone shall be provided by the Developer adequate for MSU vehicles.
14. The City plans to construct a pedestrian and cyclist bridge across Baldi Creek including related trail works on Brydon Crescent approximately 300m south of the proposed development. The City requires the Developer to make a \$252,000 C-I-L contribution toward the pedestrian bridge design and construction.

B) The Developer is required to deposit the following bonding and fees:

1. The City will require a Security Deposit based on the estimated construction costs of installing civil works, as approved by the City Engineer.
2. The City will require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs, as per the City's Subdivision and Development Servicing Bylaw 2021 #3126.
3. A deposit for a storm, sanitary and water services is required, which will be determined by City staff after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
4. The City will require a \$40,000 bond for the installation of a water meter to current City standards as per the DCM.
5. A signed and sealed pavement cut form (Form F-2 of the City's DCM) shall be completed by the Developer's consulting engineer. Upon the review and approval of the City Engineer of the submitted form, the corresponding permanent pavement cut reinstatement and degradation fees shall be paid by the Developer.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the developer with an estimate of connection costs, and the Developer will declare in writing that the estimate is acceptable.

C) The Developer is required to adhere to the following conditions:

1. Unless otherwise specified by the City Engineer, all engineering works shall be designed based on the City DCM specifications and in accordance with the City's Subdivision and Development Servicing Bylaw 2021, No. 3126
2. Undergrounding of hydro, telecommunication to the development site is required, complete with underground or at-grade transformer.
3. Transformers servicing developments are to be located on private property with maintenance access located on private property. Street or lane facing transformers shall be wrapped with anti-graffiti wrap based on City-specified image file upon installation by the Developer.
4. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner. Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.
5. A water meter is required to be installed on private property, preferably in the mechanical room, in accordance to the City DCM Section 3.0 standards at the Developer's cost.

6. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
7. A *Stormceptor* or equivalent oil separator is required to treat site surface drainage.
8. A complete set of record drawings (as-built) of off-site works, service record cards and a completed tangible capital asset form (TCA) all sealed by a Professional Engineer shall be submitted to the City within 60 days of the substantial completion date. Digital drawing files in *.pdf* and *.dwg* formats shall also be submitted. All the drawing submissions shall:
 - a. Use City's General Notes Sheet and Title Block; and
 - b. Closely follow the format and sequence outlined in the DCM that will be provided to the Developer's Consulting Engineer.
9. The selection, location and spacing of street trees and landscaping are subject to the approval of the City Engineer. Please refer to the DCM for more details.
10. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
11. Garbage and recycling enclosures shall accommodate on the site and be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update." Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.

Fire Department Comments:

Fire department access for the whole project was reviewed to ensure adequate access was in place. A construction fire safety plan shall be completed, complete with crane inspection records. A progressive standpipe installation will be required as construction rises. Standpipes will be located at both end of the outdoor amenity areas, in the parkade vestibule, and at the vehicle entrance to the parkade. Rescue rated anchors will need to be installed, location to be determined as per building design. All garbage/recycling rooms to be of adequate size to prevent spillover into parkade area. Stairwells must be constructed to accommodate shelter in place applications. A Fire Safety plan and FD lock box will be required before occupancy. The final locations of multiple 4" FDCs will be discussed with the Fire Department at a later date. Effective firefighter communications is required through out the building. As well as additional fire fighting equipment and storage areas. Locations to be determined at a later date.

Advisory Design Panel:

In accordance with Development Application Procedures Bylaw No. 2488, the subject Zoning Bylaw amendment and Development Permit application will be reviewed by the Advisory Design Panel (ADP) at the July 19, 2023 meeting.

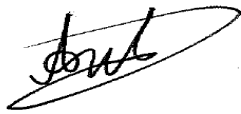
According to the Council-approved ADP Terms of Reference, the ADP is to provide form and character and urban design-related advice and recommendations for Council's consideration. ADP recommendations will be presented to Council through the ADP meeting minutes and, if applicable, through an additional City staff report, prior to Council consideration of the proposed Zoning Bylaw amendment and Development Permit Applications.

A copy of the ADP minutes will be presented to Langley City Council at a future Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$1,092,720.00 to City Development Cost Charge accounts and \$504,000.00 in Community Amenity Contributions.

Prepared by:



Anton Metalnikov, RPP, MCIP
Planner

Concurrence:



Roy M. Beddow, RPP, MCIP
Deputy Director of Development Services

Concurrence:



Carl Johannsen, RPP, MCIP
Director of Development Services

Concurrence:



David Pollock
Acting Director of Engineering, Parks &
Environment

Concurrence:



Dean Colthorp, Deputy Fire Chief

Attachments



Civic Address: 19948 55A Avenue
Legal Description: Lot A, Section 3, Township 8, New Westminster District, Plan EPP120331
Applicant: Andrew Cheung Architects Inc.
Owner: 1166934 B.C. Ltd.





PROJECT DATA

BUILDING ANALYSIS OF:	19948 55A AVE. LANGLEY
ZONE :	REZONING FROM RS-1 TO CD BASED ON RM3
PID :	031-887-383
LEGAL DESCRIPTION:	LOT A SECTION 3 TOWNSHIP 8 NEW WESTMINSTER DISTRICT, PLAN BPP120351
SITE SIZE :	4,080 SQ.M. (43,917 SQ.FT.)
NUMBER OF STOREYS:	6
GROSS FLR AREA :	MAX. ALLOWABLE PROPOSED 92,225 SQ. FT. GROUND FL. 897 SQ.M. (9,737 SQ. FT.) SECOND FL. 1,554 SQ.M. (16,728 SQ. FT.) THIRD FL. 1,605 SQ.M. (17,254 SQ. FT.) FOURTH FL. 1,654 SQ.M. (17,806 SQ. FT.) FIFTH FL. 1,654 SQ.M. (17,806 SQ. FT.) SIXTH FL. 1,228 SQ.M. (13,302 SQ. FT.) TOTAL 8,668 SQ.M. (92,225 SQ. FT.)
FSR :	MAX. ALLOWABLE PROPOSED 2.1 2.1
NUMBER OF DWELLING UNITS :	MAX. ALLOWABLE PROPOSED N/A 126 (309 UNIT SHECTARE)
EXISTING AVERAGE GRADE :	10.45 M (34.28')
HEIGHT :	MAX. ALLOWABLE HEIGHT N/A PROPOSED 22.73M (74.56')
FRONT YARD:	MIN. REQUIRED 6.0M (19.69') PROPOSED 6.0M (19.70')
REAR YARD:	MIN. REQUIRED 6.0M (19.69') PROPOSED 6.1M (20.00')
SIDE YARD:	MIN. REQUIRED WEST 6.0M (19.69') EAST 6.0M (19.69') PROPOSED WEST 6.0M (19.64') EAST 7.9M (25.91')
SITE COVERAGE :	MAX. ALLOWABLE 4,080 X 40% = 1,632 SQ. M. (17,557 SQ.FT.) PROPOSED 1,554 SQ.M. (17,806 SQ. FT.) (40.9%)
PARKING :	REQUIRED RESIDENTS: 1.0 (STUDIO) X 20 + 1.1 (BED) X 96 + 1.3 (2BED) X 40 + 145.0 (146) VISITORS: 0.2 X 126 = 25.2 (26) PROVIDED RESIDENTS: 146 VISITORS: 26 HANDICAPPED PARKING REQUIRED RESIDENTS: 0.05 X 146 = 7.3 (7) VISITORS: 0.05 X 26 = 1.3 (1) PROVIDED RESIDENTS: 7 VISITORS: 1 SMALL CAR MAX. ALLOWABLE RESIDENTS: 0.5 X 146 = 73 VISITORS: 0.5 X 26 = 13 PROVIDED RESIDENTS: 69 VISITORS: 12 BICYCLE: REQUIRED 0.5 X 126 = 63 PROVIDED 63 STORAGE: REQUIRED 1 X 126 = 126 PROVIDED 127 (113 INSULITE + 14 PARKING LEVEL) ADAPTABLE UNITS: REQUIRED 0.20 X 126 = 25.2 (25) PROVIDED 25 AMENITY SPACE: REQUIRED 9 SQ. M. X 126 = 378 SQ. M. (COMBINED) PROPOSED INDOOR AMENITY: 190 SQ. M. (1,511 SQ. M./UNIT) PROPOSED OUTDOOR AMENITY: 190 SQ. M. (1,511 SQ. M./UNIT)

UNITS SYNOPSIS

UNIT TYPE	NO. BED	AREA		NUMBER OF UNITS						TOTAL UNITS	TOTAL (SQM)	TOTAL (SQFT)
		SQ. FT.	SQ. M.	1ST FL.	2ND FL.	3RD FL.	4TH FL.	5TH FL.	6TH FL.			
UNIT A	INSULITE	28	754	73.8	1					1	73.8	794
UNIT A2	INSULITE	28	789	73.3	2	2	2	2		8	585.4	6,312
UNIT B	INSULITE	18	520	48.3	1	1	1	1		5	241.5	2,600
UNIT C	INSULITE	18	537	59.2	1	1	1	1		5	286.0	3,186
UNIT D	INSULITE	18	554	51.5	1	1	1	1		5	257.5	2,770
UNIT D2	INSULITE	18	545	50.6	1	1	1	1		5	202.4	2,180
UNIT D3	INSULITE	18	547	50.6					1	1	50.6	547
UNIT E	INSULITE	18+D	624	58.0	1	1	1	1		5	290.0	3,120
UNIT F	INSULITE	28	708	65.8	1	1	1	1	1	6	394.8	4,248
UNIT G1	INSULITE	18	510	47.4	1					1	47.4	510
UNIT G2	INSULITE	18	535	49.6	1	1	1	1		4	189.2	2,144
UNIT H1	INSULITE	18	491	45.6	1	1	1	1		1	45.6	491
UNIT H2	INSULITE	18	503	46.7	1	1	1	1		4	186.8	2,012
UNIT J1	INSULITE	28+D	822	74.5	1	1	1	1	1	5	74.5	822
UNIT J2	INSULITE	28+D	828	75.1	1	1	1	1	1	5	375.5	4,040
UNIT K	PARKING	26	808	75.1	2	2	2	2		8	600.8	6,464
UNIT L	INSULITE	18	508	47.2	2	2	2	2		8	377.6	4,064
UNIT M	STUDIO	461	42.8	2	2	2	2			8	342.4	3,688
UNIT M2	INSULITE	STUDIO	461	42.8	2	1	1	1		5	214.0	2,305
UNIT M3	INSULITE	STUDIO	465	43.2	1	1	1	1		3	129.6	1,395
UNIT N	INSULITE	28+D	802	74.5	1	1	1	1	1	1	74.5	802
UNIT N2	PARKING	26	709	65.2						4	263.6	2,836
UNIT O	INSULITE	18+D	627	58.4	1	1	1	1	1	5	292.0	3,035
UNIT Q2	INSULITE	18+D	573	53.2	1	1	2	2	2	7	372.4	4,011
UNIT Q3	PARKING	18	472	43.9	1					1	43.9	472
UNIT Q4	INSULITE	28	761	70.7	1	1	1	1	1	4	282.8	3,044
UNIT Q5	INSULITE	18+D	586	54.4	1	1	1	1	1	4	231.6	2,384
UNIT R	INSULITE	STUDIO	432	40.1	1	1	1	1	1	4	160.4	1,728
UNIT S	INSULITE	28+D	764	71.0	1					1	71.0	764
UNIT T	INSULITE	18+D	585	54.3	1	1	1	1		1	55.3	595
UNIT U	INSULITE	18	510	47.4	1					1	47.4	510
UNIT V	INSULITE	28	740	68.7						1	68.7	740
UNIT W	INSULITE	18+D	630	58.5						2	117.0	1,260
UNIT X	INSULITE	18+D	617	57.3	1	1	1	1		1	61.7	617
UNIT X2	INSULITE	18+D	649	60.3						1	60.3	649
TOTAL				9	22	25	26	26	18	126	7165 SQM	77,116 SQFT



DRAWING LIST

DP 0.0	PROJECT DATA
DP 1.1	SITE PLAN
DP 2.1	PARKING PLAN P1 KEY
DP 2.1a	PARKING PLAN P1 WEST
DP 2.1b	PARKING PLAN P1 EAST
DP 2.2	GROUND FLOOR PLAN KEY
DP 2.2a	GROUND FLOOR PLAN WEST
DP 2.2b	GROUND FLOOR PLAN EAST
DP 2.3	SECOND FLOOR PLAN KEY
DP 2.3a	SECOND FLOOR PLAN WEST
DP 2.3b	SECOND FLOOR PLAN EAST
DP 2.4	THIRD FLOOR PLAN KEY
DP 2.4a	THIRD FLOOR PLAN WEST
DP 2.4b	THIRD FLOOR PLAN EAST
DP 2.5	FOURTH & FIFTH FLOOR PLAN KEY
DP 2.5a	FOURTH & FIFTH FLOOR PLAN WEST
DP 2.5b	FOURTH & FIFTH FLOOR PLAN EAST
DP 2.6	SIXTH FLOOR PLAN KEY
DP 2.6a	SIXTH FLOOR PLAN WEST
DP 2.6b	SIXTH FLOOR PLAN EAST
DP 2.7	ROOF PLAN KEY
DP 2.7a	ROOF PLAN WEST
DP 2.7b	ROOF PLAN EAST
DP 3.1	NORTH ELEVATION KEY
DP 3.1a	NORTH ELEVATION - EAST
DP 3.1b	NORTH ELEVATION - WEST
DP 3.2	SOUTH ELEVATION KEY
DP 3.2a	SOUTH ELEVATION - WEST
DP 3.2b	SOUTH ELEVATION - EAST
DP 3.3	EAST ELEVATION
DP 3.4	WEST ELEVATION
DP 4.1	SECTION A
DP 4.2	SECTION B - WEST
DP 4.2a	SECTION B - EAST
DP 5.1	STREET ELEVATION - KEY
DP 5.1a	STREET ELEVATION - EAST
DP 5.1b	STREET ELEVATION - WEST
DP 6.1	SHADOW STUDIES MARCH 20
DP 6.2	SHADOW STUDIES SEPTEMBER 23
DP 7.1	RENDERINGS

CONTEXT PLAN



date	revisions
JUN 08 2023	Issued For RZ + DP Submission
JUN 19 2023	Issued For RZ + DP Revision
JUL 12 2023	Issued For RZ + DP Revision

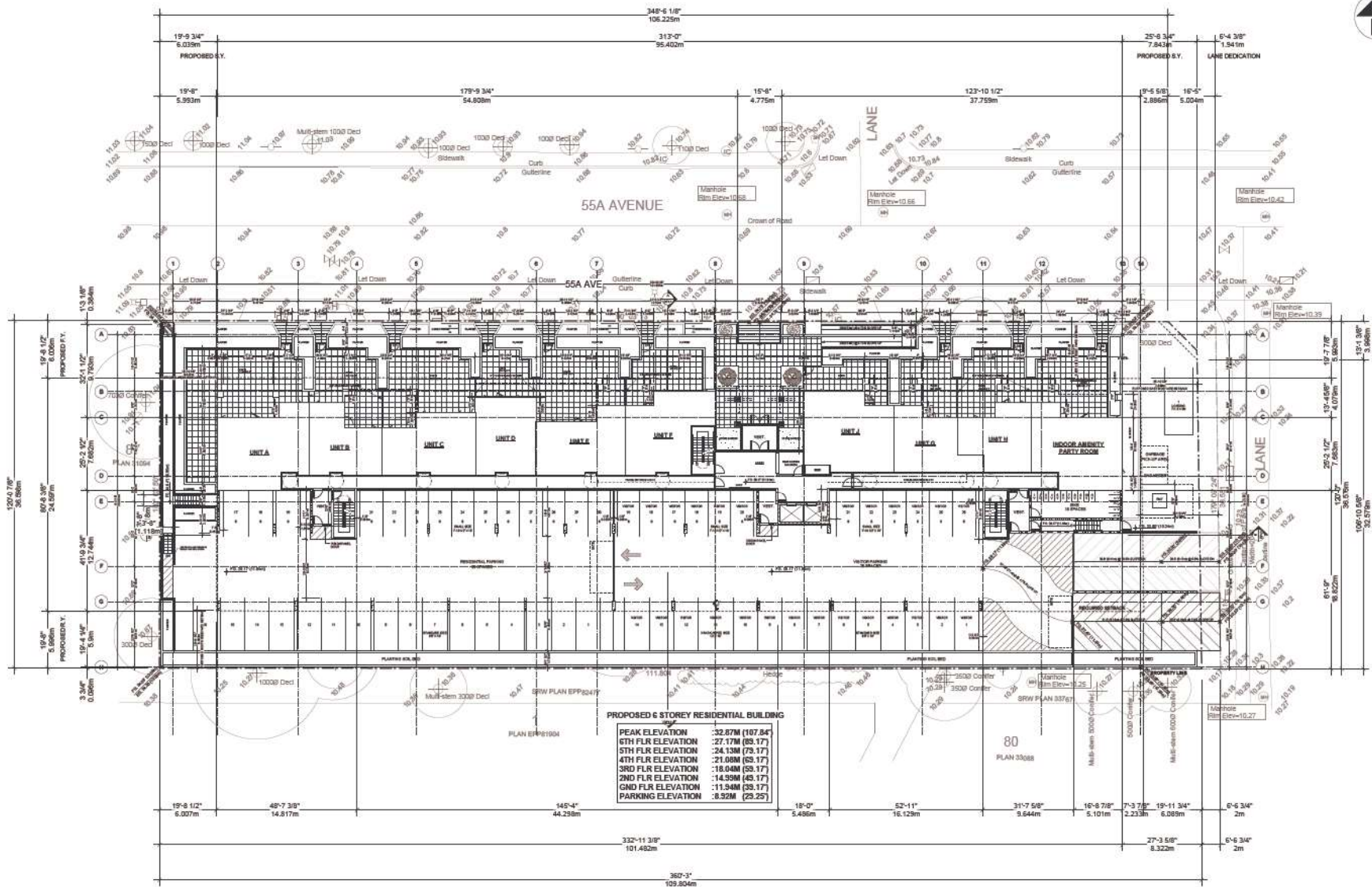
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project 19948 55A AVE. LANGLEY, BC	file name 21817
draw date	checked scale
drawn by	drawing number DP 0.0

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1 SITE PLAN
1/16"=1'-0" (1:192)



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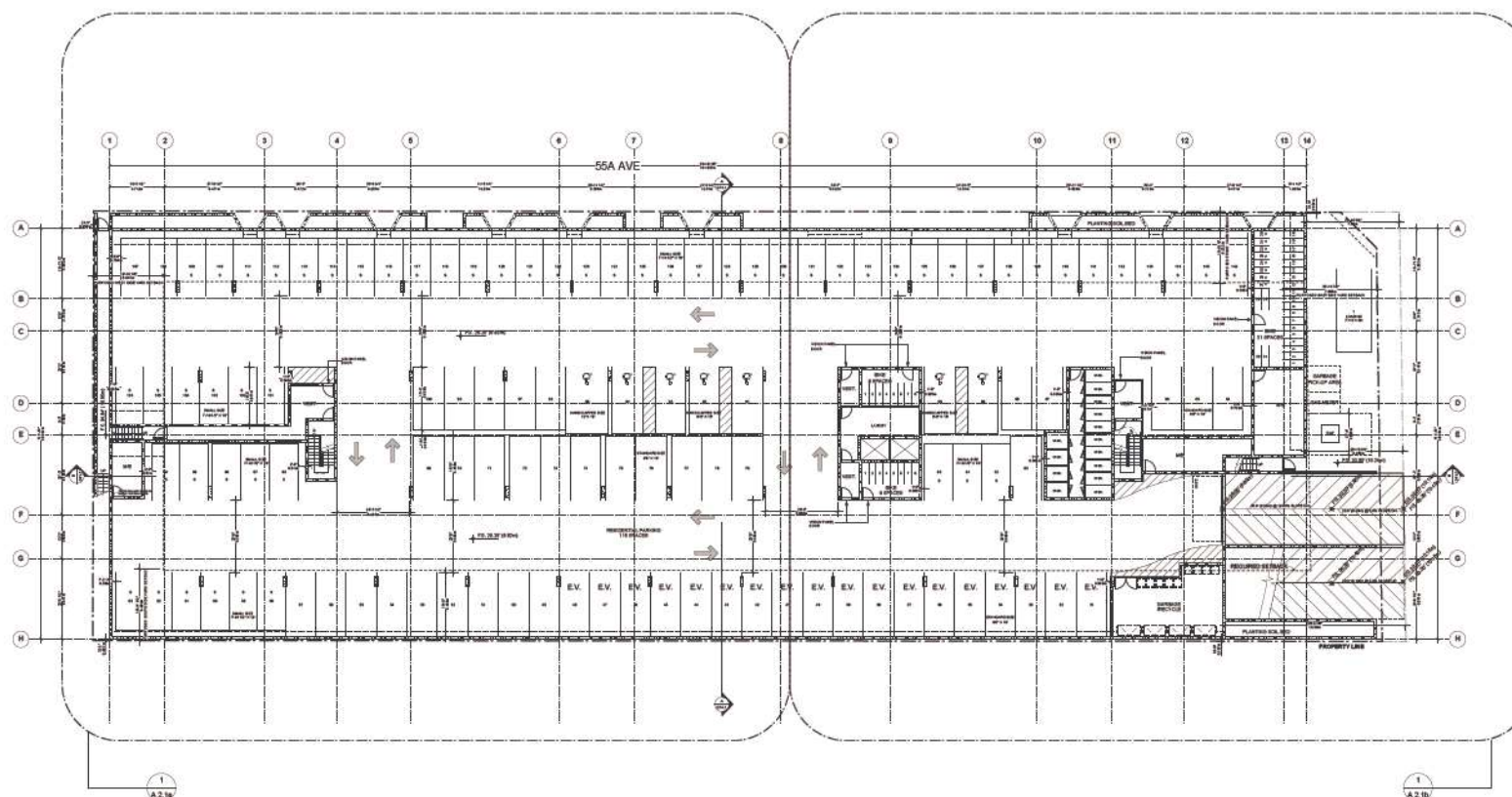
project
19948 55a AVE.
LANGLEY, BC

site
SITE PLAN

project number 21817	file name
drawn dms	checked kdc
scale VSB-Y-Q	drawing number DP 1.1

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1 PARKING KEY PLAN
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"ALL PARKING STALLS HAVE ROUGHED-IN WIRING FOR FUTURE E.V. CHARGING"



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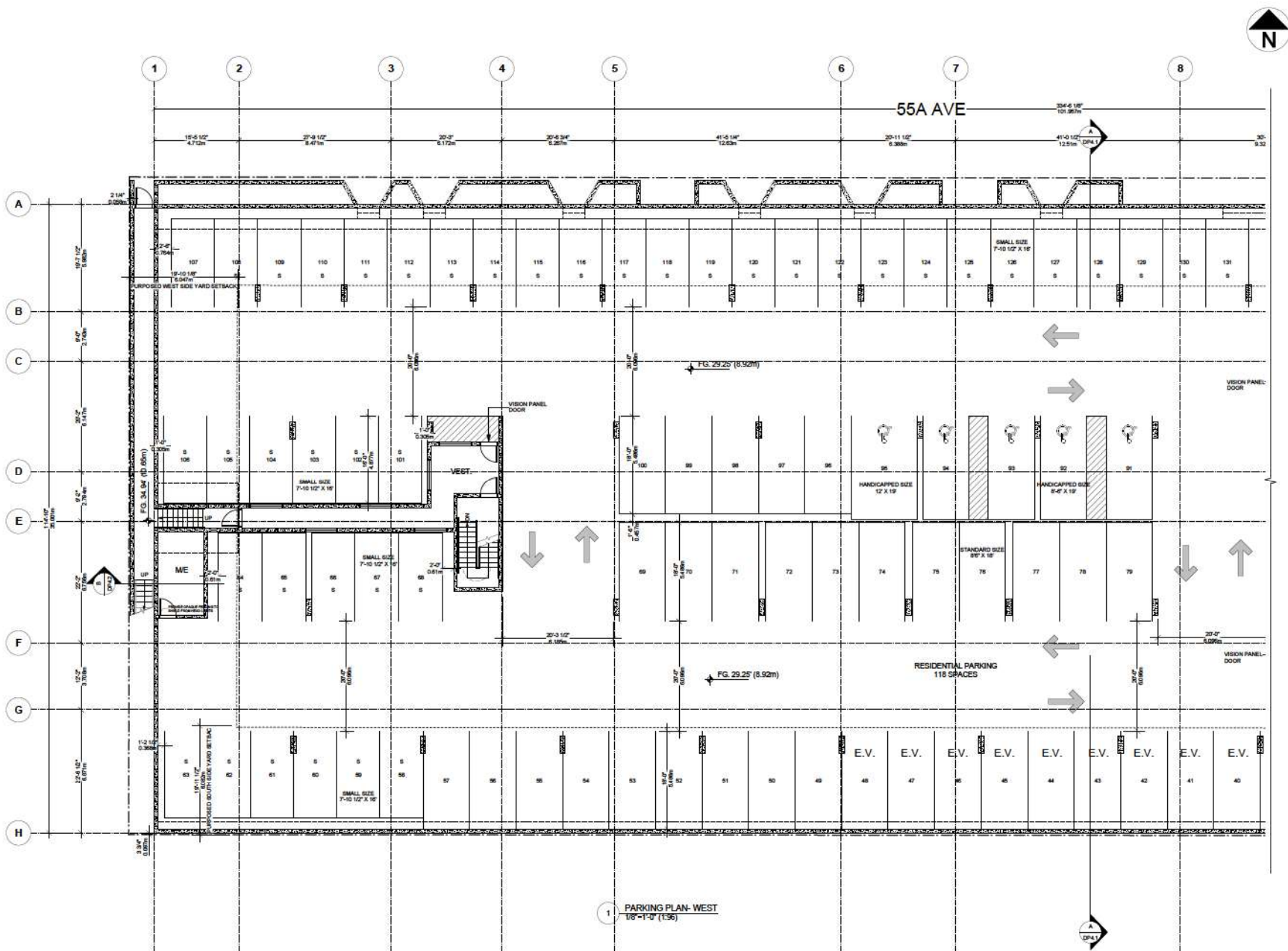
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project 19948 55a AVE. LANGLEY, BC	
title PARKING PLAN P1 KEY	
project number 21817	file name
drawn dms	checked kdc
scale 1/16"=1'-0"	
drawing number DP 2.1	

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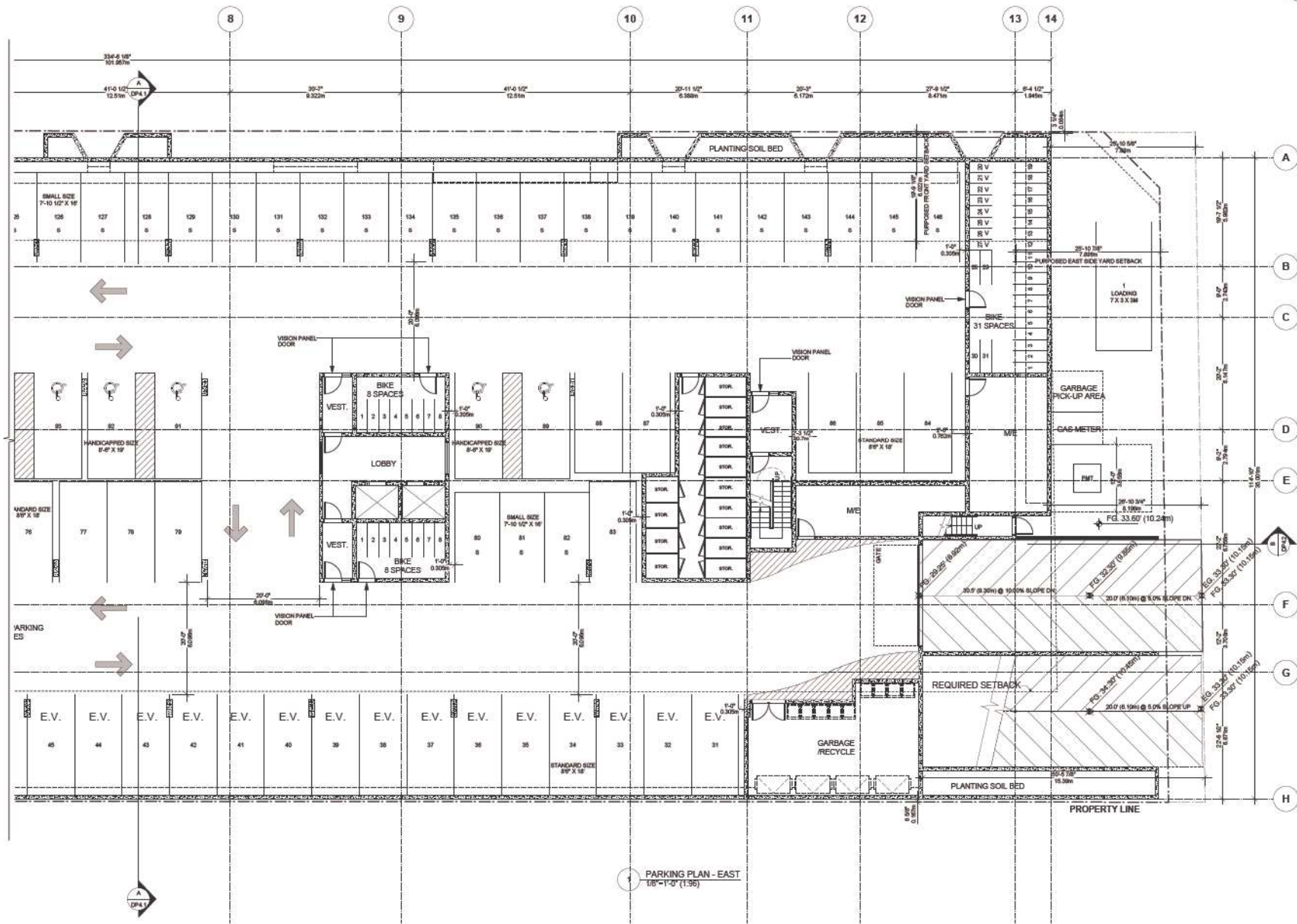
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project 19948 55a AVE. LANGLEY, BC	
file name PARKING P1 PLAN - WEST	
project number 21817	file name 10'x14'-0"
drawn date	checked date
drawing number DP 2.1a	

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project 19948 55a AVE. LANGLEY, BC	
site PARKING P1 PLAN - EAST	
project number 21817	file name
drawn dms	checked kdc
scale 1/8"=1'-0"	drawing number DP 2.1b

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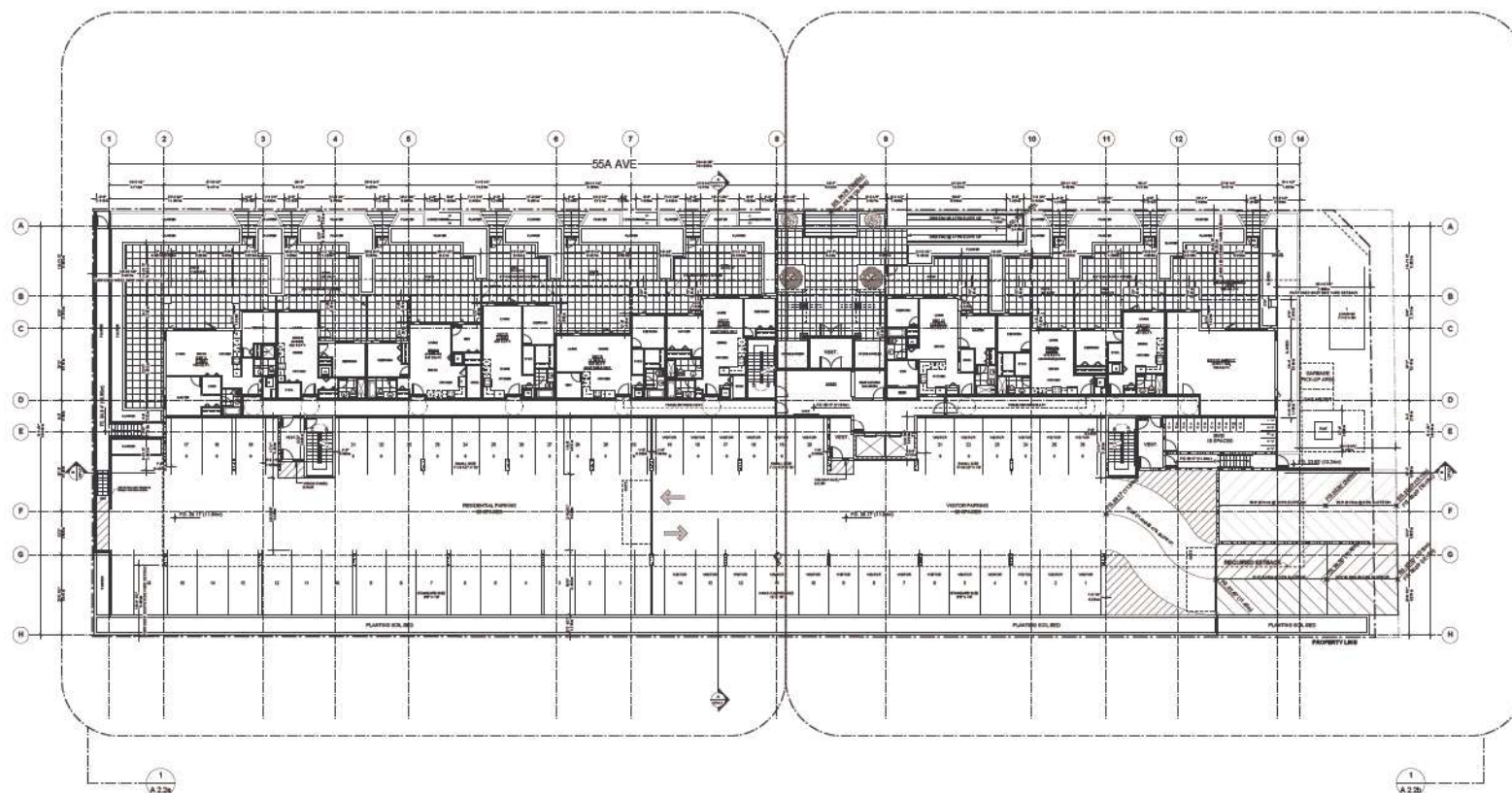


19948

REGISTERED ARCHITECT
ANDREW C. L. CHEUNG
VANCOUVER
BRITISH COLUMBIA

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1 GROUND FLOOR KEY PLAN
1/16" = 1'-0" (1:192)

ALL PARKING STALLS HAVE ROUGHED-IN WIRING FOR FUTURE E.V. CHARGING

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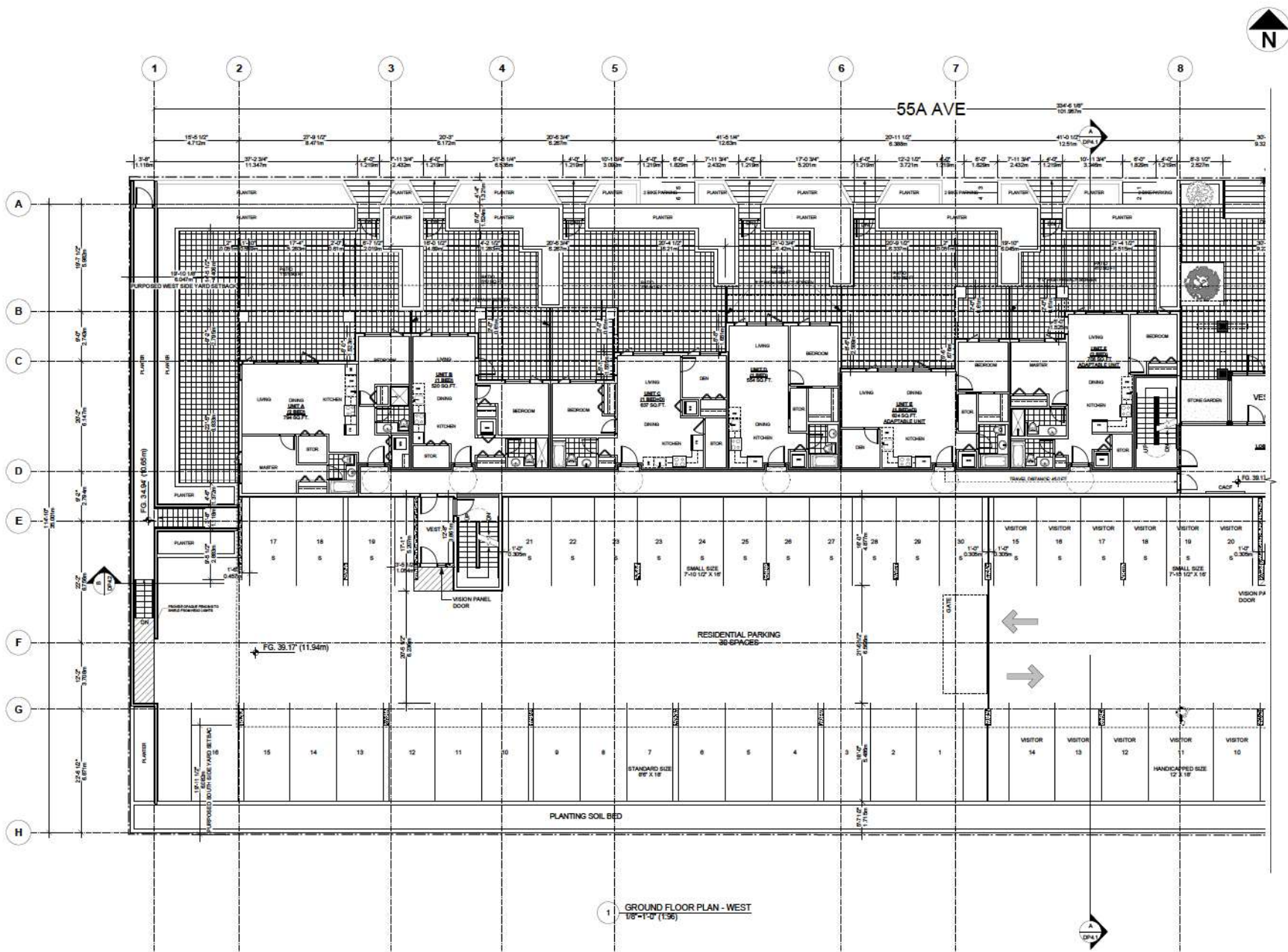
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project 19948 55a AVE. LANGLEY, BC	
site GROUND FLOOR PLAN KEY	
project number 21817	file name
drawn dms	checked kdc
scale 1/16" = 1'-0"	
drawing number DP 2.2	

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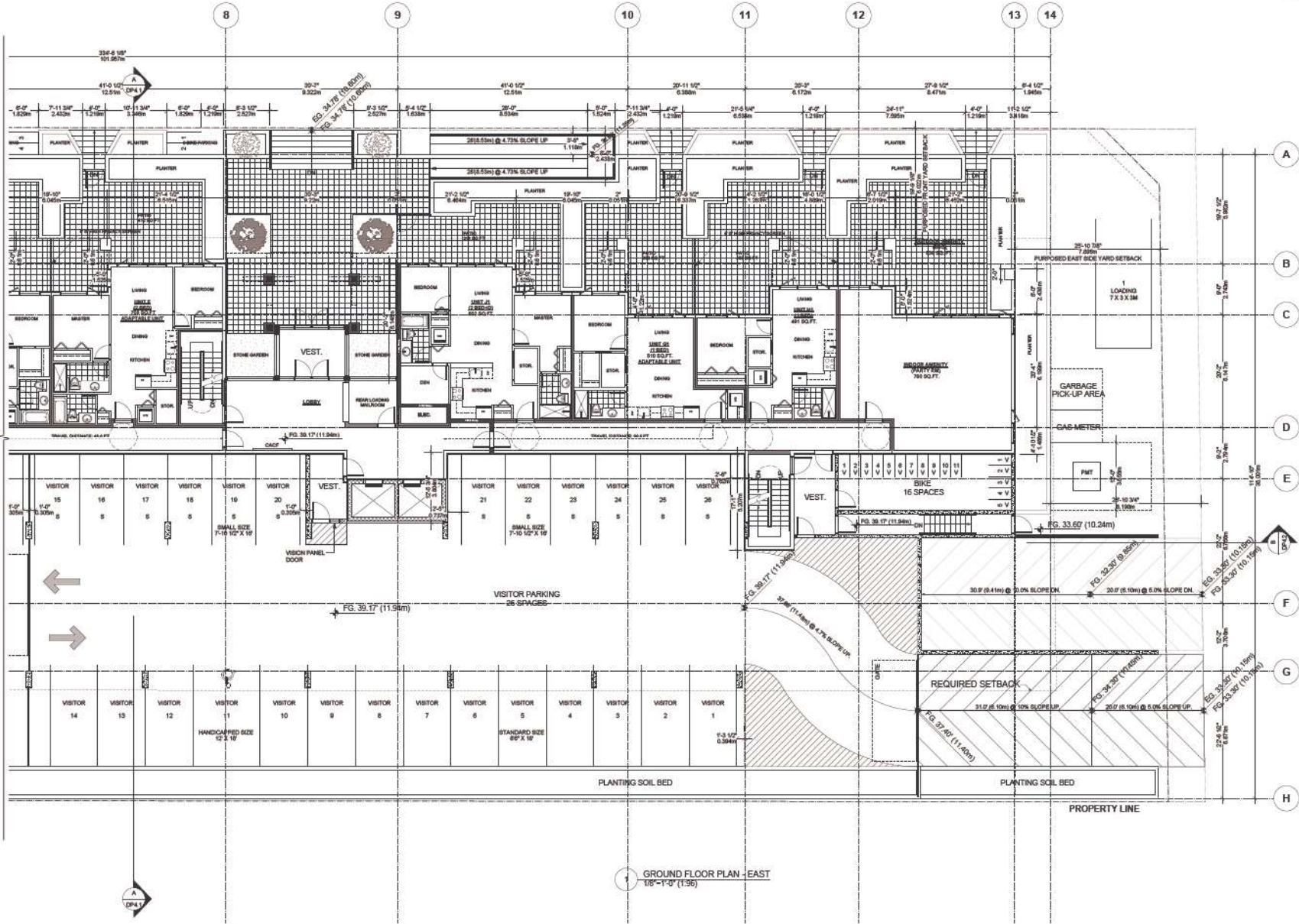
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project 19948 55a AVE. LANGLEY, BC	
file name GROUND FLOOR PLAN WEST	
project number 21817	file name 19948-2
drawn date	checked date
drawing number DP 2.2a	

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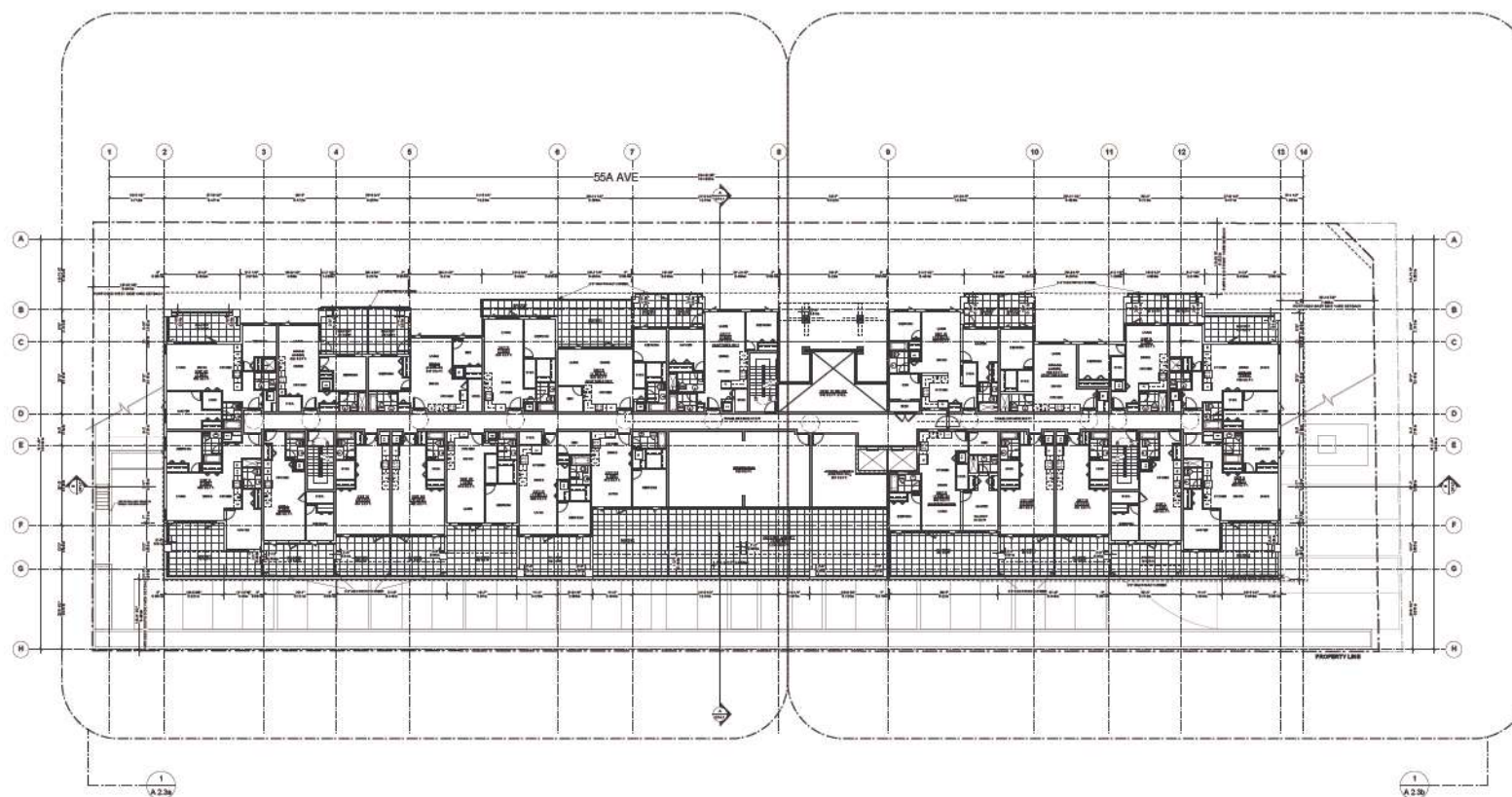
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project 19948 55a AVE. LANGLEY, BC	
title GROUND FLOOR PLAN EAST	
project number 21817	file name
drawn date	checked date
scale 1/8"=1'-0"	drawing number DP 2.2b

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1 SECOND FLOOR KEY PLAN
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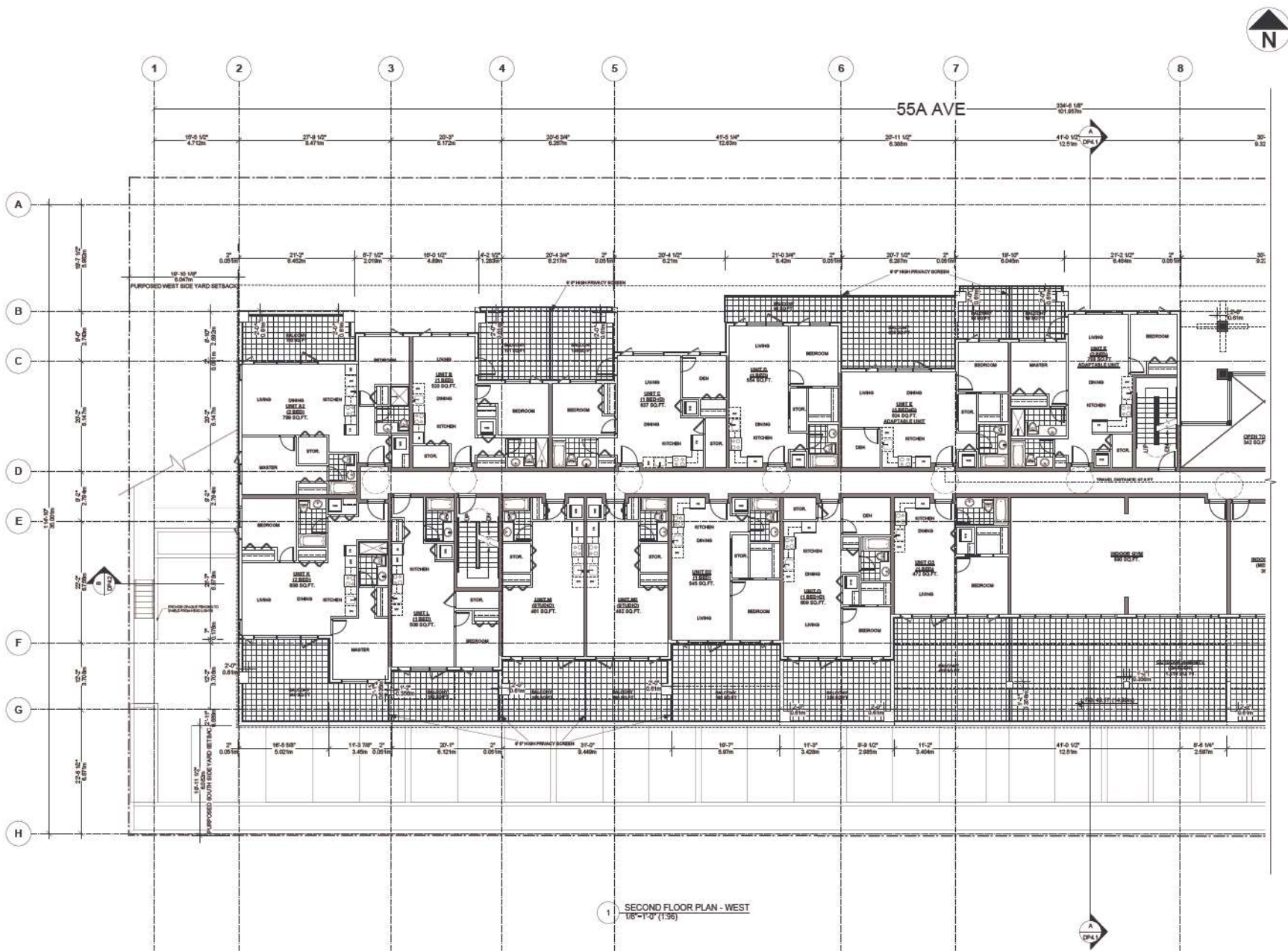
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Fax (604) 685-1889

project 19948 55a AVE. LANGLEY, BC	
title SECOND FLOOR PLAN KEY	
project number 21817	file name
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scale 1/16"=1'-0"	
drawing number DP 2.3	

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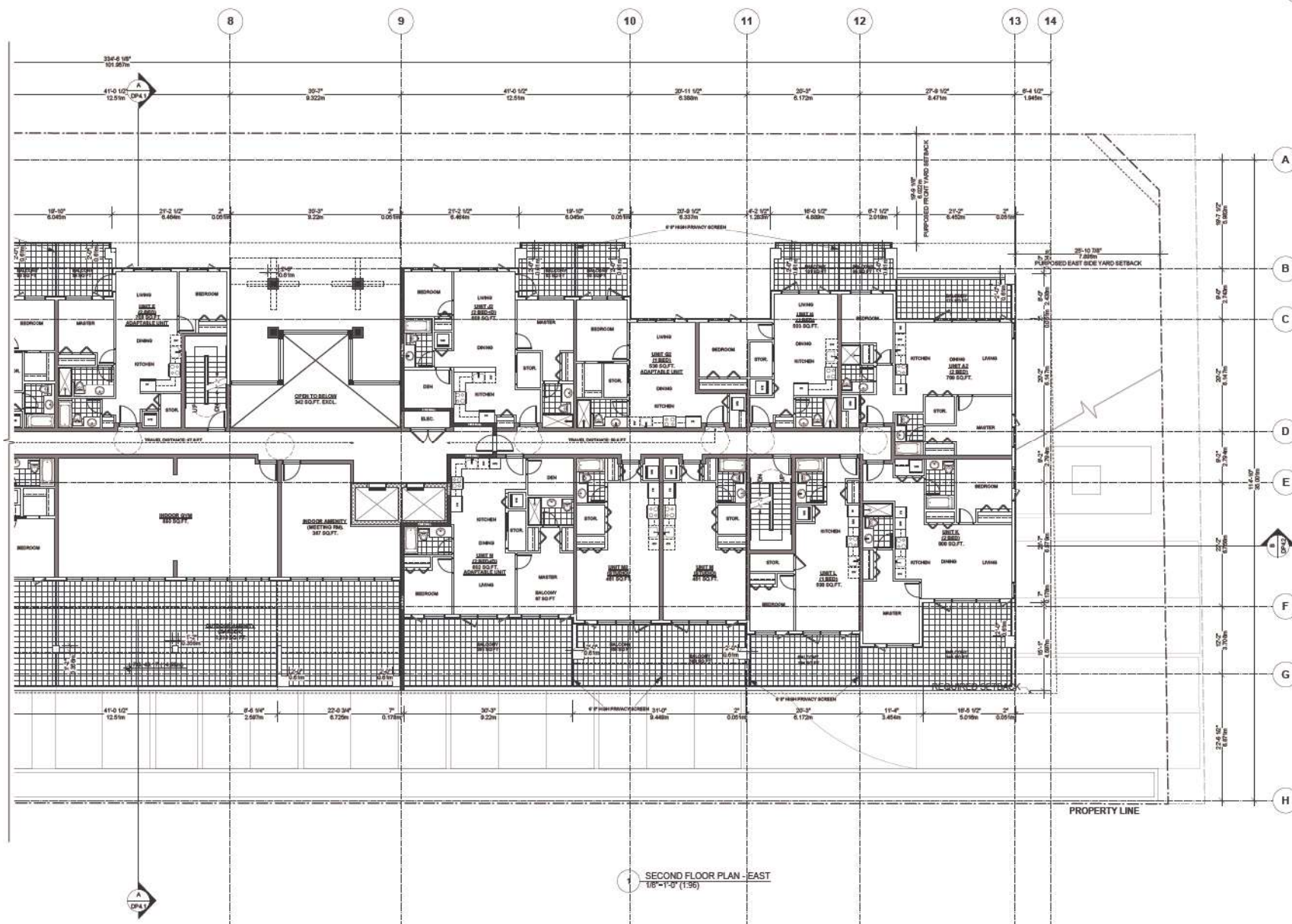
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project 19948 55A AVE. LANGLEY, BC	
site SECOND FLOOR PLAN WEST	
project number 21817	file name
drawn dms	checked kdc
scale 1/8"=1'-0"	drawing number DP 2.3a

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JUN 19 2023	Issued For RZ + DP Revision
JUL 12 2023	Issued For RZ + DP Revision

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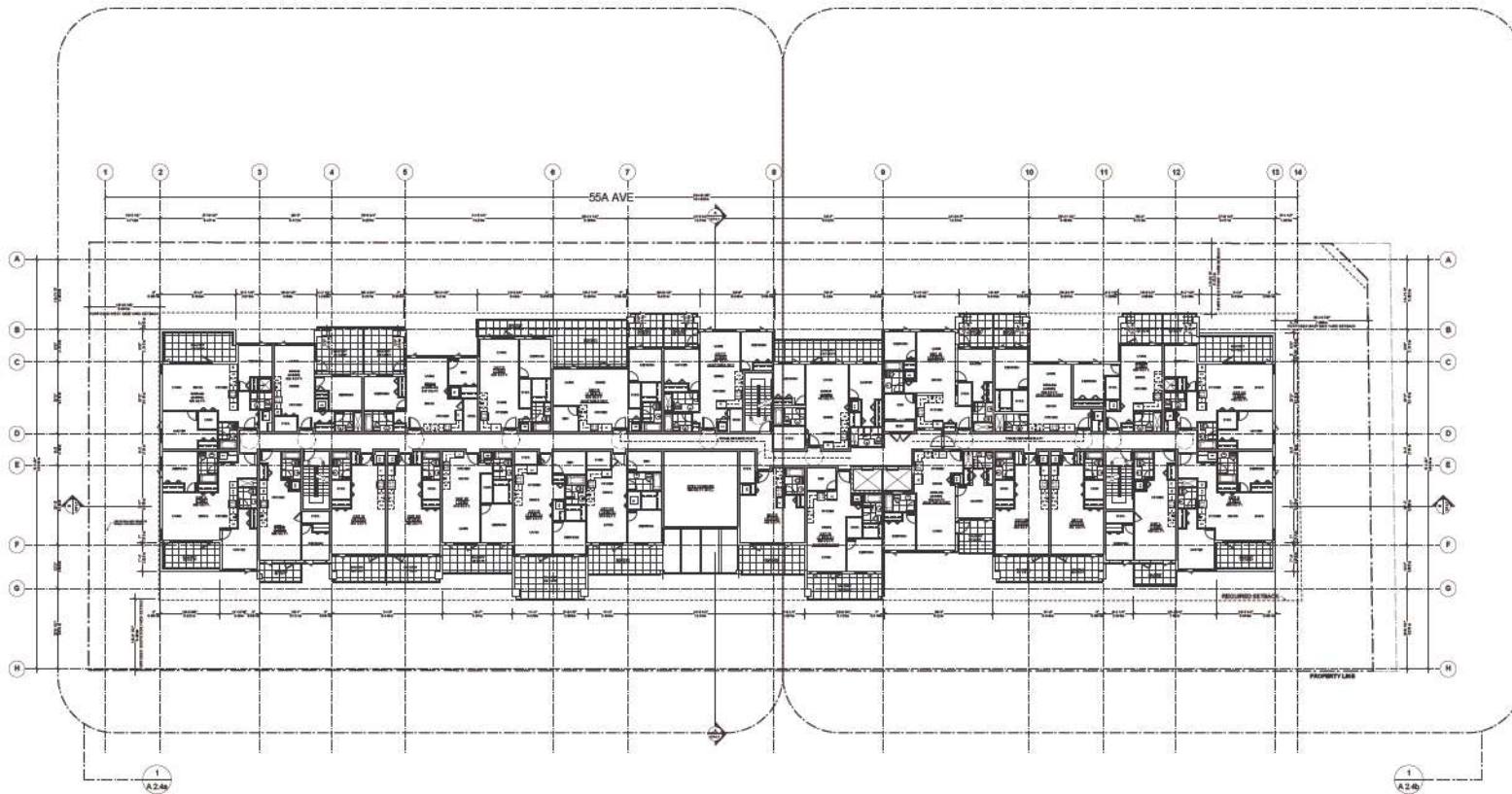
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project 19948 55a AVE. LANGLEY, BC	
title SECOND FLOOR PLAN EAST	
project number 21817	file name
drawn dms	checked kdc
scale 1/8"=1'-0"	drawing number DP 2.3b

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1 THIRD FLOOR KEY PLAN
1/16"=1'-0" (1:192)



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JUN 08 2023	Issued For RZ + DP Submission
JUN 19 2023	Issued For RZ + DP Revision
JUL 12 2023	Issued For RZ + DP Revision

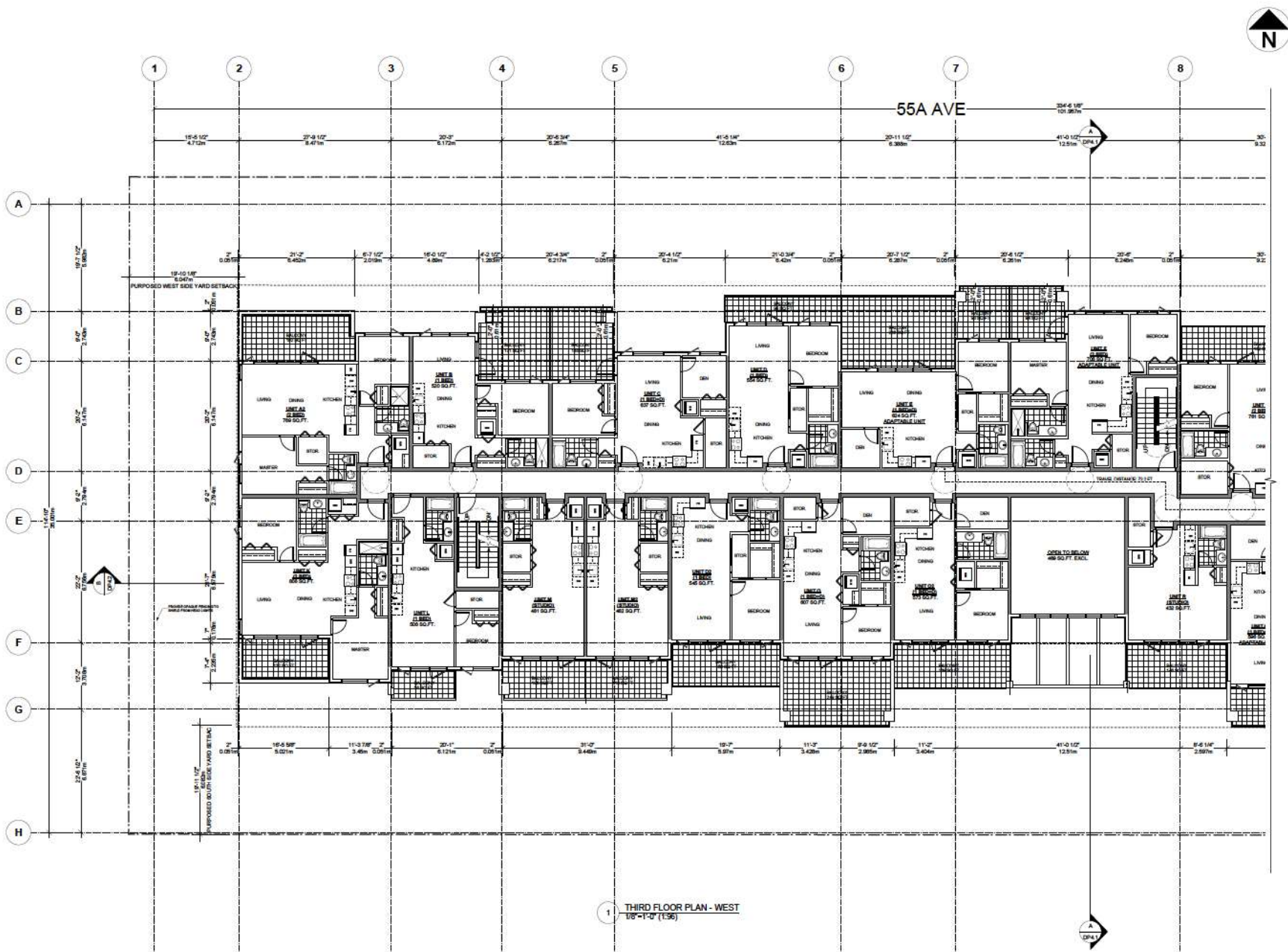
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project 19948 55a AVE. LANGLEY, BC	
title THIRD FLOOR PLAN KEY	
project number 21817	file name
drawn date	checked scale VGP-V-Q
drawing number DP 2.4	

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date	revision
JUN. 08 2023	Issued For RZ + DP Submission
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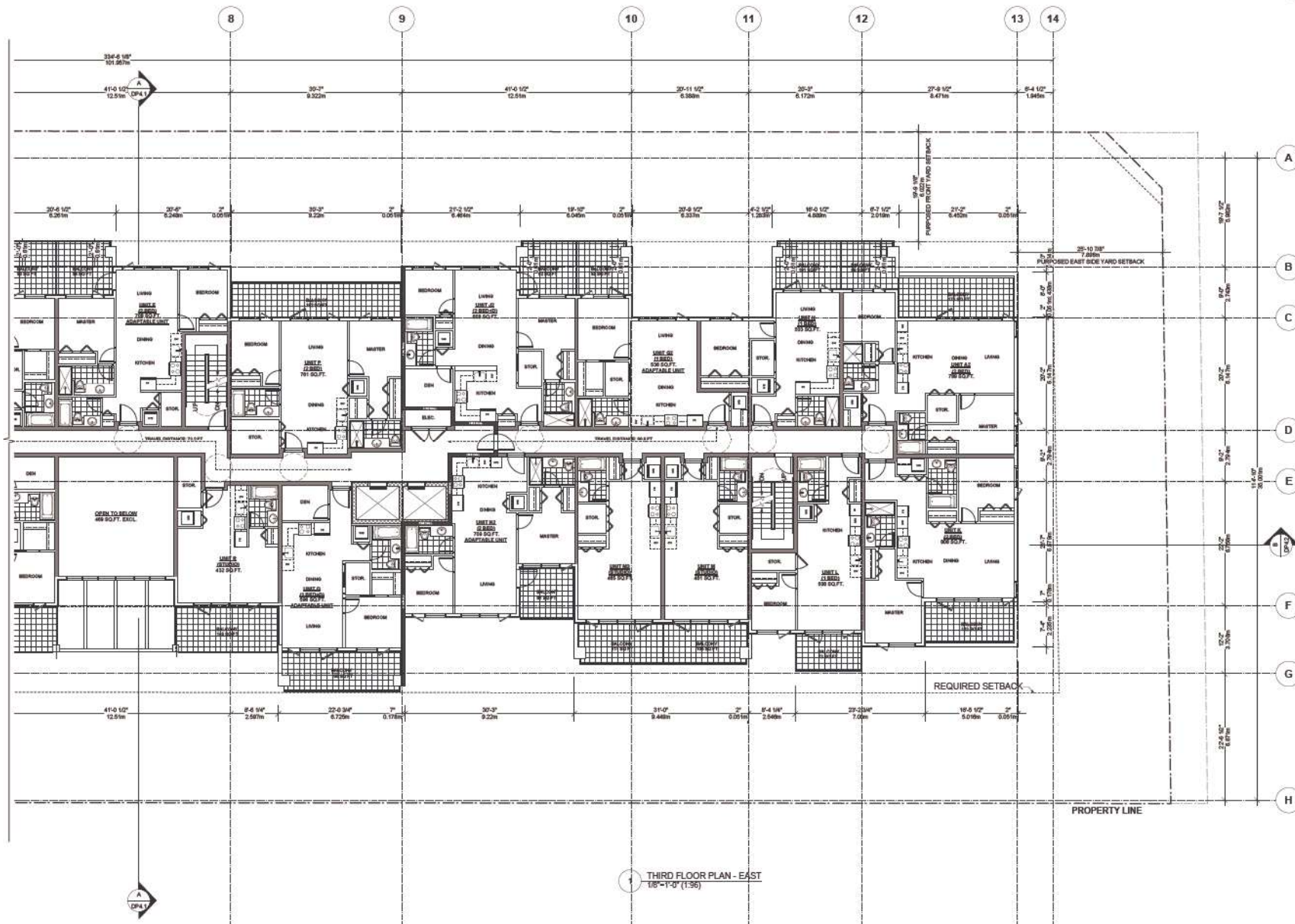
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project 19948 55a AVE. LANGLEY, BC	
file name THIRD FLOOR PLAN WEST	
project number 21817	file name 15741-02
drawn date:	checked date:
drawing number DP 2.4a	

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THIRD FLOOR PLAN - EAST
1/8"=1'-0" (1:36)



date	revisions
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project 19948 55a AVE. LANGLEY, BC			
site THIRD FLOOR PLAN EAST			
project number 21817	file name		
drawn dms	checked kdc	scale 1/8"=1'-0"	drawing number DP 2.4b
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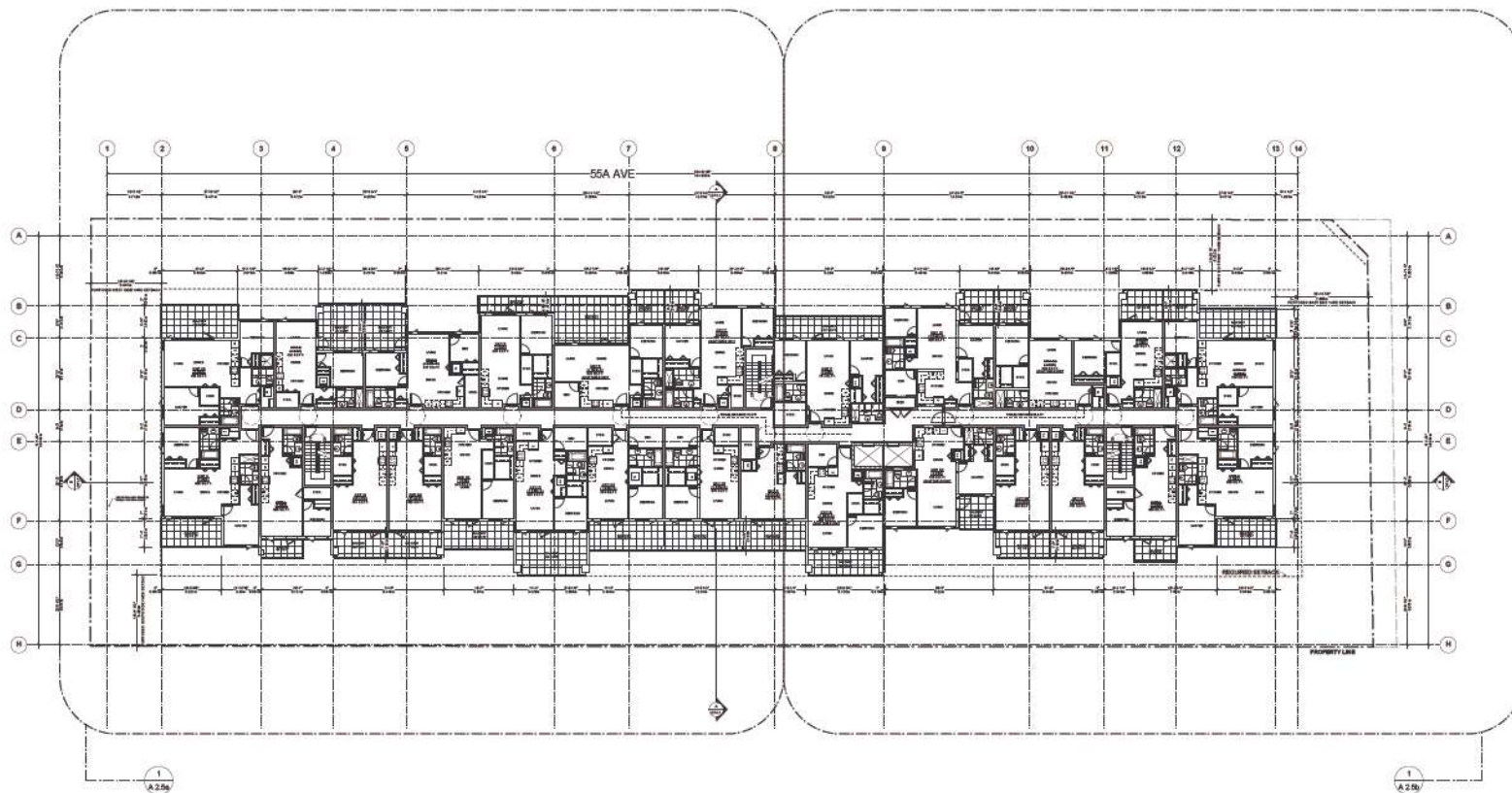
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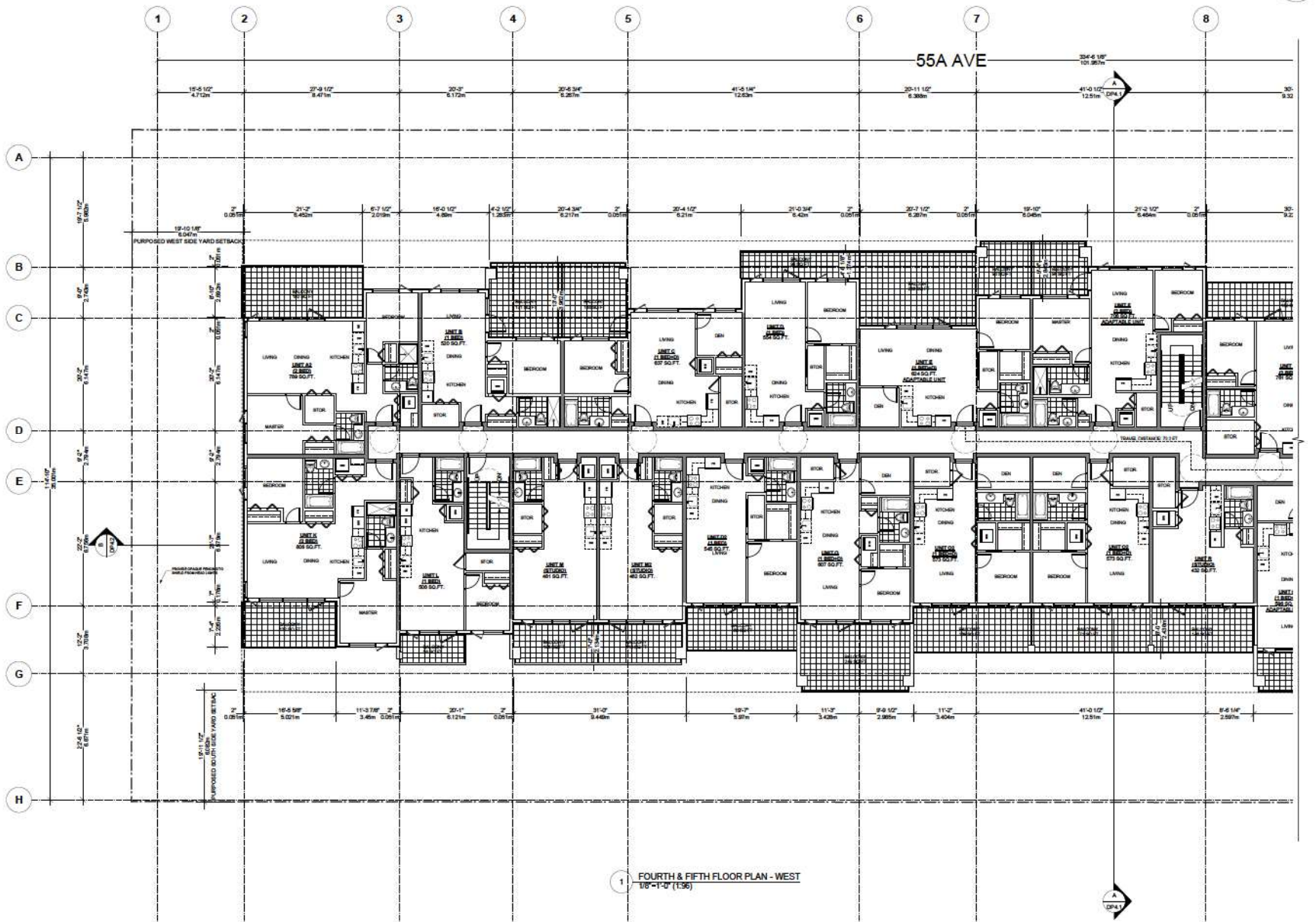
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title FOURTH & FIFTH FLOOR PLAN KEY	
project number 21817	file name
drawn date	checked scale VSB-V-Q
drawing number DP 2.5	

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1 FOURTH & FIFTH FLOOR KEY PLAN
1/16"=1'-0" (1:192)



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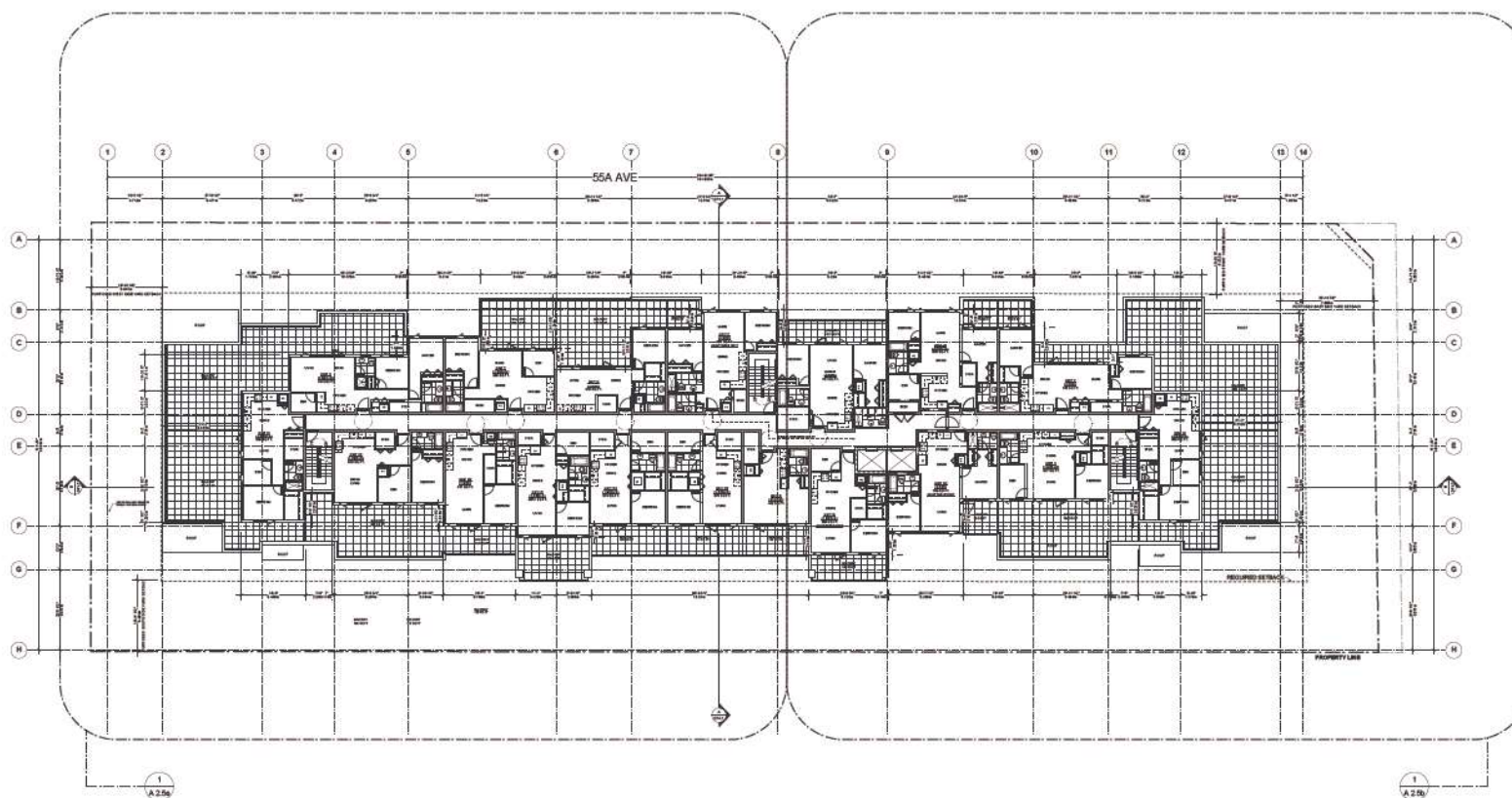
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project 19948 55a AVE. LANGLEY, BC	
file name FOURTH & FIFTH FLOOR PLAN WEST	
project number 21817	file name 15741-02
drawn date:	checked date:
drawing number DP 2.5a	

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1 SIXTH FLOOR KEY PLAN
1/16" = 1'-0" (1:192)

15899



date	revisions
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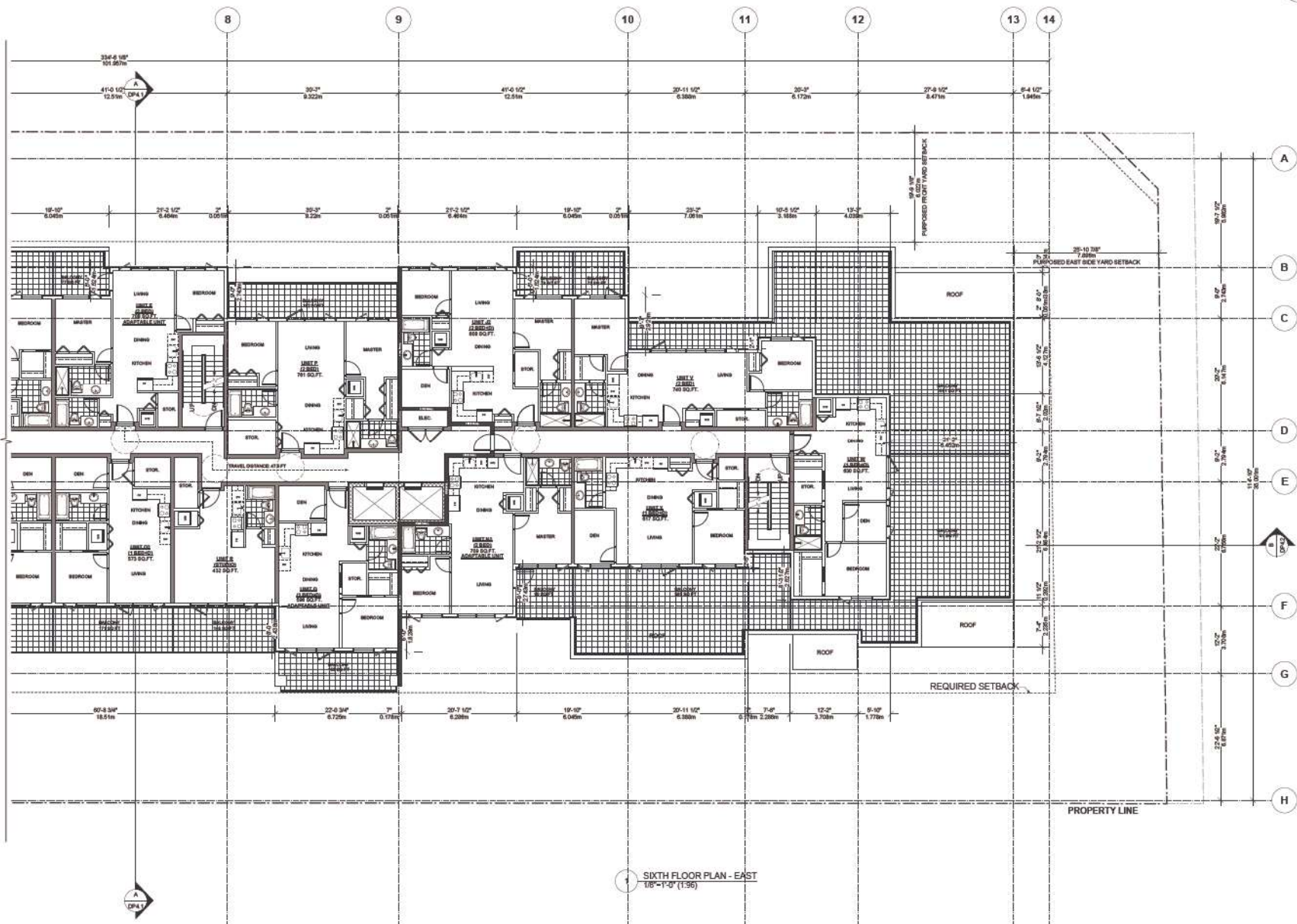
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project 19948 55a AVE. LANGLEY, BC	
title SIXTH FLOOR PLAN KEY	
project number 21817	file name
drawn dms	checked kdc
scale 1/16" = 1'-0"	
drawing number DP 2.6	

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SIXTH FLOOR PLAN - EAST
1/8"=1'-0" (1:96)



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JUL 12 2023	Issued For RZ + DP Revision

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project 19948 55a AVE. LANGLEY, BC	
title SIXTH FLOOR PLAN EAST	
project number 21817	file name
drawn dms	checked kdc
scale 1/8"=1'-0"	drawing number DP 2.6b

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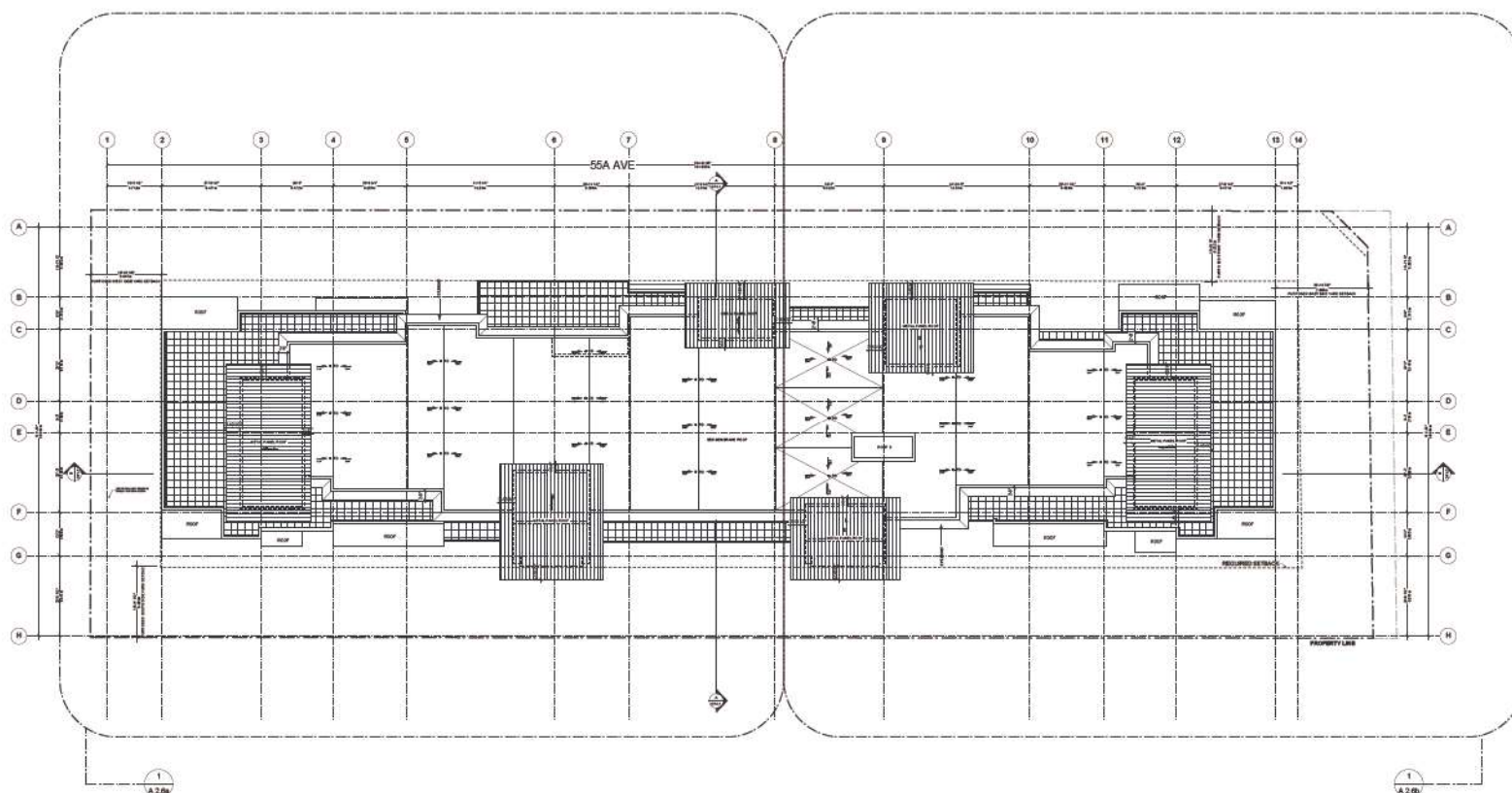
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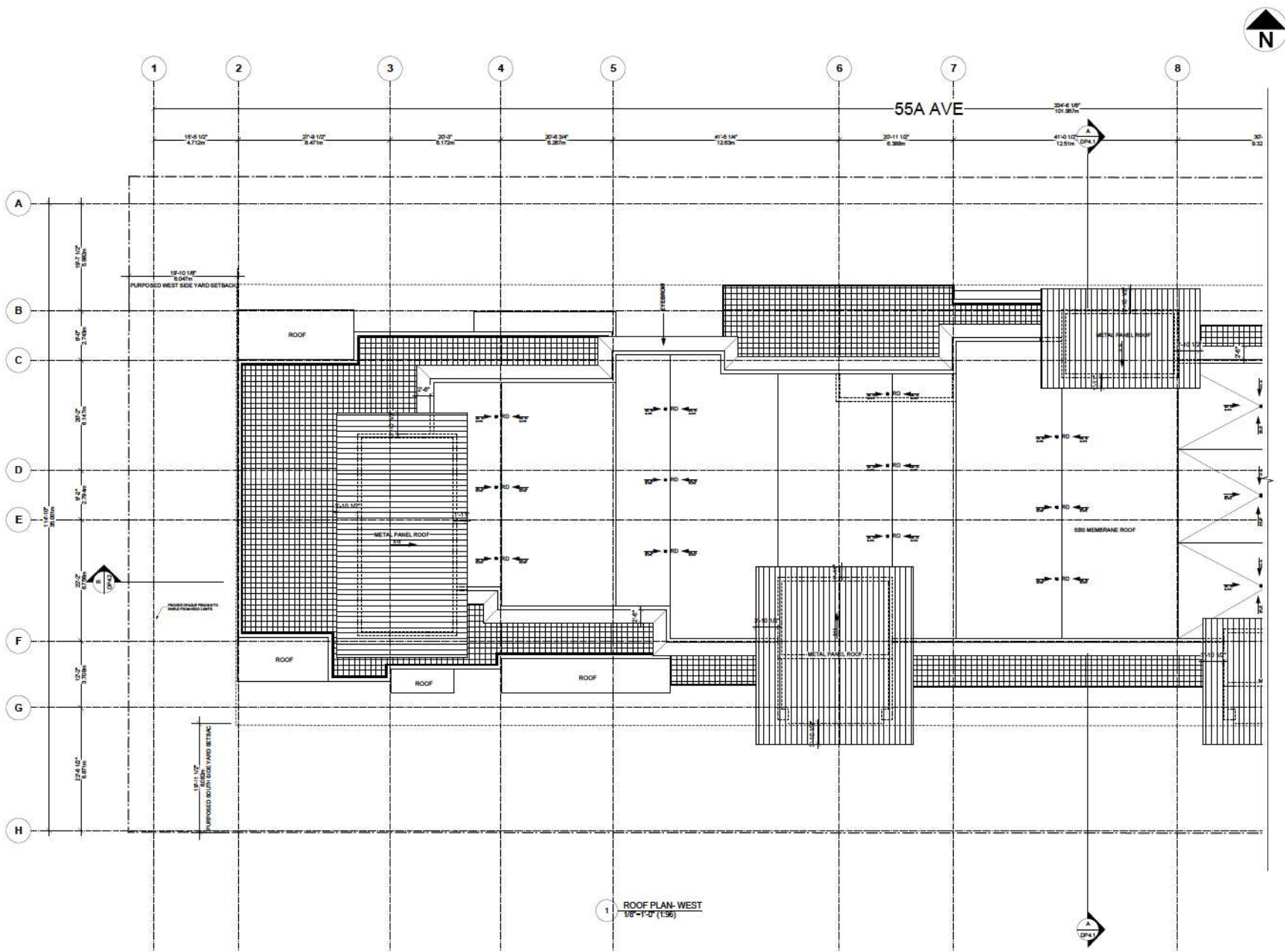
project 19948 55a AVE. LANGLEY, BC	
title ROOF PLAN KEY	
project number 21817	file name
drawn dms	checked ksh
scale 1/8"=1'-0"	
drawing number DP 2.7	

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1 ROOF KEY PLAN
1/16"=1'-0" (1:192)



date	revisions
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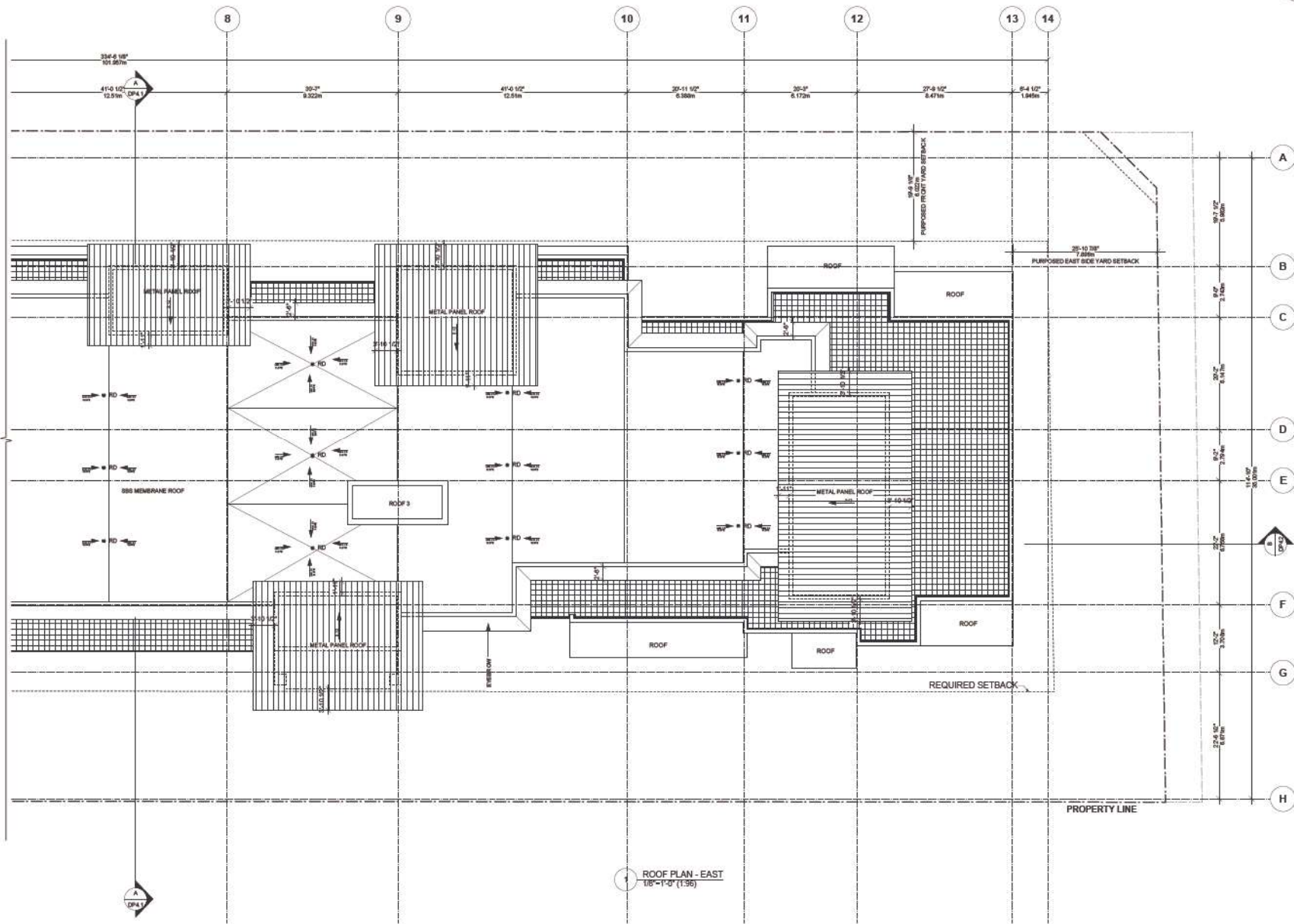
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project 19948 55a AVE. LANGLEY, BC	
title ROOF PLAN WEST	
project number 21817	file name 19948-21
drawn dms	checked mcs
drawing number DP 2.7a	

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19948

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project 19948 55a AVE. LANGLEY, BC	
title ROOF PLAN EAST	
project number 21817	file name
drawn dms	checked kdc
scale 1/8"=1'-0"	
drawing number DP 2.7b	

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1. NATURAL BRICK
2. HARDPANEL COLOR 1
3. HARDPANEL COLOR 2
4. HARDPANEL COLOR 3
5. HARDPANEL COLOR 4
6. PREFINISH METAL CAP (CHARCOAL GREY)
7. PREFINISH METAL FLASHING (CHARCOAL GREY)
8. PREFINISH ALUMINUM RAILING (CHARCOAL GREY)
9. PREFINISH METAL PANEL (CHARCOAL GREY)
10. VINYL WINDOW MULLIONS (CHARCOAL GREY)
11. GLASS RAILING
12. CEDAR SOFFIT
13. HEAVY TIMBER
14. EXPOSED CONCRETE (PAINTED)

NOTE: ALL SHEDS/LOPED ROOF TO BE STANDING SEAM METAL ASSEMBLY



date	revisions
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project
19948 55a AVE.
LANGLEY, BC

NORTH ELEVATION - EAST

project number 21817	file name
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drawn date:	checked date:	scale 1/8" = 1'-0" (1/8")
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1 NORTH ELEVATION - EAST (55A Ave.)
1/8" = 1'-0" (1:96)

- LEGEND
1. NATURAL BRICK
 2. HARDIPANEL COLOR 1
 3. HARDIPANEL COLOR 2
 4. HARDIPANEL COLOR 3
 5. HARDIPANEL COLOR 4
 6. PREFINISH METAL CAP (CHARCOAL GREY)
 7. PREFINISH METAL FLASHING (CHARCOAL GREY)
 8. PREFINISH ALUMINUM RAILING (CHARCOAL GREY)
 9. PREFINISH METAL PANEL (CHARCOAL GREY)
 10. VINYL WINDOW MULLIONS (CHARCOAL GREY)
 11. GLASS RAILING
 12. CEDAR SOFFIT
 13. HEAVY TIMBER
 14. EXPOSED CONCRETE (PAINTED)
- NOTE: ALL SHEDSLOPED ROOF TO BE STANDING SEAM METAL ASSEMBLY



1 NORTH ELEVATION - WEST (55A Ave.)
1/8" = 1'-0" (1:96)



date	revisions
JUN 08 2023	Issued For RZ + DP Submission
JUN 19 2023	Issued For RZ + DP Revision
JUL 12 2023	Issued For RZ + DP Revision

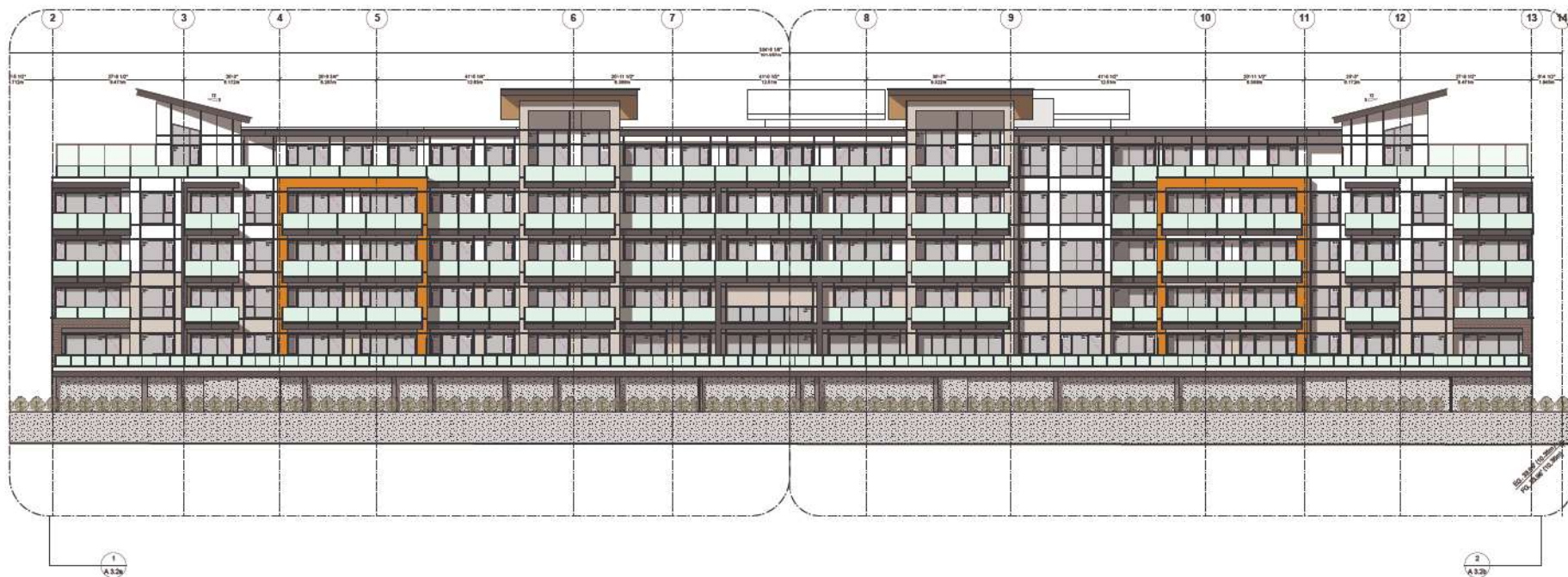
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project 19948 55a AVE. LANGLEY, BC	
title NORTH ELEVATION - WEST	
project number 21817	file name
drawn dms	checked ksh
scale 1/8" = 1'-0" (1:96)	drawing number DP 3.1b

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1 SOUTH KEY ELEVATION
3/32" = 1'-0" (1:128)



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project 19948 55a AVE. LANGLEY, BC	
title SOUTH ELEVATION KEY	
project number 21817	file name
drawn dms	checked ksh
scale 3/32" = 1'-0"	
drawing number DP 3.2	

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- LEGEND
1. NATURAL BRICK
 2. HANDPAVEL COLOR 1
 3. HANDPAVEL COLOR 2
 4. HANDPAVEL COLOR 3
 5. HANDPAVEL COLOR 4
 6. PREPARED METAL CAP (CHARCOAL GREY)
 7. PREPARED METAL FLASHING (CHARCOAL GREY)
 8. PREPARED ALUMINUM RAILING (CHARCOAL GREY)
 9. PREPARED METAL PANEL (CHARCOAL GREY)
 10. VINYL WINDOW MULLIONS (CHARCOAL GREY)
 11. GLASS RAILING
 12. CEDAR SOFFIT
 13. HEAVY TIMBER
 14. EXPOSED CONCRETE (PAINTED)

NOTE: ALL SHEETWORK ROOF TO BE STANDING SEAM METAL ASSEMBLY



1 SOUTH ELEVATION - WEST
1/8" = 1'-0" (1:96)



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JUN 08 2023	Issued For RZ + DP Submission
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project 19948 55a AVE. LANGLEY, BC	
title SOUTH ELEVATION - WEST	
project number 21817	file name
drawn dms	checked kdc
scale 1/8"=1'-0"	
drawing number DP 3.2a	

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- LEGEND
1. NATURAL BRICK
 2. HARDPANEL COLOR 1
 3. HARDPANEL COLOR 2
 4. HARDPANEL COLOR 3
 5. HARDPANEL COLOR 4
 6. PREFINISH METAL CAP (CHARCOAL GREY)
 7. PREFINISH METAL FLASHING (CHARCOAL GREY)
 8. PREFINISH ALUMINUM RAILING (CHARCOAL GREY)
 9. PREFINISH METAL PANEL (CHARCOAL GREY)
 10. VINYL WINDOW MULLIONS (CHARCOAL GREY)
 11. GLASS RAILING
 12. CEDAR SOFFIT
 13. HEAVY TIMBER
 14. EXPOSED CONCRETE (PAINTED)

NOTE: ALL SHEDSLOPED ROOF TO BE STANDING SEAM METAL ASSEMBLY



1 SOUTH ELEVATION - EAST
1/8" = 1'-0" (1:96)



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project 19948 55a AVE. LANGLEY, BC			
title SOUTH ELEVATION - EAST			
project number 21817	file name		
drawn dms	checked mcs	scale 1/8"=1'-0"	drawing number DP 3.2b
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- LEGEND**
1. NATURAL BRICK
 2. HARDIPANEL, COLOR 1
 3. HARDIPANEL, COLOR 2
 4. HARDIPANEL, COLOR 3
 5. HARDIPANEL, COLOR 4
 6. PREFINISH METAL CAP (CHARCOAL GREY)
 7. PREFINISH METAL FLASHING (CHARCOAL GREY)
 8. PREFINISH ALUMINUM RAILING (CHARCOAL GREY)
 9. PREFINISH METAL PANEL (CHARCOAL GREY)
 10. VINYL WINDOW MULLIONS (CHARCOAL GREY)
 11. GLASS RAILING
 12. CEDAR SOFFIT
 13. HEAVY TIMBER
 14. EXPOSED CONCRETE (PAINTED)
- NOTE: ALL SHEDDED ROOF TO BE STANDING SEAM METAL ASSEMBLY



date	revisions
JUN 08 2023	Issued For RZ + DP Submission
JUN 19 2023	Issued For RZ + DP Revision
JUL 12 2023	Issued For RZ + DP Revision

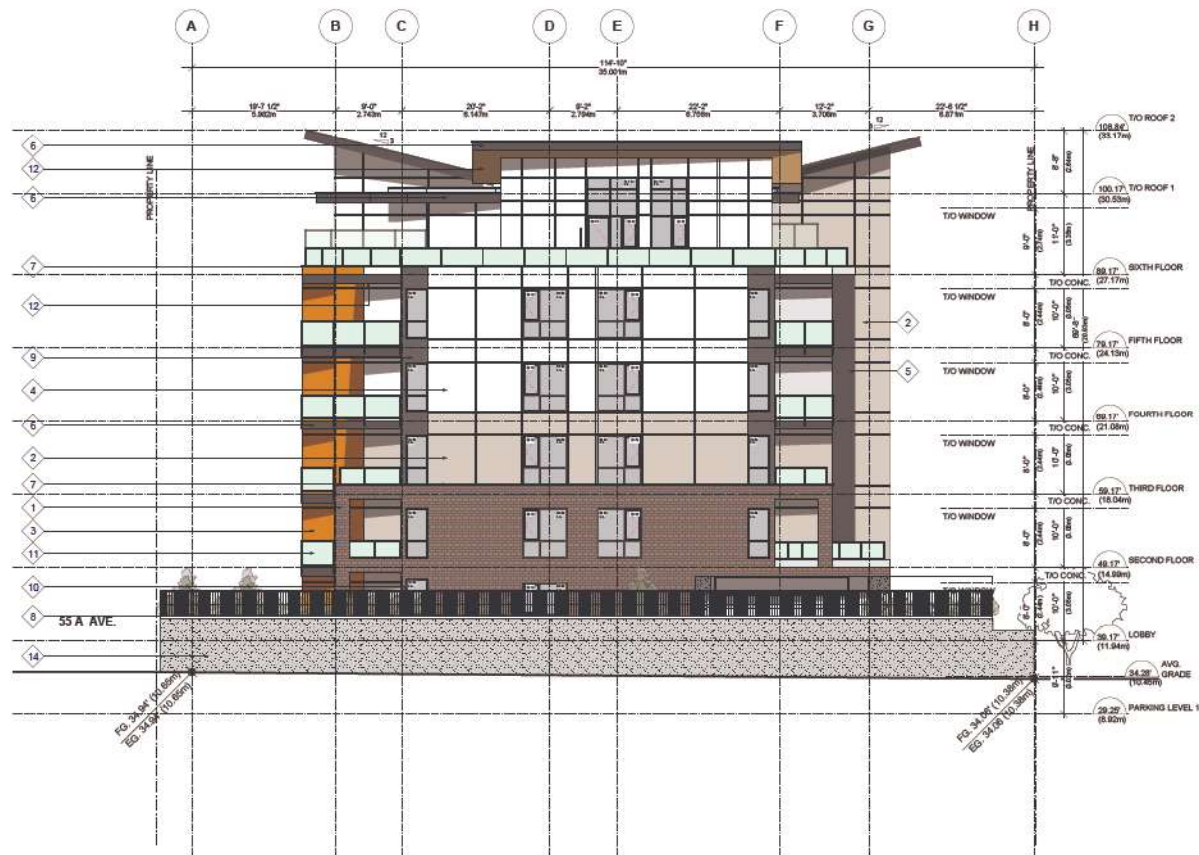
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project 19948 55a AVE. LANGLEY, BC			
title EAST ELEVATION			
project number 21817	file name		
drawn dms	checked ksh	scale 1/8"=1'-0"	drawing number DP 3.3

1 EAST ELEVATION
1/8" = 1'-0" (1:96)



- LEGEND
1. NATURAL BRICK
 2. HARDIPANEL COLOR 1
 3. HARDIPANEL COLOR 2
 4. HARDIPANEL COLOR 3
 5. HARDIPANEL COLOR 4
 6. PREFINISH METAL CAP (CHARCOAL GREY)
 7. PREFINISH METAL FLASHING (CHARCOAL GREY)
 8. PREFINISH ALUMINUM RAILING (CHARCOAL GREY)
 9. PREFINISH METAL PANEL (CHARCOAL GREY)
 10. VINYL WINDOW BELLIONS (CHARCOAL GREY)
 11. GLASS RAILING
 12. CEDAR SOFFIT
 13. HEAVY TIMBER
 14. EXPOSED CONCRETE (PAINTED)
- NOTE: ALL SHEVELOPED ROOF TO BE STANDING SEAM METAL ASSEMBLY



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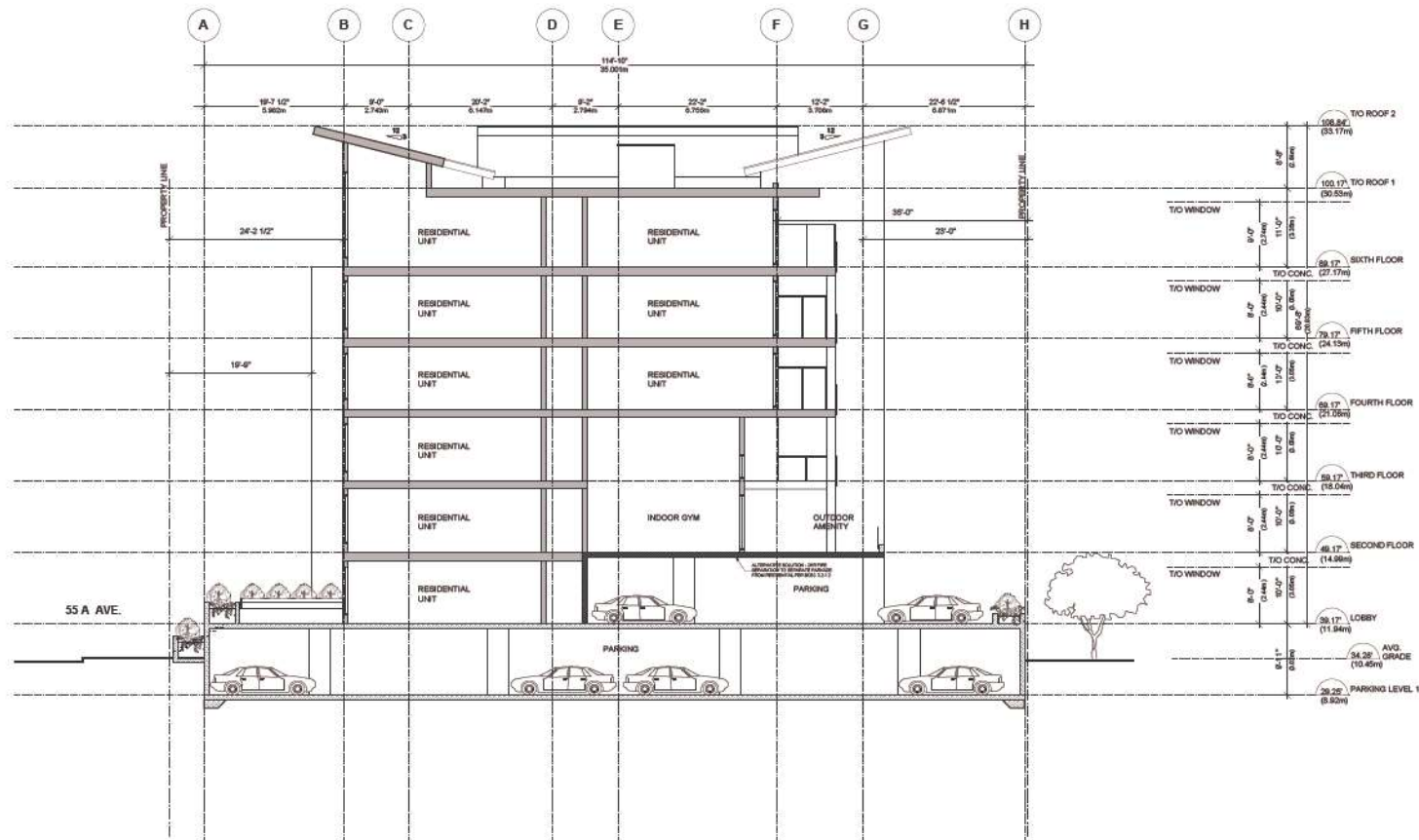
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project 19948 55a AVE. LANGLEY, BC			
title WEST ELEVATION			
project number 21817	file name		
drawn dms	checked ksh	scale 1/8"=1'-0"	drawing number DP 3.4

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1 SECTION A-A
1/8" = 1'-0" (1:36)



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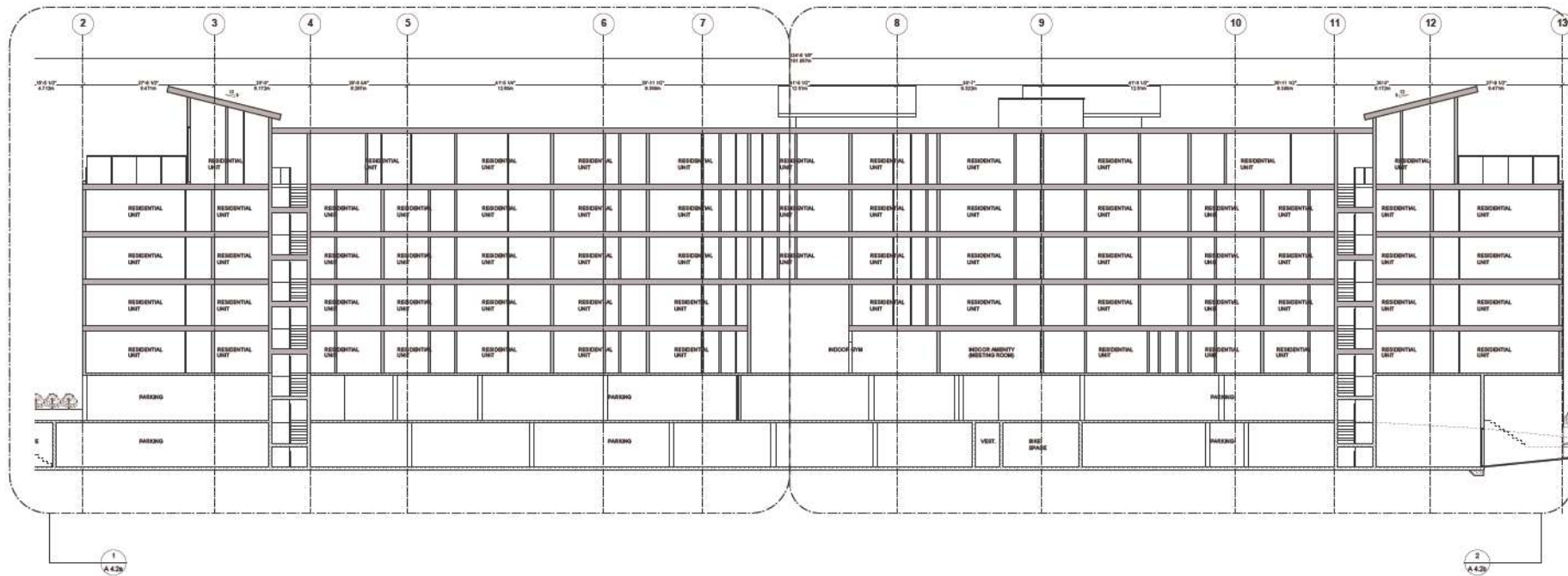
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project 19948 55a AVE. LANGLEY, BC			
title SECTIONS A-A			
project number 21817	file name		
drawn dms	checked ksh	scale 1/8"=1'-0"	drawing number DP 4.1

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1 SECTION B-B KEY
3/32" = 1'-0" (1:128)



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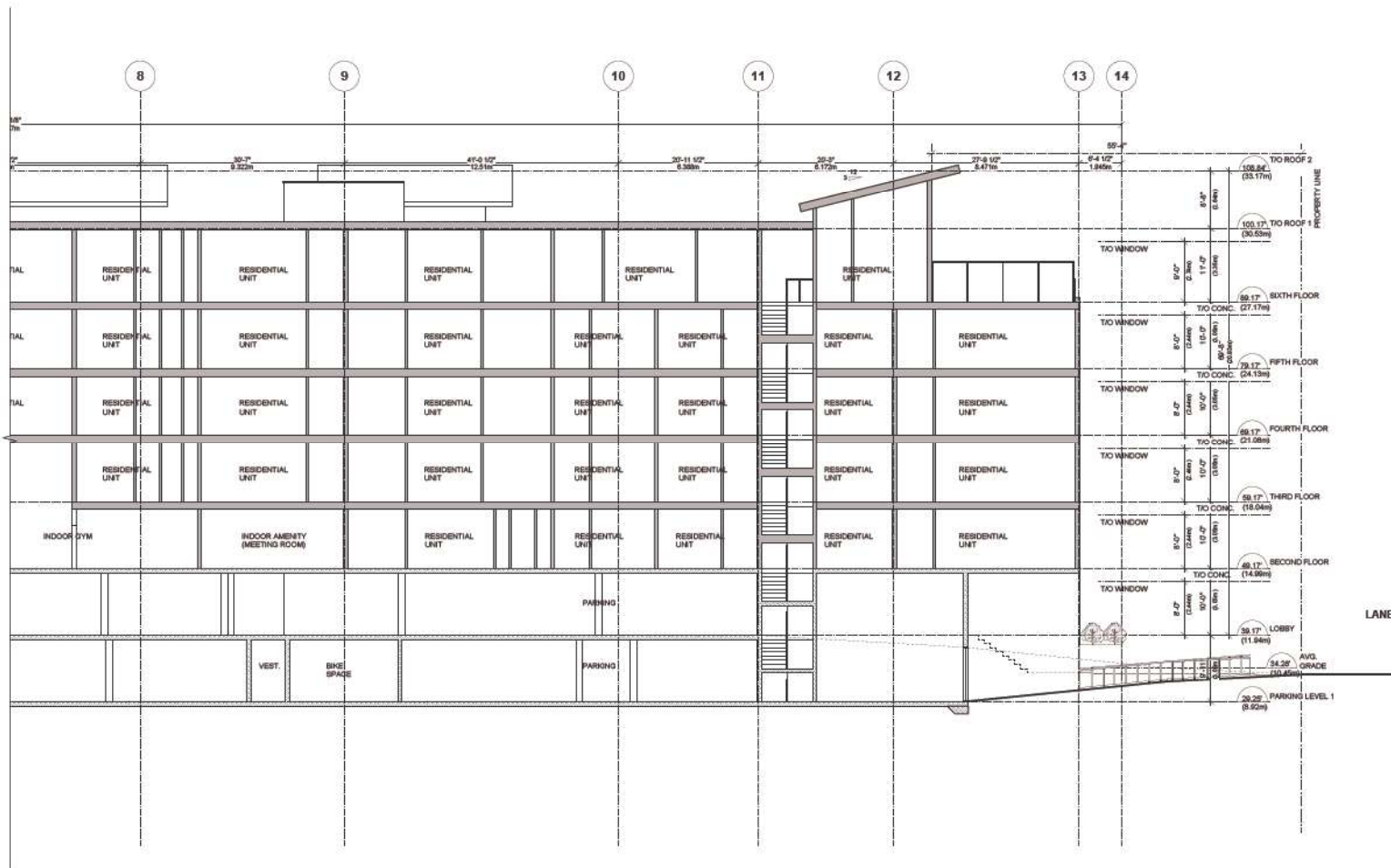
project 19948 55a AVE. LANGLEY, BC			
title SECTIONS B-B KEY			
project number 21817	file name		
drawn dms	checked kds	scale 3/32" = 1'-0"	drawing number DP 4.2
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title SECTIONS B-B - WEST			
project number 21817		file name _____	
drawing author	checked sketch	scale 1/8" = 1'-0"	
drawing number DP 4.2a		_____	



1 SECTION B-B - EAST
1/8" = 1'-0" (1:96)



date	revisions
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project 19948 55a AVE. LANGLEY, BC			
title SECTIONS B-B - EAST			
project number 21817	file name		
drawn dms	checked kdc	scale 1/8"=1'-0"	drawing number DP 4.2b

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1 STREET ELEVATION (55A AVE.)
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Vancouver, B.C.
V6J 1T5
Tel (604) 685-2088
Fax (604) 685-1889

project 19948 55a AVE. LANGLEY, BC	
title STREET ELEVATIONS KEY	
project number 21817	file name
drawn date	checked scale 1/32" = 1'-0"
drawing number DP 5.1	

This drawing was created using an approved computer system.



200 ST. 5531 LANE 19970 19960 19950 19940

1 EXISTING STREET ELEVATION (55A AVE.) - EAST
Scale: 1:200



200 ST. 5531 LANE 19970 19960 19950 19940

2 PROPOSED STREET ELEVATION (55A AVE.) - EAST
Scale: 1:200



date	revisions
JUN 08 2023	Issued For RZ + DP Submission
JUN 19 2023	Issued For RZ + DP Revision
JUL 12 2023	Issued For RZ + DP Revision

consultants

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project 19948 55a AVE. LANGLEY, BC	
title STREET ELEVATIONS - EAST	
project number 21817	file name
drawn dms	checked ksh
scale 1:200	drawing number DP 5.1a

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19940

19930

19920

19910

19900

18890

1 EXISTING STREET ELEVATION (55A AVE.) - WEST
Scale: 1:200



19940

19930

19920

19910

19900

18890

2 PROPOSED STREET ELEVATION (55A AVE.) - WEST
Scale: 1:200



date	revisions
JUN 08 2023	Issued For RZ + DP Submission
JUN 19 2023	Issued For RZ + DP Revision
JUL 12 2023	Issued For RZ + DP Revision

consultants

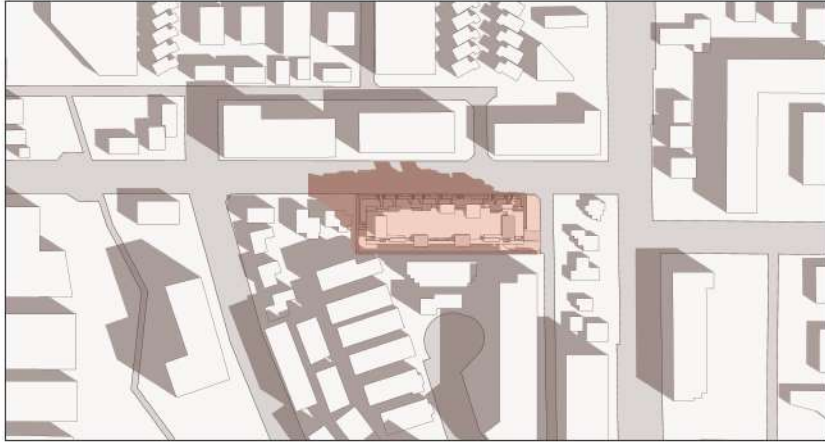
**ANDREW CHEUNG
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Suite 208
1525 W 8th Avenue
Vancouver, B.C.
V6J 1T5

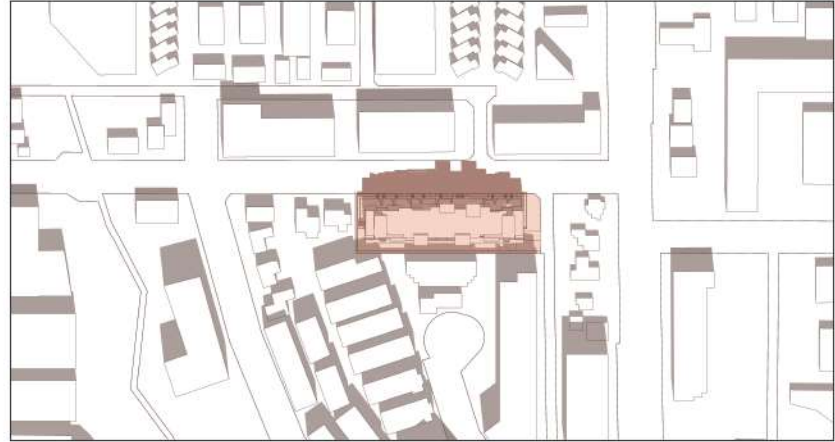
Tel (604) 685-2088
Fax (604) 685-1889

project 19948 55A AVE. LANGLEY, BC	
title STREET ELEVATIONS - WEST	
project number 21817	file name
drawn dms	checked ksh
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drawing number DP 5.1b	

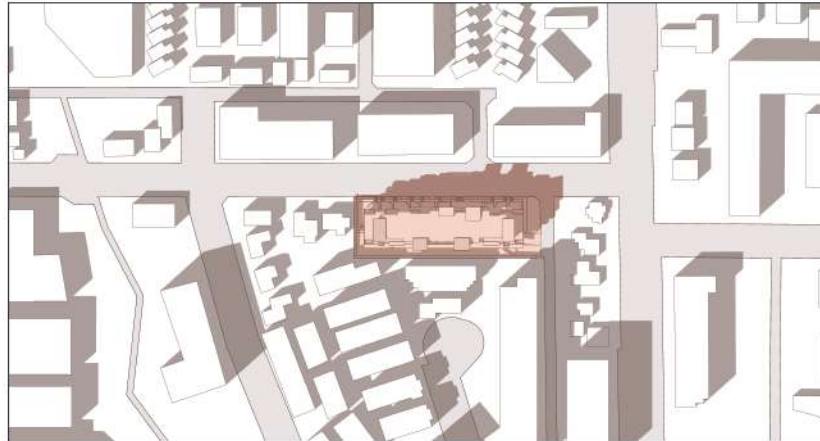
This drawing was created using an approved computer system.



MARCH 20 9:00 AM



MARCH 20 12:00 PM



MARCH 20 3:00 PM

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date	revisions
JUN 08 2023	Issued For RZ + DP Submission
JUN 19 2023	Issued For RZ + DP Revision
JUL 12 2023	Issued For RZ + DP Revision

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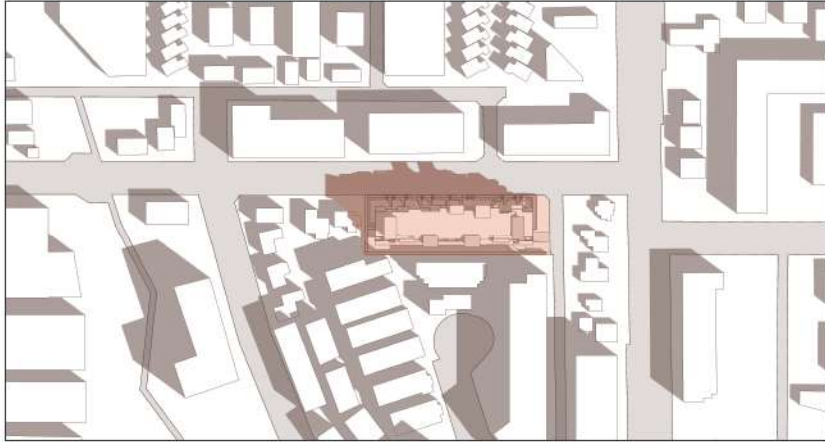
Suite 208
1525 W 8th Avenue
Vancouver, B.C.
V6J 1T5

Tel (604) 685-2088
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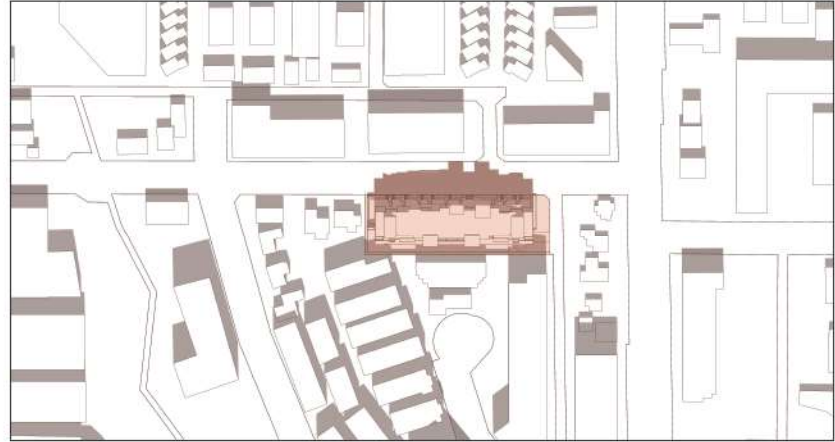
project 19948 55a AVE. LANGLEY, BC	
title SHADOW STUDIES MARCH 20	
project number 21817	file name
drawn dms	checked sdc
scale	
drawing number DP 6.1	

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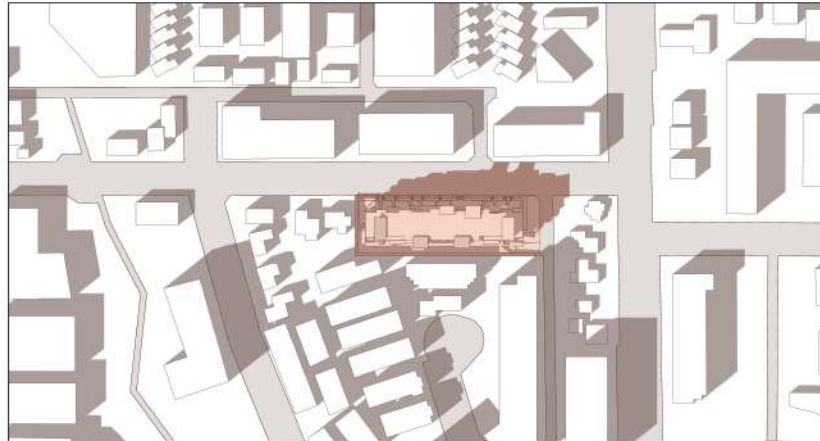
This drawing was created using an approved tablet/monitor.



SEPT 23 9:00 AM



SEPT 23 12:00 PM



SEPT 23 3:00 PM

0000



date	revisions
JUN 08 2023	Issued For RZ + DP Submission
JUN 19 2023	Issued For RZ + DP Revision
JUL 12 2023	Issued For RZ + DP Revision

consultants

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project 19948 55a AVE. LANGLEY, BC	
title SHADOW STUDIES SEPTEMBER 23	
project number 21817	file name
drawn dms	checked sdc
scale	
drawing number DP 6.2	

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revisions	
JUN. 08 2023	Issued For RZ + DP Submission
JUN. 19 2023	Issued For RZ + DP Revision
JUL. 12 2023	Issued For RZ + DP Revision

consultants

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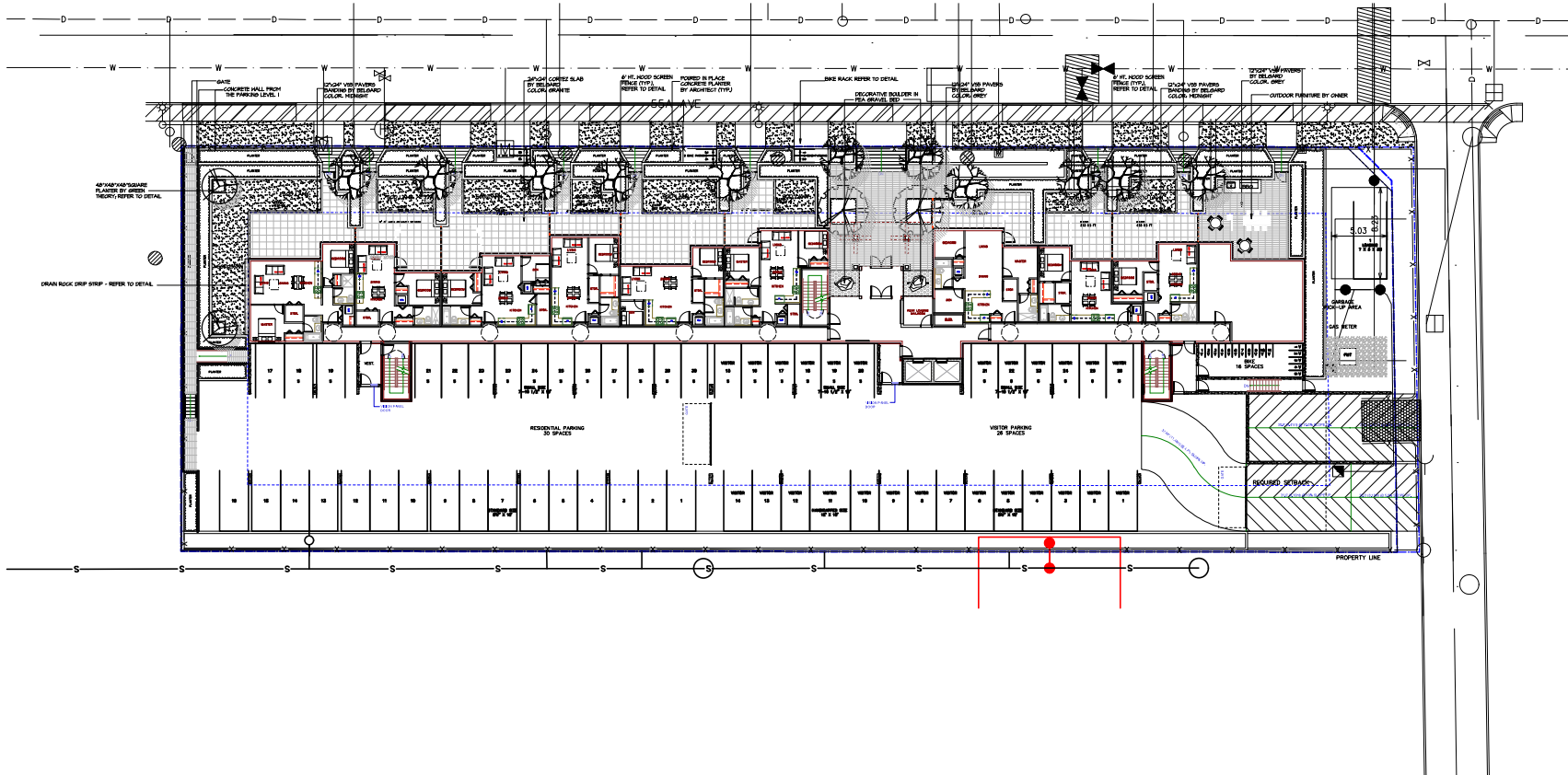
Suite 208
1525 W 8th Avenue
Vancouver, B.C.
V6J 1T5

Tel (604) 685-2068
Fax (604) 685-1989

project 19948 55a AVE. LANGLEY, BC	
title RENDERINGS	
project number 21817	file name
drawn dms	checked mcs
drawing number DP 7.1	



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NO.	DATE	REVISION DESCRIPTION	DR.
12	25.11.12	REV. AS PER NEW SITE PLAN	GD
11	25.11.12	REV. AS PER CITY COMMENTS	GD
10	25.11.12	ISSUE FOR DIP	GD
9	25.11.12	ISSUE FOR DIP	GD
8	25.11.12	ISSUE FOR DIP	GD
7	25.11.12	ISSUE FOR DIP	GD
6	25.11.12	REV. AS PER CITY COMMENTS	DY
5	25.11.12	REV. AS PER CITY COMMENTS	DY
4	25.11.12	REV. AS PER CITY COMMENTS	DY
3	25.11.12	REV. AS PER CITY COMMENTS	DY
2	25.11.12	REV. AS PER CITY COMMENTS	DY
1	25.11.12	PRELIMINARY DESIGN	DY



PROJECT:
MULTI-RESIDENTIAL DEVELOPMENT
19920 & 19970 55A Avenue
Langley, BC

DRAWING TITLE:
GROUND FLOOR LAYOUT PLAN

DATE: 18/NOV/11	DRAWING NUMBER: L1
SCALE: 1/8"=1'-0"	
DRAWN: DY	
DESIGN: DY	
CHKD: MTLM	

M2LA PROJECT NUMBER: JOB NO. 18-064

PLANT SCHEDULE				M2 JOB NUMBER: 10-086
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	2	ACER GRISEUM	PAPERBARK MAPLE	60H CAL: B4B
	11	CORNUS FLORIDA	FLOWERING DOGWOOD	50H CAL: B4B
	2	PRUNUS SEROTINATA 'ANANASNAH'	ANANASNAH CHERRY	50H CAL: B4B
SHRUB	220	BUAY SEMPERVIRENS AURO-VAREGATA	VAREGATED ENGLISH BOWWOOD	K2 POT
	14	LONGICRA FILICATA	SHRUB HONEYSUCKLE	K2 POT
	46	LONGICRA NITIDA SILVER BEAUTY	SILVER BEAUTY HONEYSUCKLE	K2 POT
	244	TANUS X MEDIA 'HICKS'	HICKS YEW	K3 POT
GRASS	183	ELYMUS HAESELLANGIS BLUE TANGO	BLUE TANGO WHEAT GRASS	K1 POT
	71	MAONEDOLLA HAGRA 'ALL GOLD'	JAPANESE FOREST GRASS	K1 POT
	8	OPHIOPOGON PLANSICARPUS 'NAGESCENS'	HONGO GRASS	K1 POT
	44	PENNETUM ALOPECUROIDES 'HAEMEL'	HAEMEL FOUNTAIN GRASS	K2 POT
PERENNIAL	66	GERANIUM PATRICIA GRABEILLIS	GRABEILL GERANIUM	K1 POT
	26	REUCHERIA CARNIVAL WATERWHEEL	CARNIVAL BELLS	K1 POT
	45	HEPETA X VERANICA 'DRUMPHOE'	CATPANT	K1 POT
	10	RUDBECKIA FILICIDA VAR SULLIVANTII 'GOLDENRUDBECKIA'	GOLDENRUDBECKIA	K1 POT

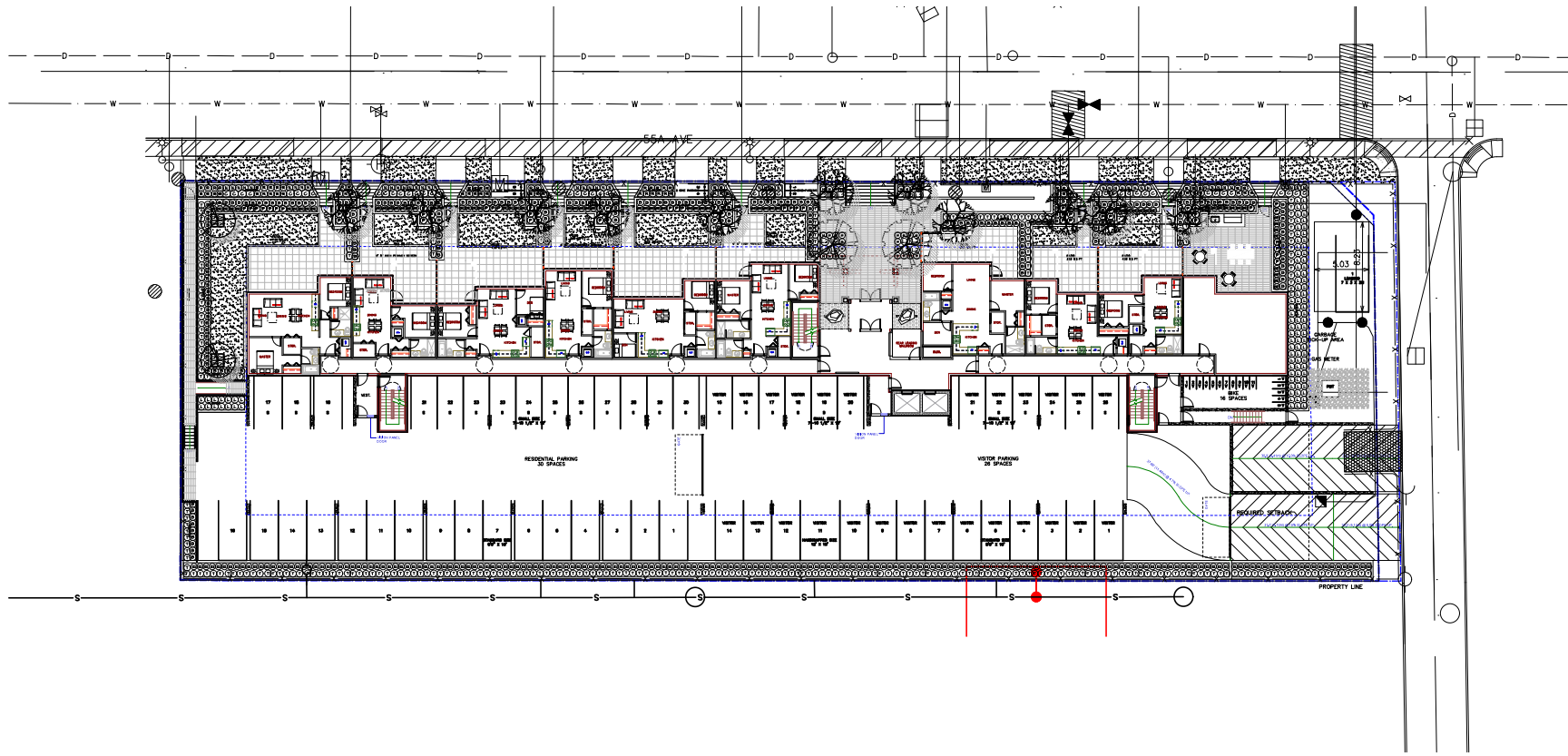
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CITY STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR SPECIFIED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

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NO.	DATE	REVISION DESCRIPTION	DR.
10	20.11.21	REV. AS PER NEW SITE PLAN	DB
9	20.11.21	REV. AS PER CITY COMMENTS	DB
8	20.11.21	ISSUE FOR DRP	DB
7	20.11.21	ISSUE FOR DRP	DB
6	20.11.21	ISSUE FOR DRP	DB
5	20.11.21	ISSUE FOR DRP	DB
4	20.11.21	REV. AS PER CITY COMMENTS	DB
3	20.11.21	REV. AS PER CITY COMMENTS	DB
2	20.11.21	REV. AS PER CITY COMMENTS	DB
1	20.11.21	PRELIMINARY DESIGN	DB



PROJECT:
MULTI-RESIDENTIAL DEVELOPMENT
19920 & 19970 55A Avenue
Langley, BC

DRAWING TITLE:
GROUND FLOOR PLANTING PLAN

DATE: 10/NOV/21	DRAWING NUMBER:
SCALE: 1/8"=1'-0"	
DRAWN: DY	
DESIGN: DY	
CHKD: MTLM	

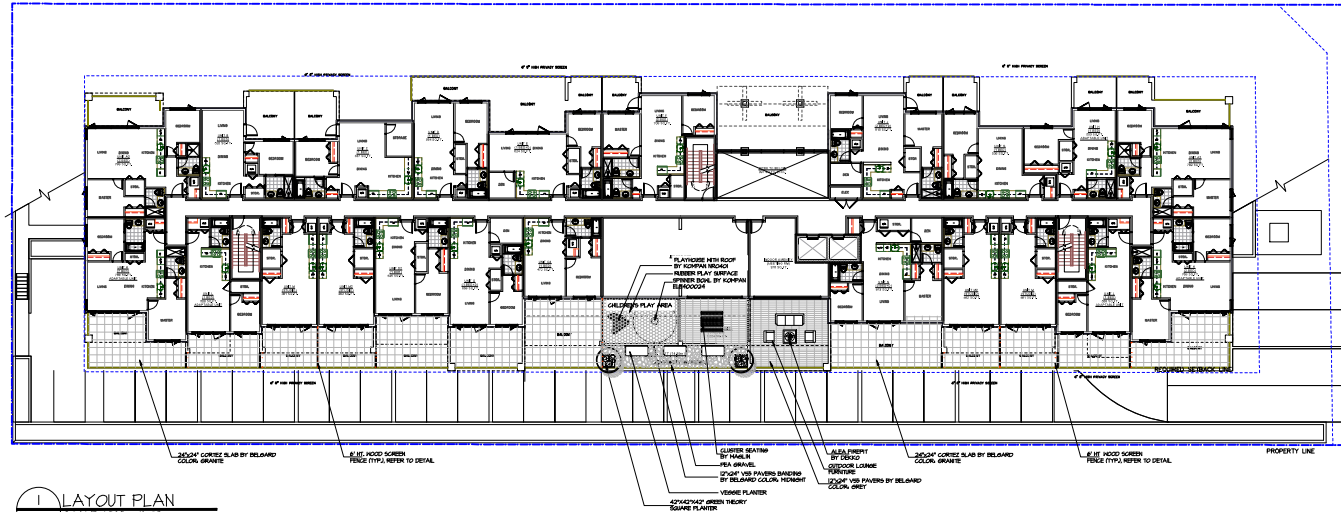
L2

OF 7

M2LA PROJECT NUMBER: **JOB NO. 10-086**

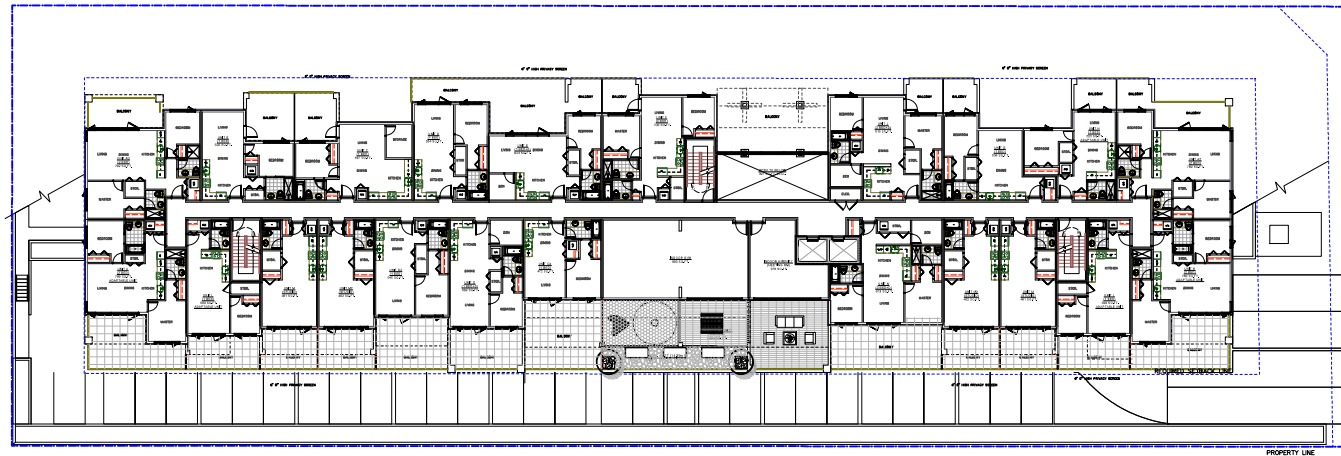
10-086-05-10

55A AVE



1 LAYOUT PLAN
SCALE: 1/16" = 1'-0"

55A AVE



2 PLANTING PLAN
SCALE: 1/16" = 1'-0"

PLANT SCHEDULE				MS JOB NUMBER: 18-084
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
2	2	DWARF ACER PALMISTH	DWARF JAPANESE MAPLE	SC4 CAL: 1241 H1, B48
6	6	OPHIOPOGON PLANSICARPUS 'VIBESCENT'	MONDO GRASS	11 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CETA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

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NO.	DATE	REVISION DESCRIPTION	DR.
10	2018.10	REV. AS PER NEW SITE PLAN	GB
11	2018.10	REV. AS PER CITY COMMENTS	GB
12	2018.10	ISSUE FOR DP	GB
13	2018.10	ISSUE FOR DP	GB
14	2018.10	ISSUE FOR DP	GB
15	2018.10	ISSUE FOR DP	GB
16	2018.10	ISSUE FOR DP	GB
17	2018.10	ISSUE FOR DP	GB
18	2018.10	REV. AS PER CITY COMMENTS	DY
19	2018.10	REV. AS PER CITY COMMENTS	DY
20	2018.10	REV. AS PER CITY COMMENTS	DY
21	2018.10	REV. AS PER CITY COMMENTS	DY
22	2018.10	REV. AS PER CITY COMMENTS	DY
23	2018.10	REV. AS PER CITY COMMENTS	DY
24	2018.10	REV. AS PER CITY COMMENTS	DY
25	2018.10	REV. AS PER CITY COMMENTS	DY
26	2018.10	REV. AS PER CITY COMMENTS	DY
27	2018.10	REV. AS PER CITY COMMENTS	DY
28	2018.10	REV. AS PER CITY COMMENTS	DY
29	2018.10	REV. AS PER CITY COMMENTS	DY
30	2018.10	REV. AS PER CITY COMMENTS	DY

NO. DATE REVISION DESCRIPTION DR.

SEAL:



PROJECT:

**MULTI-RESIDENTIAL
DEVELOPMENT**

19920 & 19970 55A Avenue
Langley, BC

DRAWING TITLE:

**SECOND FLOOR
LAYOUT PLAN**

DATE: 18/NOV/18 DRAWING NUMBER:

SCALE: 1/16" = 1'-0"

DRAWN: DY

DESIGN: DY

CHKD: MTLM

M2LA PROJECT NUMBER: JOB NO. 18-084

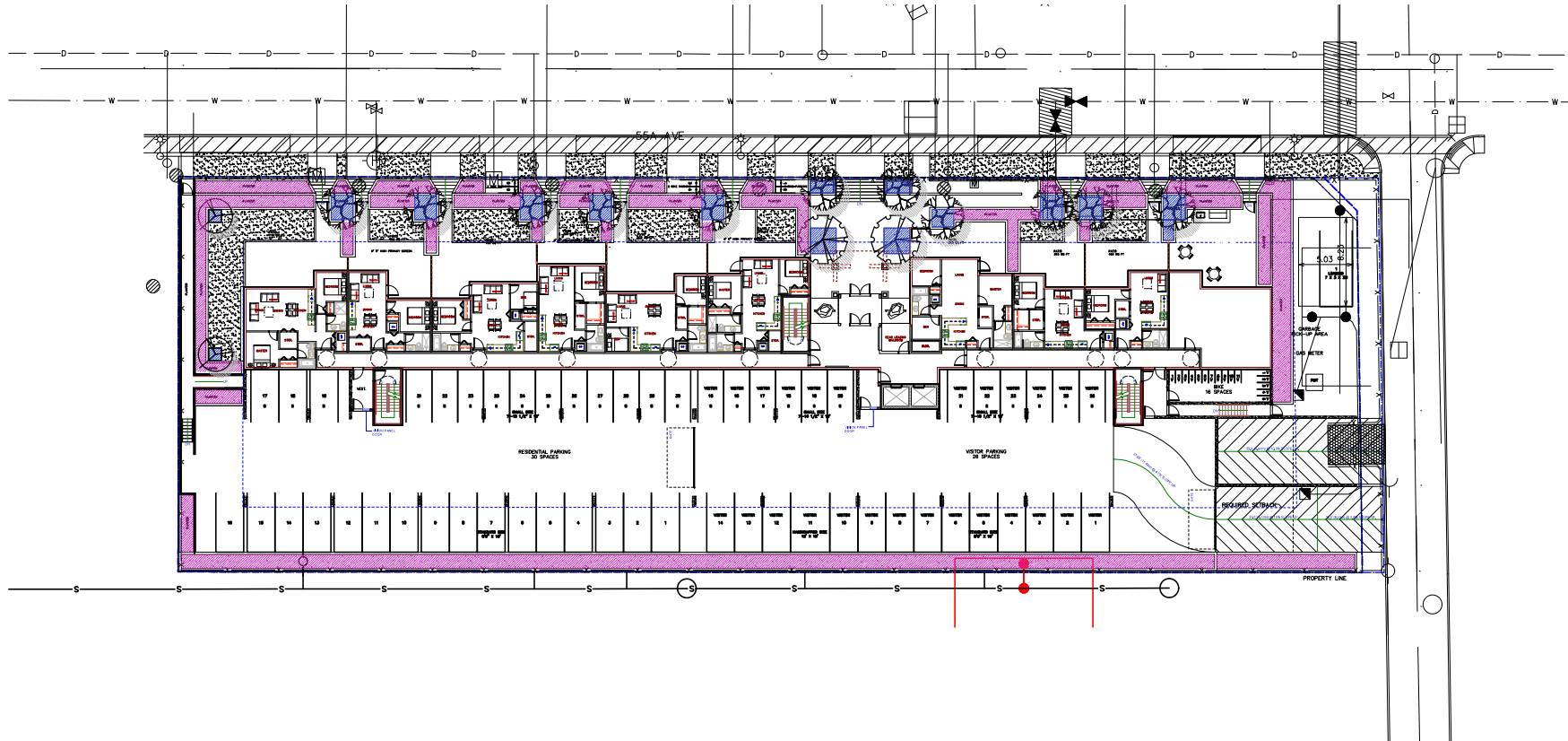
L3

OF 7

18-084-05-10



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NO.	DATE	REVISION DESCRIPTION	DR.
10	25.01.20	REV. AS PER NEW SITE PLAN	DB
9	25.01.20	REV. AS PER CITY COMMENTS	DB
10	25.01.20	ISSUE FOR EIP	DB
9	25.01.20	ISSUE FOR EIP	DB
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5	25.01.20	REV. AS PER CITY COMMENTS	DB
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3	25.01.20	REV. AS PER CITY COMMENTS	DB
2	25.01.20	REV. AS PER CITY COMMENTS	DB
1	25.01.20	PRELIMINARY DESIGN	DB



PROJECT:
**MULTI-RESIDENTIAL
DEVELOPMENT**
19920 & 19970 55A Avenue
Langley, BC

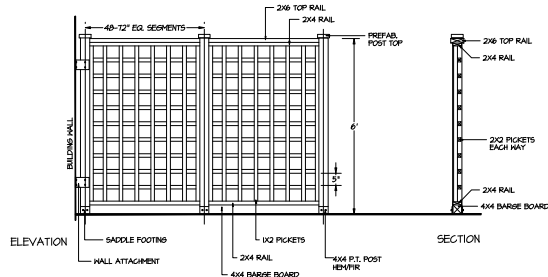
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**SOIL DEPTHS
PLAN**

DATE: 18/NOV/21
SCALE: 1/8"=1'-0"
DRAWN: DY
DESIGN: DY
CHKD: MTLM

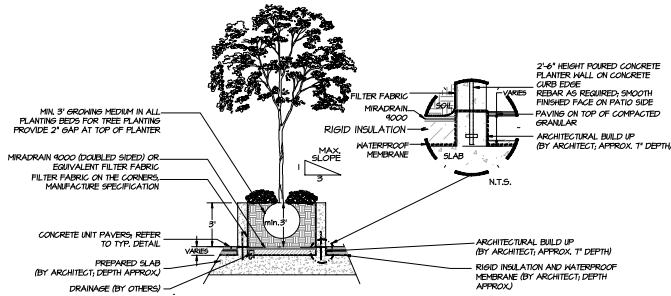
DRAWING NUMBER:
L4
OF 7

M2LA PROJECT NUMBER: **JOB NO. 18-084**

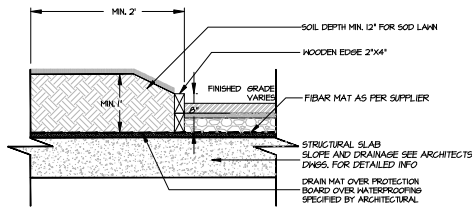
- NOTES:
1. ALL WOOD P.T. MEMBER
2. STAIN TO MATCH AREA TWO COATS PREMIUM
WEATHER PROOFING STAIN
3. ALL FASTENERS NOT COATED GALVANIZED



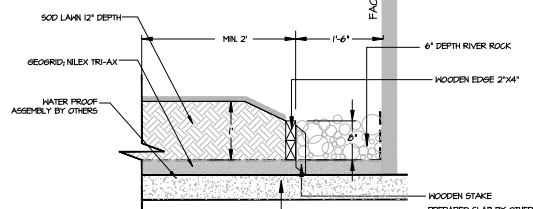
1 6' HT. WOOD SCREEN
SCALE: 1/2" = 1'-0"



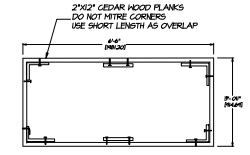
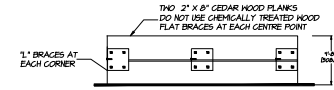
2 PLANTER ON SLAB
SCALE: 1/4" = 1'-0"



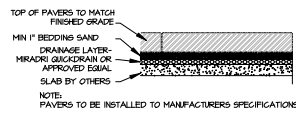
3 SOD LAWN ON SLAB
SCALE: 1" = 1'-0"



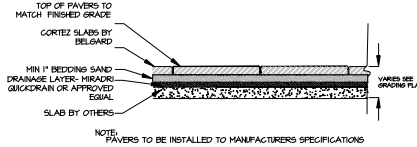
4 DRIP STRIP AND SOD LAWN
SCALE: 1" = 1'-0"



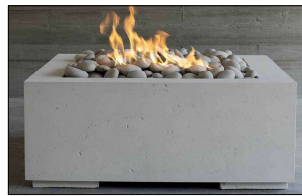
5 VEGGIE SPLANTERS
SCALE: 1/2" = 1'-0"



6 PAVERS ON SLAB
SCALE: 1" = 1'-0"



7 CORTAZ SLAB
SCALE: 1" = 1'-0"

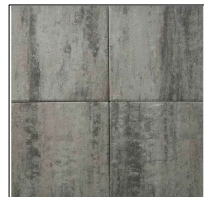


8 ALEA 32 FIREPIT BY DEKKO
SCALE: N.T.S



SIZES: 42\"/>

9 SQUARE PLANTER BY GREENTHEORY
SCALE: N.T.S



CORTAZ SLAB- GRANITE



V55 PAVERS- GREY



V55 PAVERS- MIDNIGHT



10 500 SERIES BIKE RACK BY MAGLIN
SCALE: N.T.S

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NO.	DATE	REVISION DESCRIPTION	DR.
10	25.01.20	REV. AS PER NEW SITE PLAN	GB
9	25.01.20	REV. AS PER CITY COMMENTS	GB
10	25.01.20	ISSUE FOR DP	GB
9	25.01.20	ISSUE FOR DP	GB
8	25.01.20	ISSUE OFF-SITE PLAN	GB
7	25.01.20	ISSUE FOR DP	GB
6	25.01.20	REV. AS PER CITY COMMENTS	GB
5	25.01.20	REV. AS PER NEW SITE PLAN	GB
4	25.01.20	REV. AS PER AREA COMMENTS	GB
3	25.01.20	REVISION AS PER NEW SITE PLAN	GB
2	25.01.20	ISSUED FOR DP	GB
1	25.01.20	PRELIMINARY DESIGN	GB



PROJECT:
MULTI-RESIDENTIAL DEVELOPMENT
19920 & 19970 55A Avenue
Langley, BC

DRAWING TITLE:
LANDSCAPE DETAILS 1

DATE: 18/NOV/21	DRAWING NUMBER:
SCALE: AS SHOWN	
DRAWN: DY	L5
DESIGN: DY	
CHKD: MTLM	

M2LA PROJECT NUMBER: **JOB NO. 18-064**

18-064-05.DWG

Spinner Bowl

ELE400024



Item no.	ELE400024-3717LG
General Product Information	
Dimensions LxWxH	18" x 11" x 20"
Age group	5 - 12
Play capacity (users)	1
Color options	<div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> </div>



Date is subject to change without prior notice.

This wildy or mildly spinning piece with its cute mounted design makes a great play when children rotate again and again. With its easily accessible, the spinning bowl invites children of all abilities and a wide age span to play. The small footprint allows for placing 1-3 Spinner Bowls together, encouraging social play. The variety of play opportunities include

sitting in, on edge of, pushing, pulling or even standing in the spinner bowl. These make the Spinner Bowl a long-time attraction. The bowl spins with the child to adjust the spinning speed with their body movements. Thanks to the logical thinking to speed up by scooping up or slow down by spreading arms and legs out. Spinner Bowls train the sense of balance,

which is mandatory for concentration skills and the ability to sit still. Pushing or being pushed by others trains social-emotional skills such as turn-taking.

1 SPINNER BOWL BY KOMPAN
SCALE: N.T.S

Playhouse with Roof

NR0401



Item no.	NR0401-0801
General Product Information	
Dimensions LxWxH	41" x 25" x 48"
Age group	2 - 5
Play capacity (users)	4
Color options	<div> <div></div> <div></div> </div>



Date is subject to change without prior notice.

This adorable playhouse with its quaint triangular shape will attract children over and over again. With its welcoming style, the Playhouse with Roof adds a shelter, feel safe playhouse and suggests a wealth of themed play worlds: den, ship, house. This invites continued dramatic play scenarios. The Play House with roof welcomes smaller and larger

groups of children to play. Dramatic play trains children's imagination and feeling of control. Additionally, children play out everyday scenarios. But they have a hard time understanding, thus playing out their life observations. While doing so, they constantly talk and communicate with their peers, and even with themselves. This hugely stimulates

language skills as well as negotiation and communication skills.

2 PLAYHOUSE WITH ROOF BY KOMPAN
SCALE: N.T.S

MTB-0210-00024

Legacy #MLPT210-S-RB

200 SERIES



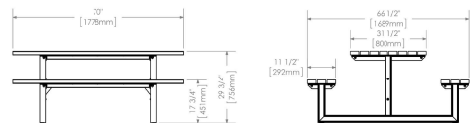
MATERIALS: Table frame is made from 3"x2-3/8" structural I-Beam with mitered corners. Horizontal support beams are used for superior stability and structural integrity. Surface material is plastic - Brown color.

FINISH: All steel components are protected with I-Coat rust proofing.
The Maglin Duracoat System provides a durable finish on all metal surfaces.

INSTALLATION: The table is delivered pre-assembled. Holes (0.5") are provided for securing to base.

TO SPECIFY: Select MBE-0210-00024
Choose:
- Powdercoat Color

HEIGHT: 29.75" (75.6cm) LENGTH: 70" (177.8cm) WIDTH: 66.5" (168.9cm) WEIGHT: 385.39lbs (174.8kg)



MAGLIN
Site Furniture

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Details and specifications may vary due to continuing improvements of our products.

3 CLUSTER SEATING BY MAGLIN
SCALE: N.T.S

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10	20.01.20	REV. AS PER NEW SITE PLAN	MB
9	20.01.20	REV. AS PER CITY COMMENTS	MB
8	20.01.20	ISSUE FOR DP	MB
7	20.01.20	ISSUE FOR DP	MB
6	20.01.20	ISSUE FOR DP	MB
5	20.01.20	ISSUE FOR DP	MB
4	20.01.20	ISSUE FOR DP	MB
3	20.01.20	ISSUE FOR DP	MB
2	20.01.20	ISSUE FOR DP	MB
1	20.01.20	ISSUE FOR DP	MB
0	20.01.20	PRELIMINARY DESIGN	MB

NO. DATE REVISION DESCRIPTION DR.

SEAL:



PROJECT:
MULTI-RESIDENTIAL DEVELOPMENT
19920 & 19970 55A Avenue
Langley, BC

DRAWING TITLE:
LANDSCAPE DETAILS 2

DATE	18/NOV/21	DRAWING NUMBER:
SCALE	AS SHOWN	
DRAWN	DT	
DESIGN	DT	
CHK'D	MTLM	

L6

OF 7

M2LA PROJECT NUMBER: **JOB NO. 18-064**

18-064-05.1P

