

ADVISORY DESIGN PANEL

WEDNESDAY, JULY 19, 2023 AT 7:00 PM

Council Chambers Langley City Hall (In-Person Meeting)

AGENDA

1) <u>AGENDA</u>

Adoption of the July 19, 2023 agenda.

2) <u>MINUTES</u>

Adoption of minutes from the July 5, 2023 meeting.

3) DEVELOPMENT PERMIT APPLICATION DP 06-23

6-storey, 126-unit apartment building at 19948 55A Avenue.

4) <u>NEXT MEETING</u>

September (to be confirmed).

5) <u>ADJOURNMENT</u>



MINUTES OF THE ADVISORY DESIGN PANEL

HELD IN COUNCIL CHAMBERS, LANGLEY CITY HALL

WEDNESDAY, JULY 5, 2023 AT 7:01 PM

In Attendance:	Councillor Paul Albrecht (Chair) Councillor Mike Solyom (Co-Chair) Blair Arbuthnot Matt Hassett Leslie Koole Johnnie Kuo Cst. Peter Mann Chad Neufeld Tony Osborn Scott Thompson Ella van Enter
Guest:	Mayor Nathan Pachal
Staff:	C. Johannsen, Director of Development Services

R. Beddow, Deputy Director of Development Services A. Metalnikov, Planner

Chair Albrecht began by acknowledging that the land on which we gather is on the traditional unceded territory of the Katzie, Kwantlen, Matsqui and Semiahmoo First Nations.

1) <u>AGENDA</u>

Adoption of the July, 5 2023 agenda.

It was MOVED and SECONDED

THAT the agenda for the July 5, 2023 Advisory Design Panel be approved.

<u>CARRIED</u>

2) MINUTES

Adoption of minutes from the June 7, 2023 meeting.

It was MOVED and SECONDED

THAT the minutes of the June 7, 2023 Advisory Design Panel meeting be approved as circulated.

<u>CARRIED</u>

3) **ZONING BYLAW UPDATE**

Mr. Carl Johannsen, Director of Development Services, provided an update on the scope, process and timing of the Zoning Bylaw Update, which is being undertaken to modernize and align the Zoning Bylaw with the new Official Community Plan (OCP).

4) DEVELOPMENT PERMIT APPLICATION DP 05-23

Proposed 2-building, 9,681 m2 industrial development at 5721 Production Way.

Mr. Roy Beddow, Deputy Director of Development Services, spoke to the staff report dated June 23, 2023 and provided a brief overview of the Development Permit application.

The Applicant team entered the meeting:

- Jeremy Bergmann, Senior Project Manager, Hungerford Properties
- Jon Leugner, Senior Director of Real Estate, Hungerford Properties
- Darren Cruickshanks, Senior Associate Project Manager, d. Force Design Inc.
- Jessica Thiessen, Landscape Architect, Manager, KD Planning & Design Ltd.
- Ruchir Dhall, Principal, Architecture Panel Inc.

Mr. Dhall, Leugner and Cruickshanks presented the application, providing an overview of the development with details on the following:

- Site location
- Site context
- Project description
- Design principles
 - Siting configuration and constraints, resultant building design
 - Small bay industrial uses
 - Architectural aesthetic
 - o Vehicle access

- o Loading areas
- Pedestrian circulation
- Amenity areas
- Renderings from different views
- Elevation views
- EV charging
- o Waste management
- High albedo roof membranes.

Ms. Thiessen provided information on the landscape plan, including:

- Preserved cedar trees and hedge along south property line
- 27 new trees on-site
- Site plan and landscaping choices.

Panel members provided feedback on the form and character of the development and discussion took place in regard to the following:

- on-site traffic management and circulation;
- access and maneuvering space for large trucks;
- robustness of proposed trees given the site conditions;
- pedestrian access through site and need for wayfinding;
- architectural design is well done;
- sufficient soil volumes for proposed trees;
- consider using permeable pavement and structural soil to support a more sustainable design;
- design of amenity area adjacent to Production Way, noting there is an opportunity to enhance the design and follow the curve of the Production Way frontage;
- mail delivery (is it central or to each unit);
- on-site lighting for security, including central loading area;
- should have larger canopy, coniferous trees on-site;
- amenity area need to have covered areas, to protect from sun and rain, such as a pergola;
- tree protection needs to be followed through on during construction;
- need for secure on-site bike parking;
- considering pedestrian connectivity to Production Way and on to Fraser Highway, 56 Avenue and 196 Street, as well as considering connectivity for cycling (supporting active transportation); and
- considering innovative rooftop treatments, including landscaping, amenity areas (ie. portions visible from 196 Street overpass).

In response to questions from Panel members, the applicant team members advised that:

• stop signs and wayfinding signs will be used to calm/manage traffic and assist pedestrian navigation through site;

- smaller trucks will be using the site, including SU9 and 40 foot single axle trucks;
- a Transportation Impact Assessment (TIA) will need to completed as part of the application and will inform access and circulation requirements and other potential transportation improvements;
- tree species are robust enough for the expected site conditions;
- site and circulation design based on CPTED review;
- signage is being used to aligned with building architecture and wayfinding design;
- site lighting plan tailored to night time security;
- tree protection barriers and on-site arborist supervision will be used to ensure trees identified for preservation are protected during construction; and
- site circulation will be reviewed by a traffic engineer as a part of finalizing design and access lanes/drive aisles.

In response to comments/questions from Panel members, staff advised that:

• future redevelopment in the area, particularly south of the proposed application could create additional pedestrian/active transportation access to 196 Street and 56 Avenue.

The applicant team left the meeting.

The Panel compiled a list of recommendations for the applicant.

It was MOVED and SECONDED

THAT:

- 1. The ADP receive the staff report as information; and
- 2. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
- a. Review opportunities to enhance pedestrian access into and within the site, along with enhanced pedestrian safety/priority measures (e.g. raised crosswalks)
- b. Review opportunities to incorporate more permeable surfaces into the site
- c. Provide more detail on the building signage program, including drawing of front monolith sign
- d. Consider providing more landscaping within the City right-of-way to mimic the curve of the proposed sidewalk
- e. Review opportunities to provide larger canopy trees and additional coniferous trees
- f. Provide rain shelter/shade structures in amenity areas

- g. Provide more secure visitor bicycle parking opportunities outdoors (e.g. enclosed bike lockers, larger two-point bike racks, etc.)
- h. Review site maneuverability for safety (especially visitor and pedestrian) and efficiency, including considering one-way sections, sightlines, speeding, and providing more details on traffic management signage
- i. Provide more design interest on the building roofs (e.g. green roof, geometric patterns, etc.)
- j. Ensure sufficient soil volumes are provided for all trees (i.e. 10 m³)
- k. Review landscape plan in conjunction with fire hydrant placement to ensure the viability of the landscaping

<u>CARRIED</u>

5) DEVELOPMENT PERMIT APPLICATION DP 03-23 ZONING BYLAW AMENDMENT APPLICATION RZ 03-23

Proposed two 6-storey buildings with a total of 171 apartment units at 20659-20679 Eastleigh Crescent.

Mr. Anton Metalnikov, Planner, spoke to the staff report dated June 23, 2023 and provided a brief overview of the Development Permit application.

The Applicant team entered the meeting: Stanford Siu, Managing Director, Admiral Operations Ltd. Patrick Yang, Principal Architect, Pacific West Architecture Inc. Molly Liu, Landscape Architect, Durante Kreuk Ltd.

Mr. Siu and Yang presented the application, providing an overview of the development with details on the following:

- Site location
- Site context
- Project description
- 21 rental units, remainder are strata
- Shadow studies
- Design principles
 - o Siting and building design
 - Massing
 - Entrance lobby design
 - o Central amenity space/courtyard
 - Parking access ramps
 - Façade design
 - Colour palette and building materials
 - Elevation views
 - Renderings from different views.

Ms. Liu provided information on the landscape plan, including:

- traditional Japanese garden inspired courtyard and amenity area;
- unique entry experience, transitioning to different amenity area components
- description of shrubs and trees.

Panel members provided feedback on the form and character of the development and discussion took place in regard to the following:

- considering plantings on west side of parkade ramp, like the other edges of the site;
- ensure that street trees are shown on street-side renderings to provide a better sense of streetscape greening;
- enlarge balconies on top of amenity rooms near entrance;
- architectural design is well done;
- need to review stairwell and exiting on ground floor interface with surface parking lot;
- questions about landscaping concept and stormwater management;
- consider more native and coniferous plantings and trees;
- request for more texture in façade, less monochromatic color palette, add more cedar soffit panelling;
- re-orienting rental units on ground floor;
- using different materials for fencing;
- screen waste management area and PMT;
- add more landscape variety on east side, show tiered wall landscaping more clearly;
- discussion regarding garden style (Japanese garden vs. west coast native plants);
- ensure garden/courtyard design is accessible;
- difference between existing and proposed new rental floorspace;
- better, more secure location needed for visitor bike parking;
- is air conditioning being provided;
- mail area design and location;
- washer and dryer access in adaptable units;
- sound attenuation between units;
- access from visitor parking to west building;
- ensuring that landscape strip along north property line is maintained;
- inquiry in how surface of exposed parkade walls will be treated;
- dog use area and proposed materials (no synthetic turf);
- harmonizing landscape design with adjacent amenities (library and gym);
- accessible parking spaces need to be closer to elevator;
- loading space and accessible parking space need to be reviewed and redesigned;
- importance of ensuring mail room is up to Canada Post standard;

- updating access ramp to ensure sightline are maintained;
- considering roof top amenity area; and
- considering the use of non-fossil fuel based heating/cooling elements, such as heat pumps and solar panels.

In response to questions from Panel members, the applicant team members advised that:

- accessible parking space locations will be updated;
- air conditioning rough-ins will be incorporated into units;
- bike repair and dog wash areas will also be included;
- mail and package delivery space with secure entry will be designed into lobby;
- access to east building needed to consider CPTED (access from visitor parking area to east building should not go through resident-only courtyard); and
- parkade surface will be painted.

The applicant team left the meeting.

The Panel compiled a list of recommendations for the applicant.

It was MOVED and SECONDED

THAT:

- 1. The ADP receive the staff report for information; and
- 2. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
- a. Provide softer edge at southwest property line, and review opportunities to soften the west property line elsewhere (e.g. permeable fencing, landscaping, etc.), including potentially rerouting the west sidewalk to the east of the parkade ramps
- b. Consider incorporating additional/larger canopy trees and native and coniferous plant species into landscape plans while maintaining hardiness and original Japanese theme
- c. Review the loading zone for location beside the accessible parking stall, access to buildings, and consider providing one additional loading zone
- d. Reposition the underground accessible parking stalls to be closer to each elevator lobby
- e. Look to provide additional visual interest/texture to the elevations (i.e. making greater use of metal cedar siding), especially on interior elevations
- f. Consider rearranging the ground floor units and indoor amenity areas to improve livability
- g. Show location of mail/package rooms, and consider Canada Post standards in their design

- h. Enhance design of underground parkade ramp "cage"
- i. Consider opportunities to screen the PMT and garbage staging area
- j. Provide more shrub plantings in ground floor grass patios
- k. Relocate visitor bike parking areas and replace with additional landscaping
- I. Ensure accessible route is provided through the entire length of the courtyard
- m. Provide benches in children's play area
- n. Consider additional sound attenuation measures for inter-unit walls with living room/kitchen-to-bedroom interfaces (not form and character)
- o. Ensure all appliances in adaptable units are accessible
- p. Review rental and adaptable unit selection for unit type variety (i.e. number of bedrooms) (not form and character)
- q. Consider opportunities to provide more direct access between the visitor parking area and east building
- r. Provide more information on maintenance logistics of landscaping along north property line
- s. Replace all artificial turf with non-synthetic material
- t. Review outdoor areas adjacent to indoor amenity spaces to align with indoor uses (i.e. workout space outside the gym, seating areas outside the library)
- u. Consider use of non-fossil fuel-based heating/cooling systems (not form and character)
- v. Consider installation of air conditioning within rental units at opening (not form and character)
- w. Ensure a high-albedo roof surface is provided
- x. Adjust landscaping around the accessible entrance ramp to ensure safety and adequate sightlines
- y. Provide additional design interest on the stepped-back roofs, including considering additional privacy enhancements on the north

<u>CARRIED</u>

6) <u>NEXT MEETING</u>

July 19 or 26, 2023 (tentative).

Staff will poll the panel to see what date works best for most panel members.

7) ADJOURNMENT

It was MOVED and SECONDED

THAT the meeting adjourn at 9:30 pm.

<u>CARRIED</u>

P. Alhalt

ADVISORY DESIGN PANEL CHAIR

DIRECTOR OF DEVELOPMENT SERVICES



ADVISORY DESIGN PANEL REPORT

File #: 6620.00

Bylaw #: 3254

Doc #:

To: Advisory Design Panel

Subject: Development Permit Application DP 06-23 Rezoning Application RZ 05-23 (19948 55A Avenue)

From: Anton Metalnikov, RPP, MCIP Planner

Date: July 13, 2023

RECOMMENDATION:

THAT this report be received for information.

PURPOSE OF REPORT:

To consider Development Permit and Zoning Bylaw amendment applications by Andrew Cheung Architects Inc. for a 6-storey, 126-unit apartment development at 19948 55A Avenue.

POLICY:

The subject property is currently zoned RS1 Single Family Residential in Zoning Bylaw No. 2100 and designated "Low Rise Residential" in the Official Community Plan Land Use map. All lands designated for multi-unit residential use are subject to a Development Permit (DP) to address building form and character.

The density of the proposed development complies with the Official Community Plan but exceeds the parameters in the current Zoning Bylaw. As such, a Comprehensive Development Zone is proposed to accommodate it.



COMMENTS/ANALYSIS:

Background Information:	
Applicant:	Andrew Cheung Architects Inc.
Owner:	1166934 B.C. Ltd.
Civic Address:	19948 55A Avenue
Legal Description:	Lot A, Section 3, Township 8, New
	Westminster District, Plan EPP120331
Site Area:	4,080 m² (1.01 acres)
Number of Units:	126 apartments
Gross Floor Area:	8,568 m² (92,225 ft²)
Floor Area Ratio:	2.100
Lot Coverage:	40.5%
Total Parking Required:	182 spaces (including 9 h/c spaces)
	*RM3 requirement
Parking Provided:	
Resident	148 spaces
<u>Visitor</u>	<u>26 spaces</u>
Total	174 spaces (including 8 h/c spaces)
OCP Designation:	Low Rise Residential
Existing Zoning:	RS1 Single Family Residential
Proposed Zoning:	CD91 Comprehensive Development
Variances Requested:	5.5 m long accessible parking stalls (5.8 m
	min.)
	48% small car space share (40% max.)
	2.4 m wide small car spaces (2.5 m
	required)
	Distance of 0.31 m to 0.48 m between
	parking spaces and walls (0.6 m required)
	Note a resident parking variance is not
	required due to the use of CD Zone – see
	staff commentary in Variances section of
	this report for further details and rationale
Development Cost Charges:	\$2,337,270.00 (City - \$1,092,720.00,
	GVSⅅ - \$500,370.00, GVWD -
	\$496,734.00, SD35 - \$69,600.00,
	TransLink - \$177,846.00)
Community Amenity	

Community Amenity Contributions (CACs):

\$504,000.00



Discussion:

1. Context

The applicant is proposing to develop a 6-storey, 126-unit apartment building on a large vacant site, which consolidated 6 former single-detached home properties as part of a previous, now cancelled, development application on the same site. The site is located in a residential area transitioning to higher densities, with the surroundings largely consisting of recently developed and under construction apartment buildings and townhouse complexes, with the remaining singledetached home properties having been the subject of development interest.

The site's frontage is formed on the north by 55A Avenue, a local road across from which lie Madison Crossing (4-storey apartment building completed in 2010) and Bayside Court (3-storey apartment building completed in 1995). A lane acts as the site's eastern boundary and separates it from a row of single-detached houses. Two single-detached houses also neighbour the site on its west. To the south, the site is bordered by the Ezekiel (5-storey apartment building completed in 2021).



Site context



The site is well positioned with pedestrian connections to retail and service areas, with Downtown located within a 10-minute walk. It also benefits from proximity to key neighbourhood amenities, including:

- Brydon and Linwood Parks (5-to-10-minute walk);
- Nicomekl Elementary School (10-minute walk); and
- Timms Community Centre (15-minute walk).

The site is also located near several transportation services, including:

- Three regional transit lines on 200 Street and 56 Avenue (5-minute walk);
- The frequent service 503 Fraser Highway Express (10-to-15-minute walk); and
- The planned 203 Street SkyTrain station and its associated transit exchange (15-minute walk).
- 2. Proposed Rezoning and the Official Community Plan (OCP)

The site is designated Low Rise Residential in the City's OCP, which allows for apartment development of up to 6 storeys in height and a Floor Area Ratio (FAR) of up to 2.1.

The subject properties are proposed to be rezoned to a site-specific Comprehensive Development (CD) Zone as no existing zones adequately accommodate the Low Rise Residential designation. A new Zoning Bylaw is currently in development and the project was designed to conform to the preliminary draft zoning regulations associated with this designation. Should the CD rezoning be adopted it is anticipated that, as part of adopting the new Zoning Bylaw, the City will rezone this site from its CD Zone to the new zone created to implement the Low Rise Residential designation.

3. <u>Design</u>

The applicant is proposing a flat-roofed, wood-frame, 6-storey building oriented east-west with the site. The building sits atop an underground parkade which is extruded approximately 1.5 metres above grade due to geotechnical conditions, with this raised portion tiered with a step, clad with brick, and screened by landscaping to soften its interface with the public realm.

The main building entrance stairs and individual stairs connecting the groundfloor apartment units to the street serve to break up the parkade wall, and the use of façade projections and a recessed/off-set entrance lobby help to reduce the apparent length of the building face along 55A Avenue.

The first-floor units are designed in a single-loaded corridor condition to screen an additional level of above-grade parking at the rear of the site, which is



screened from the neighbouring properties to the south and west by planting beds. Both parkade levels are accessed off the east lane. The second level of the building widens to a double-loaded corridor configuration, with deep balconies on the south side providing partial cover over the above-grade parking area below while maintaining adequate setbacks and enabling the building walls themselves to be stepped back further with setbacks of 8-12 metres. The building rises in a similar form until the 6th storey, which is stepped in on all sides to reduce massing.

The parkade podium brick treatment continues up along the building corners and sides for the first two levels, with much of the rest of the elevations clad with Hardie panels of beige tones on the lower floors and white tones on the upper floors to contribute to a base-middle-top design common in the area. Bright orange rectangular frame features are incorporated on the longer north and south elevations, with the street-fronting north elevation also hosting a fully glazed double-height entrance lobby accented with brick and heavy timber columns.

The development's landscaping is primarily oriented to the site perimeter, with long planting beds hosting various shrubs, grasses, and perennials demarcating the building and ground-floor patio boundaries. Along 55A Avenue, these planting beds host Flowering Dogwood trees, with Amanogawa Cherry trees on the corners. Two Paperbark Maple trees flank the main building entrance and two Dwarf Japanese Maple trees are located on the second floor outdoor amenity deck, for a total of 18 trees provided on site.

The unit type distribution of the building provides 20 studios, 66 one-bedroom unit types (1-bedroom or 1-bedroom + flex room), and 40 two-bedroom unit types (2-bedroom or 2-bedroom + flex room). 25 of the units are adaptable. Resident storage facilities are primarily provided within in-unit storage rooms, with some additional storage lockers located in the underground parkade.

 384 m^2 (4,133 ft²) of total amenity space is provided in the building, including 191 m² (2,056 ft²) of indoor amenity space and 193 m² (2,077 ft²) of outdoor amenity space. These amenity areas are split into an indoor party room and outdoor barbecue area on the first floor, and an indoor gym and meeting room with an outdoor children's play area and community garden plots on the second floor. A two-elevator core services the building.

4. Sustainability

The proposal incorporates several sustainable development features, including:

• Using construction techniques that minimize site disturbance and protect air quality;



- Using lighting systems meeting ground-level and dark skies light pollution reduction principles;
- Using non-water dependent and drought-tolerant materials in the landscape design served by an irrigation system with central control and rain sensors;
- Providing community garden plots;
- Using water-conserving toilets; and
- Providing 18 parking stalls with Level II electric vehicle (EV) chargers, with the remaining resident spaces pre-wired and visitor spaces pre-ducted for future installation.

5. <u>CPTED</u>

The applicant's proposal benefited from a comprehensive Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

6. <u>Variances</u>

As noted above, the applicant's proposed development is generally consistent with the draft 4-6 storey apartment building zoning regulations that are being considered for the new Zoning Bylaw to implement the Official Community Plan's Low Rise Residential land use designation. However, given the proponent has applied to redevelop the site prior to the adoption of the new Zoning Bylaw, a site-specific Comprehensive Development (CD) Zone is proposed to be created to accommodate the redevelopment.

Despite the use of a CD Zone, the proposal requires variances from general Zoning Bylaw provisions to reduce the length of accessible parking spaces, reduce the width of small car spaces, reduce the distance between select parking spaces and parkade walls, and increase the share of small car spaces. Staff support these variances per the rationales below.

The accessible parking space variance requested is to reduce their length from 5.8 metres to 5.5 metres. The 5.5 metre length is consistent with the City's standard parking stall dimension requirements and a review of nearby municipalities (Langley Township, Surrey, Maple Ridge, and Abbotsford) found that all used the same stall length for both standard and accessible parking spaces. Staff are also considering making standard and accessible parking stall lengths consistent in the City's upcoming new Zoning Bylaw.

The applicant is also requesting a variance to reduce the width of small car spaces to 2.4 metres from the 2.5 metres required in the Zoning Bylaw. These adjustments were made to ensure this application meets the 174-space target



that aligns with the residential rates being considered for the new Zoning Bylaw (additional discussion below). Reducing the width of small car spaces to 2.4 metres is under consideration for the new Zoning Bylaw to accommodate additional parking spaces in all development projects. This width is also similar to other municipalities in the region, such as Burnaby, which has a minimum small car space width of 2.4 metres, and Richmond, which has a minimum small car space width of 2.3 metres. Staff are not considering changes to the required drive aisle widths in the Zoning Bylaw to ensure safe and easy vehicle movements in parking areas are maintained.

Additionally, 10 parking spaces adjacent to a parkade wall are located between 0.31 and 0.48 metres away from the wall face, which is below the minimum 0.6 metres currently required in the Zoning Bylaw. Staff note the Township of Langley, Coquitlam, Richmond and Surrey permit the distance between parking spaces and parkade walls to be as low as 0.3 metres, and this proposed variance is considered to be minor.

The share of small car parking spaces is proposed as 48%. The current Zoning Bylaw allows a maximum of 40% small car spaces, but staff are considering increasing this to a maximum of 50% for properties outside the "Core" and "Shoulder" areas in the new Zoning Bylaw. This approach can significantly improve parkade space efficiency, as the use of slightly smaller individual spaces often results in the creation of additional stalls on the same amount of land without needing to further reduce parking rates. This in turn allows additional site density while maintaining reasonable parking supply.

Proposed Parking

If the current Zoning Bylaw requirement for a similar type of building (i.e. RM3 Zone) was applied to this application, the applicant's proposed overall parking amount is 4.4% less than what would be required. Given that a CD zone is being proposed to accommodate this development, technically variances are only required for the share of small car spaces and adjustments to stall dimensions, as outlined above. However, it is important to note that staff support the applicant's overall parking approach, as the proposal (less 8 spaces or 4.4%) exceeds the standard rates under preliminary consideration for the new Zoning Bylaw. These rates are being contemplated based on research work conducted by the City's Zoning Bylaw update consultant and staff to date, what has included a review of the Metro Vancouver Parking Study as well as of parking rate requirements in other municipalities within the Lower Mainland.

If the preliminary rates being considered for the draft new Zoning Bylaw were applied to this application, 170 parking spaces would be required, based on rates of 1 space per studio, 1.1 spaces per 1-bedroom unit, 1.3 spaces per 2-bedroom unit (=145 resident spaces), and 0.2 visitor spaces per unit (=25 visitor spaces,



rounding down from 25.2). This total is 4 spaces (2.3%) less than the proposed parking amount of 174 spaces, which includes 26 visitor spaces, and is 6.6% less than the current RM3 Zone requirement of 182 spaces, which is based on rates of 1.2 spaces per studio and 1-bedroom unit, 1.3 spaces per 2-bedroom unit (=156 resident spaces), and 0.2 visitor spaces per unit (=26 visitor spaces, rounding up from 25.2 as required by the current Zoning Bylaw). Greater variances have recently been approved by Council in the nearby area at 5504 Brydon Crescent (9.1% reduction), 5605 201A Street (10.5% reduction), and 20191 53A Avenue (13% reduction).

Based on the above commentary and analysis, staff support these variances.

7. <u>Summary</u>

The proposed development is consistent with the City's OCP and Development Permit Area guidelines for the area and presents an efficient and compatible design providing housing in close proximity to parks, transit, and Downtown.

Engineering Requirements:

Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents.

All work to be done to the City of Langley's Design Criteria Manual (DCM), and the City's Subdivision and Development Servicing Bylaw (SDSB).

Per the City's DCM requirement, the developer and their consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Commitment by Owner and Consulting Engineer) prior to starting their design works.

Per the City's Watercourse Protection Bylaw No. 3152, the developer's consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Confirmation of Commitment by Qualified Environmental Professional - QEP) prior to starting their site monitoring works.

These requirements have been issued to reflect the application for development for a proposed **126-Unit Condominium Development located at 19948 55A Ave.**

These requirements may be subject to change upon receipt of a development application.



The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

- A) <u>The Developer is responsible for the following work which shall be designed</u> <u>by a Professional Engineer:</u>
 - 1. A Qualified Environmental Professional (QEP) must be engaged to implement erosion and sediment control in accordance with the City of Langley Watercourse Protection Bylaw #3152, as amended.
 - 2. A storm water management plan for the site is required. Rainwater management measures used on site shall limit the release rate to predevelopment levels to mitigate flooding and environmental impacts as detailed in the City's DCM. All calculations shall be based the City' DCM with 20% added to the calculated results to account for climate change. A safety factor of 20% shall be added to the calculated storage volume. *Pre-development release rates shall not include climate change effect.*
 - 3. All existing services shall be capped at the main by the City, at the Developer's expense prior to applying for a demolition permit.
 - 4. New water, sanitary and storm sewer service connections are required. All pertinent pipe design calculations shall be submitted in spreadsheet format and shall include all formulas for review by the City. The Developer's engineer will determine the appropriate main tie-in locations and size the connections for the necessary capacity.
 - 5. The capacity of the existing water and sanitary sewer mains shall be assessed through hydraulic modeling performed by the City's hydraulic modeling consultant at the Developer's expense.
 - a. Any upgrade requirement for either sanitary or water mains not covered under the City's DCC bylaw shall be designed and installed by the Developer at the Developer's expense.
 - b. At the Developer's expense, the City's hydraulic modeling consultant shall conduct a fire hydrant flow test to be used in the City's water modeling to determine if the existing water network is adequate for fire flows (based on architectural data supplied by the Developer's Architect). Upgrading of the existing watermain(s) may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995."
 - 6. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be per the DCM Section 3.10 and approved by the City Engineer and the City of Langley Fire Rescue Service.
 - 7. A property dedication of 2.5m will be required along the lane frontage of the proposed development to provide a new ROW width of 8.5m. A



corner truncation of 4m will be required at the corner of the lane and 55A Ave - all to be determined by a legal surveyor.

- 8. At the Developer's expense, a Traffic Impact Assessment (TIA) will be completed by the City's traffic consultant as per the DCM Section 8.21. The proposed development plan and statistics, once ready, should be forwarded to the City to develop the scope of this traffic study and the applicable fee.
- 9. The exact scope and extent of the off-site works be determined, in part, from the TIA. New sidewalk, barrier curb, gutter will be required along the entire 55A Avenue frontage, complete with boulevard trees, street light relocation / replacement as necessary and a planting strip as per the City DCM cross-section SS-R07 and Section 11.0 Specifications and Standards for Landscaping. Curb bulges shall be included across from the north-south public lane on the north side, also where the adjacent lane meet 55A Avenue. The design shall be adequate for MSU trucks as the design vehicle.
- 10. The condition of the existing pavement along both frontages shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road service life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the adjacent street / lane . If the pavement is inadequate, it shall be remediated at the Developer's expense.
- 11. The site layout shall be reviewed by a qualified Professional Engineer to ensure that the parking layout, vehicle circulation, turning paths and access design meet applicable standards and sight line requirements, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls, loading areas and drive aisles are accessible by service vehicles. Refer to DCM Section 8.
- 12. A separate design sheet to show existing and proposed street lighting along the project frontage prepared by a qualified Electrical Engineer. This will ensure street lighting infrastructure and lighting levels meet the City's DCM Section 9.0 criteria and standards. The power source, its adequacy and load calculations shall be shown on the drawing.
- 13.A dedicated on-site loading zone shall be provided by the Developer adequate for MSU vehicles.
- 14. The City plans to construct a pedestrian and cyclist bridge across Baldi Creek including related trail works on Brydon Crescent approximately 300m south of the proposed development. The City requires the Developer to make a \$252,000 C-I-L contribution toward the pedestrian bridge design and construction.
- B) The Developer is required to deposit the following bonding and fees:



- 1. The City will require a Security Deposit based on the estimated construction costs of installing civil works, as approved by the City Engineer.
- 2. The City will require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs, as per the City's Subdivision and Development Servicing Bylaw 2021 #3126.
- 3. A deposit for a storm, sanitary and water services is required, which will be determined by City staff after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
- 4. The City will require a \$40,000 bond for the installation of a water meter to current City standards as per the DCM.
- 5. A signed and sealed pavement cut form (Form F-2 of the City's DCM) shall be completed by the Developer's consulting engineer. Upon the review and approval of the City Engineer of the submitted form, the corresponding permanent pavement cut reinstatement and degradation fees shall be paid by the Developer.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the developer with an estimate of connection costs, and the Developer will declare in writing that the estimate is acceptable.

- C) The Developer is required to adhere to the following conditions:
 - 1. Unless otherwise specified by the City Engineer, all engineering works shall be designed based on the City DCM specifications and in accordance with the City's Subdivision and Development Servicing Bylaw 2021, No. 3126
 - 2. Undergrounding of hydro, telecommunication to the development site is required, complete with underground or at-grade transformer.
 - 3. Transformers servicing developments are to be located on private property with maintenance access located on private property. Street or lane facing transformers shall be wrapped with anti-graffiti wrap based on City-specified image file upon installation by the Developer.
 - 4. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner. Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.
 - 5. A water meter is required to be installed on private property, preferably in the mechanical room, in accordance to the City DCM Section 3.0 standards at the Developer's cost.



- 6. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
- 7. A *Stormceptor* or equivalent oil separator is required to treat site surface drainage.
- 8. A complete set of record drawings (as-built) of off-site works, service record cards and a completed tangible capital asset form (TCA) all sealed by a Professional Engineer shall be submitted to the City within 60 days of the substantial completion date. Digital drawing files in *.pdf* and *.dwg* formats shall also be submitted. All the drawing submissions shall:
 - a. Use City's General Notes Sheet and Title Block; and
 - b. Closely follow the format and sequence outlined in the DCM that will be provided to the Developer's Consulting Engineer.
- 9. The selection, location and spacing of street trees and landscaping are subject to the approval of the City Engineer. Please refer to the DCM for more details.
- 10. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
- 11. Garbage and recycling enclosures shall accommodate on the site and be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update." Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.

Fire Department Comments:

Fire department access for the whole project was reviewed to ensure adequate access was in place. A construction fire safety plan shall be completed, complete with crane inspection records. A progressive standpipe installation will be required as construction rises. Standpipes will be located at both end of the outdoor amenity areas, in the parkade vestibule, and at the vehicle entrance to the parkade. Rescue rated anchors will need to be installed, location to be determined as per building design. All garbage/recycling rooms to be of adequate size to prevent spillover into parkade area. Stairwells must be constructed to accommodate shelter in place applications. A Fire Safety plan and FD lock box will be required before occupancy. The final locations of multiple 4" FDCs will be discussed with the Fire Department at a later date. Effective firefighter communications is required through out the building. As well as additional fire fighting equipment and storage areas. Locations to be determined at a later date.



Advisory Design Panel:

In accordance with Development Application Procedures Bylaw No. 2488, the subject Zoning Bylaw amendment and Development Permit application will be reviewed by the Advisory Design Panel (ADP) at the July 19, 2023 meeting.

According to the Council-approved ADP Terms of Reference, the ADP is to provide form and character and urban design-related advice and recommendations for Council's consideration. ADP recommendations will be presented to Council through the ADP meeting minutes and, if applicable, through an additional City staff report, prior to Council consideration of the proposed Zoning Bylaw amendment and Development Permit Applications.

A copy of the ADP minutes will be presented to Langley City Council at a future Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$1,092,720.00 to City Development Cost Charge accounts and \$504,000.00 in Community Amenity Contributions.

Prepared by:

Anton Metalnikov, RPP, MCIP Planner

Concurrence:

Roy M. Beddow, RPP, MCIP Deputy Director of Development Services



To: Advisory Design Panel Date: July 13, 2023 Subject: Development Permit Application DP 06-23 & Rezoning Application RZ 05-23 Page 14

Concurrence:

Carl Johannsen, RPP, MCIP Director of Development Services

Concurrence:

Concurrence:

Vand Polloch

David Pollock Acting Director of Engineering, Parks & Environment

Attachments

Man Willing

Dean Colthorp, Deputy Fire Chief





DEVELOPMENT PERMIT APPLICATION DP 06-23 REZONING APPLICATION RZ 05-23

Civic Address: Legal Description:

Applicant:

Owner:

19948 55A Avenue Lot A, Section 3, Township 8, New Westminster District, Plan EPP120331 Andrew Cheung Architects Inc. 1166934 B.C. Ltd.







PROJECT DATA

UNITS SYNOPSIS

BUILDING ANALYSIS	UP.	19948 55A AVE. LANGLEY			
ZONE :		REZONING FROM RS-1 TO CD BASED ON RMS			
PID :		031-867-383			
LEGAL DESCRIPTION		LOT A SECTION 3 TOWNSHIP 8 NEW WESTMINSTER DISTRICT, PLAN EPP120331			
SITE SIZE :		4,080 SQ.M. (48,917 SQ.FT.)			
NUMBER OF STOREY	5:	6			
GROSS FLR AREA :	Max, allowable proposed	92,255 92, FT. OROUND PL. 897 93, M, (2,327 93, FT.) 805000 FL. (544 93, M, (2,328 93, FT.) THR0FR. (565 93, M, (77,264 93, FT.) FCMFTH-FL. (564 93, M, (77,068 93, FT.) 8071 FL. (564 93, M, (77,068 93, FT.) 1074. (5,96 98 94, (87,238 95, FT.)			
FSR :	MAX ALLOWABLE	21			
	PROPOSED	2.1			
NUMBER OF DWELLIN	States and the second sec				
	MAX ALLOWABLE PROPOSED	N/A 126 (309 UNITSHECTARE)			
EXISTING AVERAGE (GRADE : 10.45 M (34.28	2			
	MAX ALLOWABLE HER	HT N/A			
HEIGHT :	PROPOSED	22.75M (74.50)			
FRONT YARD:	MIN. REQUIRED PROPOSED	6.0M (10.69) 6.0M (10.78)			
REAR YARD :	MIN. REQUIRED PROPOSED	8.0M (10.69) 8.1M (20.06)			
SIDE YARD :	MIN. REQUIRED PROPOSED	WEST 6.0M (19.69) EAST 6.0M (19.69) WEST 6.0M (19.64) EAST 7.9M (25.91)			
SITE COVERAGE :	MAX. ALLOWABLE PROPOSED	4,080 X 40% = 1,852 8Q. M. (17.567 8Q.FT.) 1,654 SQ.M. (17,808 SQ. FT.) (40.5%)			
PARKING :		 1.0 (STUDIO) X 20 + 1.1 (18ED) X 66 + 1.3 (26ED) X 40 = 145.6 (146) 0.2 X 126 = 25.2 (26) 1.46 USTUDIO: 26 			
	HANDICAPPED PARKING				
		8: 0.05 X 146 = 7.3 (7) VISITORS: 0.05 X 28 = 1.3 (1)			
	SMALL CAR MAX, ALLOV				
	PROVIDED RESIDENT	8: 0.5 X 145 = 73 VISITOR6: 0.5 X 26 = 13 16: 69 VISITOR5: 12			
BICYCLE :	REQUIRED 0.5 X 128 = PROVIDED 65	63			
STORAGE :	REQUIRED 1 X 128 = 1 PROVIDED 127 (113 IN	(26 ISUITE + 14 PARKING LEVEL)			
ADAPTABLE UNITS :	REQUIRED 0.20 X 128 PROVIDED 25	= 25.2 (25)			
AMENITY SPACE:	REQUIRED 3 SQ. M. X PROPOSED INDOOR A				

UNIT TYP			NUMBER OF UNITS						TOTAL UNITS	TOTAL (SGM)	TOTAL (SQFT)		
Sec	terres i	0	SQ FT	SQ M	18T FL	2ND FL	3RD FL	4TH FL	STH FL	STHEL	S	1 (S.	1
UNITA	INSUIT	28	794	73.8	1		Contraction of the	1.000	11000000	Contraction of the local distance of the loc	1	73.8	79
UNIT A2	INSUIT	28	789	73.3		2	2	2	2	19	8	586.4	6,31
UNITE	INSUIT	16	520	48.3	1	1	1	1	1	-	5	241.5	2.60
UNITC	INSLAT	18	637	59.2	1	1	1	1	1	10	5	296.0	3,185
UNITO	INSUIT	18	554	51.5	1	1	1 1	1	1	10 C	5	257.5	2,77
UNIT D2	INSUIT	18	545	50.6		1	1	1	1	Same	- 4	202.4	2,18
UNIT D3	INSUIT	18	547	50.8		2 10 3	1	1 11	-	1	1 1	50.8	54
UNITE	INSUIT	1B+D	624	58.0	1	1	1	1	1	1.	5	290.0	3,121
UNITE	INSUIT	28	708	65.8	1	1	1	1	1	1	6	394.8	4,248
UNITG1	INSUIT	18	510	47.4	1	2	2	1	5	10	S 46 S	47.A	510
UNIT G2	INSUIT	1B	536	49.8		1	1	1	1	22	4	199.2	2,14
UNIT H1	INSUIT	18	491	45.6	1	1 12 1	1.25	1.55	1.18		1	45.6	49
UNIT H2	INSUIT	18	503	46.7		1	1	1	1	2	4	195.8	2,012
UNITJ	INSUIT	28+D	802	74.5	1				0		5 1 5	74.5	800
UNIT J2	INSUIT	29+D	808	75.1	-	1	1	1	1	1	5	375.5	4,04
UNITK	PARKING	28	808	75.1		2	2	2	2	10	8	600.8	6,45
UNITL	INSUIT	1B	508	47.2		2	2	2	2	10	8	377.6	4,054
UNITM	INSUIT	STUDIO	461	42.8		2	2	2	2		8	342.4	3,688
UNIT M2	INSUIT	STUDIO	461	42.8		2	1	1	1	2	5	214.0	2,305
UNITING	INSUIT	STUDIO	465	43.2	9	1 1	1	< 10 I	1	id .	3 3	129.6	1,39
UNITIN	INSUIT	2B+D	802	74.5		- 31					1	74.5	800
UNIT N2	PARKING	28	709	65.9		ê	1	1	1	1	4	263.6	2,83
UNITO	INSUIT	1B+D	607	56.4		1	1	1	1	1	5	282.0	3,035
UNIT O2	INSUIT	1B+D	573	53.2		0 56 0	1	2	2	2	7	372.4	4,01
UNIT 03	PARKING	18	472	43.9		1	1	1 · · · ·	8	1997 - C.	8 1 8	43.9	477
UNITP	INSUIT	28	761	70.7		1 ···· 1	1	E 18	1	1	4 0	282.8	3,044
UNITO	INSUIT	18+D	596	55.4			1	1	- 15	1	4	221.6	2,384
UNITR	INSUIT	STUDIO	432	40.1		8 - S	1	1	- 10 -	1	4 0	160.4	1,729
UNITS	INSUIT	28+D	764	71.0		8 - 3			0	1	C 18 3	71.0	76
UNITT	INSUIT	1B+D	595	55.3		0 0				1	1	55.3	59
UNITU	INSUIT	1B	510	47.4		ê ê	8		8	1	S 1 8	47.4	51
UNITY	INSUIT	28	740	68.7			2		6	1	S 18 0	68.7	74
UNITW	INSUIT	1B+D	630	58.5						2	2	117.0	1,26
UNITX	INSUIT	18+0	617	57.3		2	8	8	6	1	8 11 3	57.3	61
UNIT X2	INSLAT	1B+D	649	60.3	1	2 2	1	1	-	1	1 1	60.3	64

TOTAL 9 22 25 26 26 18 126 7165.90M 77,118.90FT



DRAWING LIST

DP 0.0	PROJECT DATA
DP 1.1	SITE PLAN PARKING PLAN P1 KEY
DP 2.1	
DP 2.1a	PARKING PLAN P1 WEST
	PARKING PLAN P1 EAST
DP 2.2	GROUND FLOOR PLAN KEY
DP 2.2a	GROUND FLOOR PLAN WEST
DP 2.2b	GROUND FLOOR PLAN EAST
DP 2.3	SECOND FLOOR PLAN KEY
DP 2.3a	SECOND FLOOR PLAN WEST
DP 2.3b	SECOND FLOOR PLAN EAST
DP 2.4	THIRD FLOOR PLAN KEY
DP 2.4a	THIRD FLOOR PLAN WEST
DP 2.4b	THIRD FLOOR PLAN EAST
DP 2.5	FOURTH & FIFTH FLOOR PLAN KEY
DP 2.5a	FOURTH & FIFTH FLOOR PLAN WEST
DP 2.5b	FOURTH & FIFTH FLOOR PLAN EAST
DP 2.6	SIXTH FLOOR PLAN KEY
DP 2.6a	SIX I H FLOOR PLAN WEST
DP 2.66	SIXTH FLOOR PLAN EAST
DP 2.7	ROOF PLAN KEY
DP 2.7a	ROOF PLAN WEST
DP 2.7b	ROOF PLAN EAST
DP 3.1	NORTH ELEVATION KEY
DP 3.1a	NORTH ELEVATION - EAST
DP 3.1b	NORTH ELEVATION - WEST
DP 3.2	SOUTH ELEVATION KEY
DP 3.2a	SOUTH ELEVATION - WEST
DP 3.2b	SOUTH ELEVATION - EAST
DP 3.3	EAST ELEVATION
DP 3.4	WEST ELEVATION
DP 4.1	SECTION A
DP 4.2	SECTION B KEY
DP 4.2a	SECTION B - WEST
DP 4.2b	SECTION B - EAST
DP 5.1	STREET ELEVATION - KEY
DP 5.1a	STREET ELEVATION - EAST
DP 5.1b	STREET ELEVATION - WEST
DP 6.1	SHADOW STUDIES MARCH 20
DP 6.2	SHADOW STUDIES SEPTEMEBER 23
DP 7.1	RENDERINGS

CONTEXT PLAN

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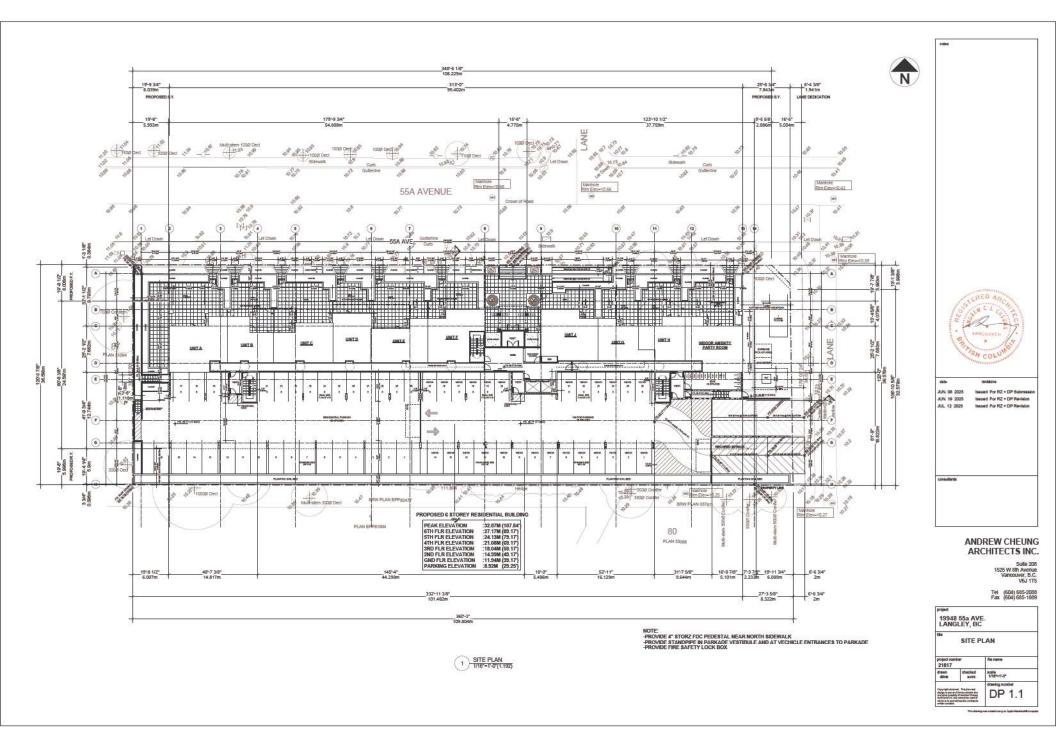
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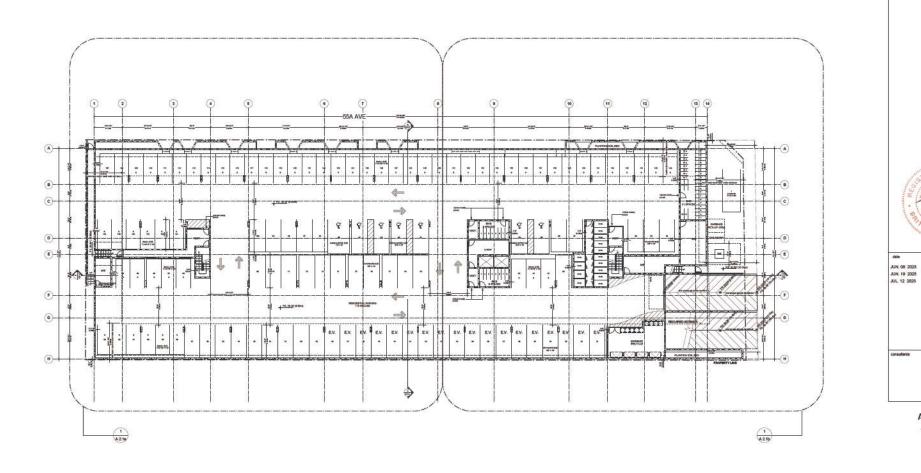
ANDREW CHEUNG ARCHITECTS INC.

Suite 208 1525 W 8th Avenue Vancouver, B.C. V6J 1T5

Tel (604) 685-2088 Fax (604) 685-1889

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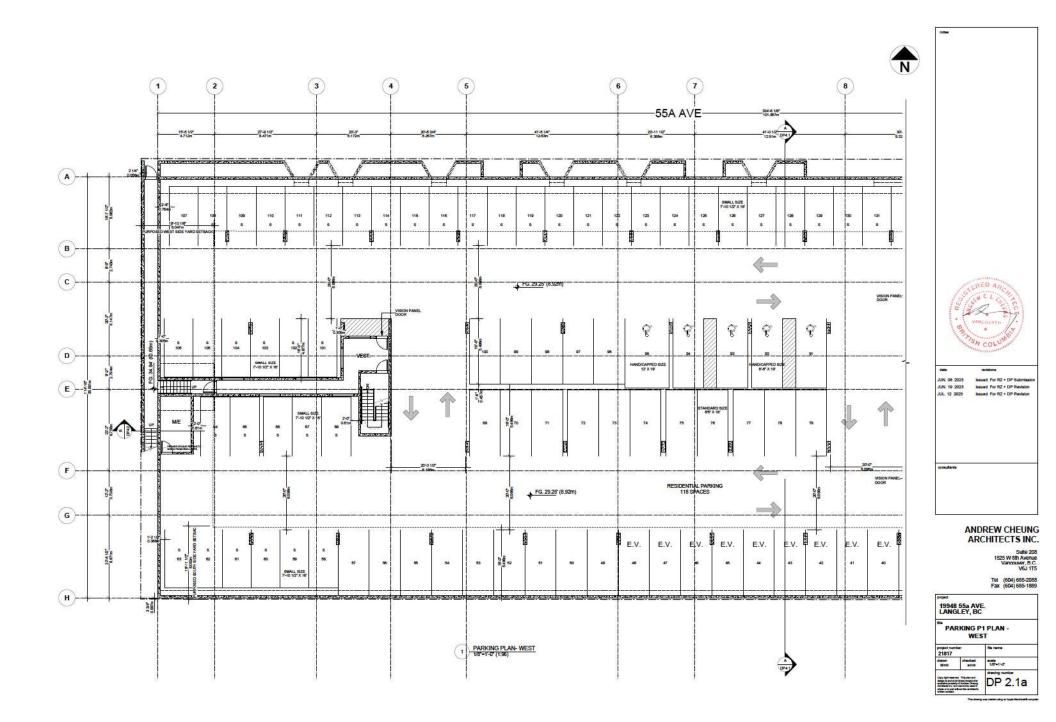
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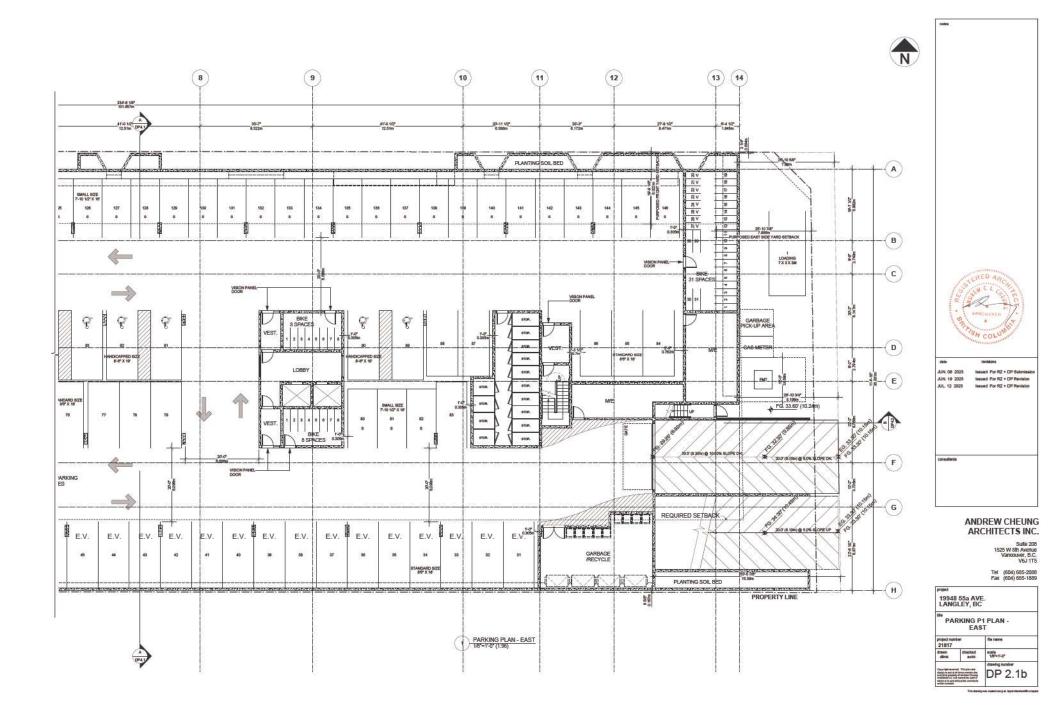
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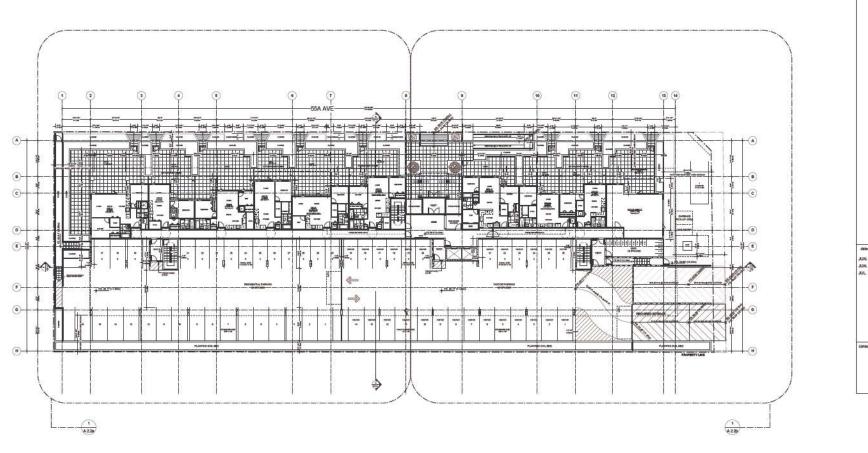
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1 PARKING KEY PLAN 1/16"-1"-0" (1:192) *ALL PARKING STALLS HAVE ROUGHED-IN WIRING FOR FUTURE E.V. CHARGING*







1 GROUND FLOOR KEY PLAN

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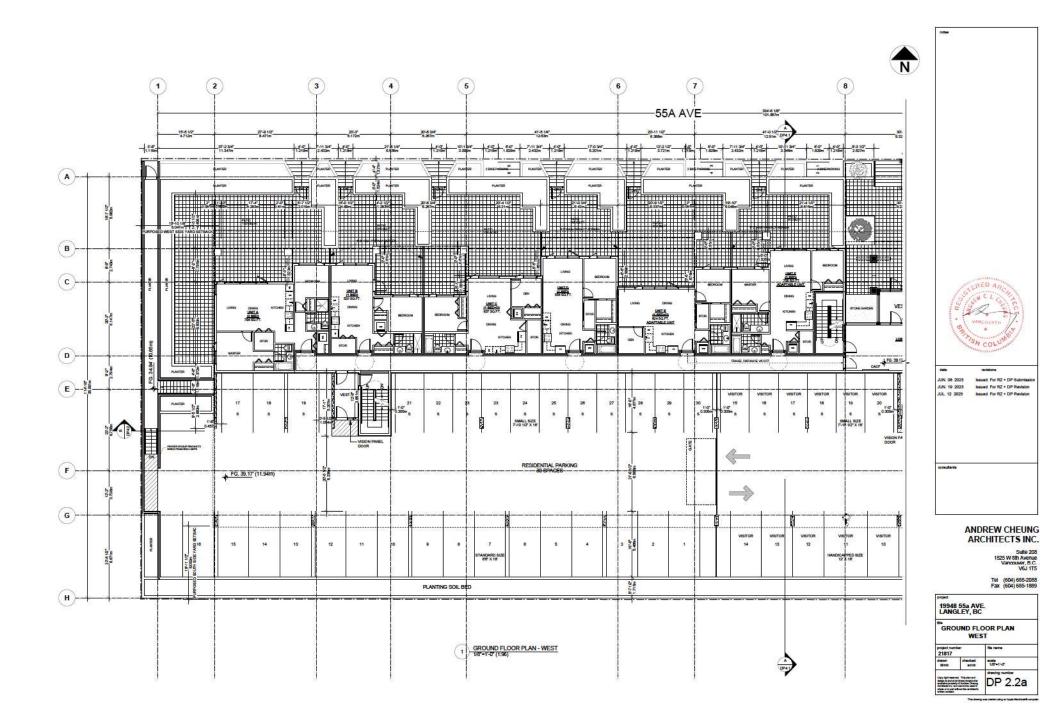
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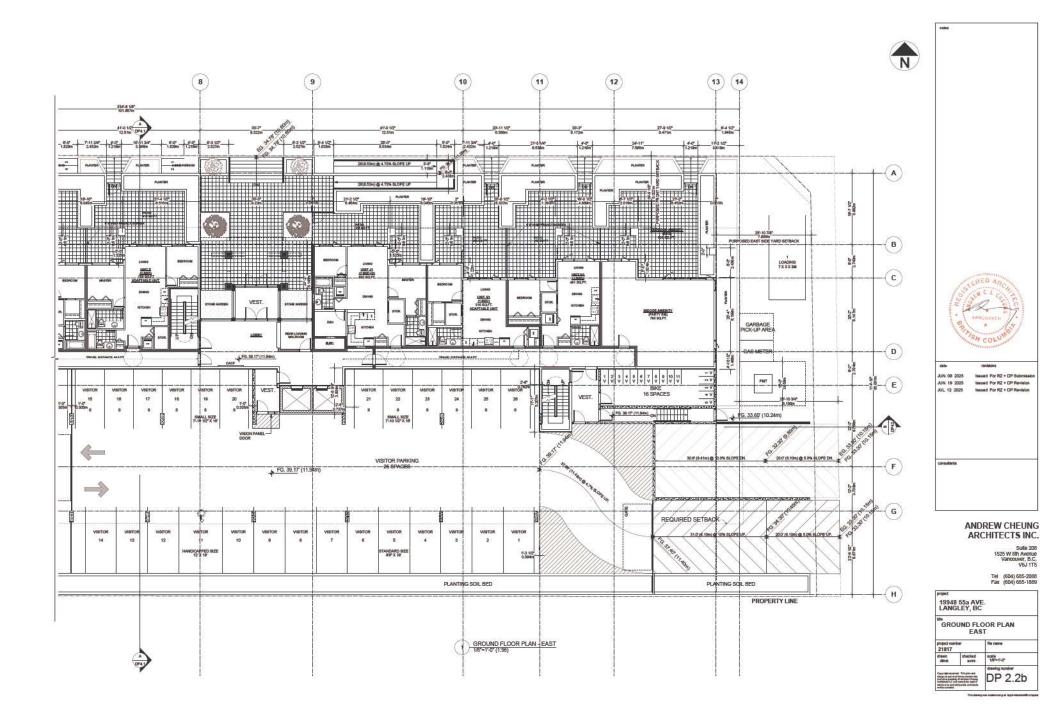
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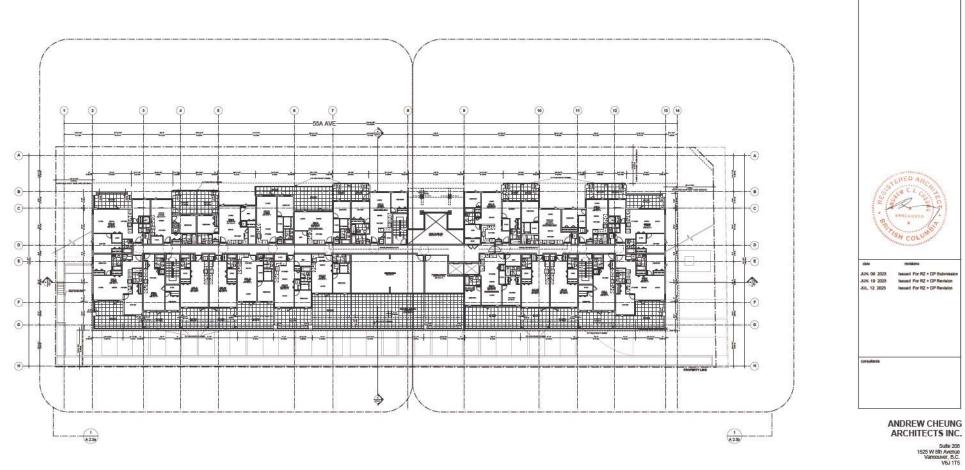
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Tel (604) 685-2088 Fax (604) 685-1889

ripsat 19948 555 AVE. LANGLEY, BC BROUND FLOOR PLAN KEY 21817 Cathoris Control (1997) Cathoris Control







1 SECOND FLOOR KEY PLAN 1/16"-11-0" (1:192)

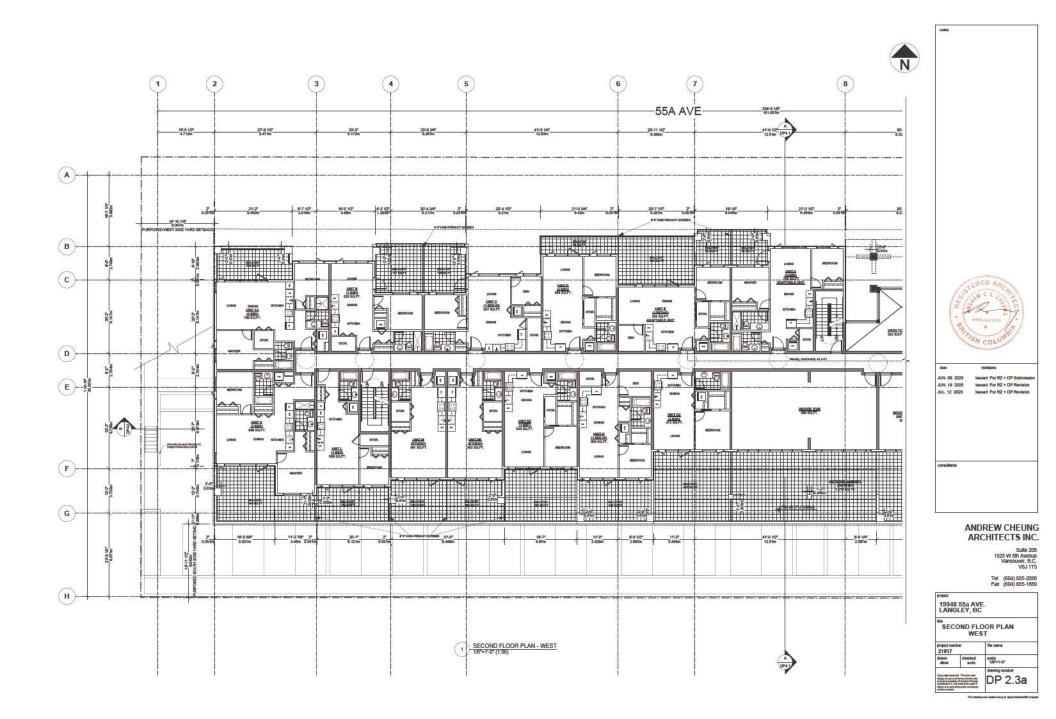
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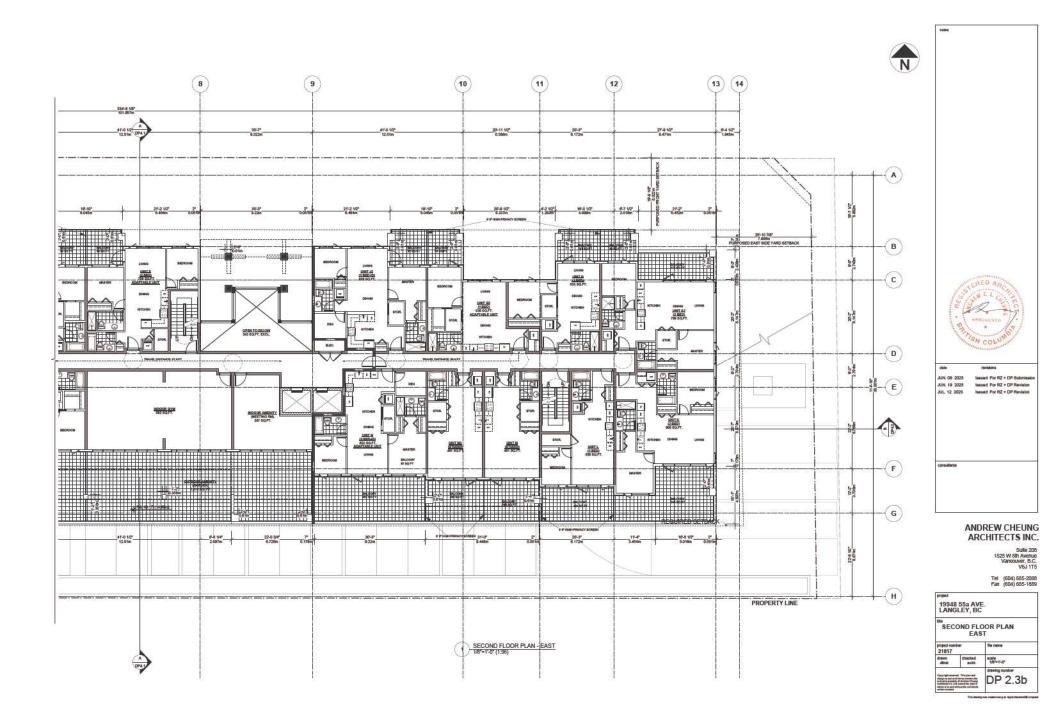
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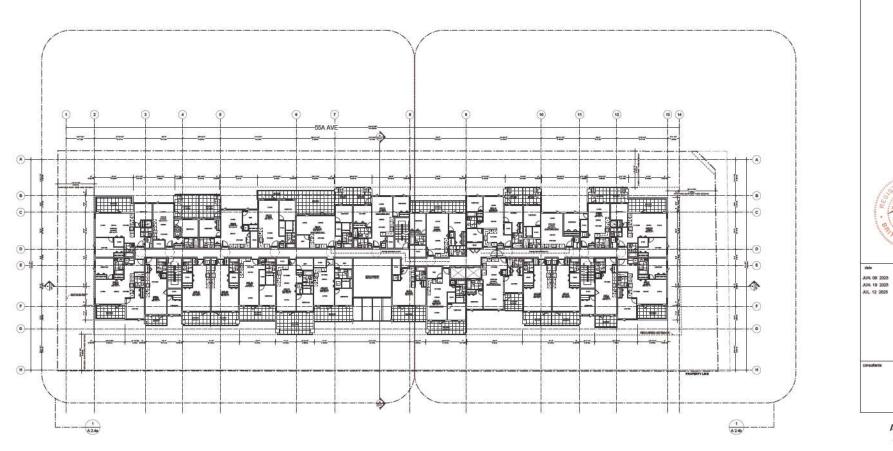
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Tel (604) 685-2088 Fax (604) 685-1889

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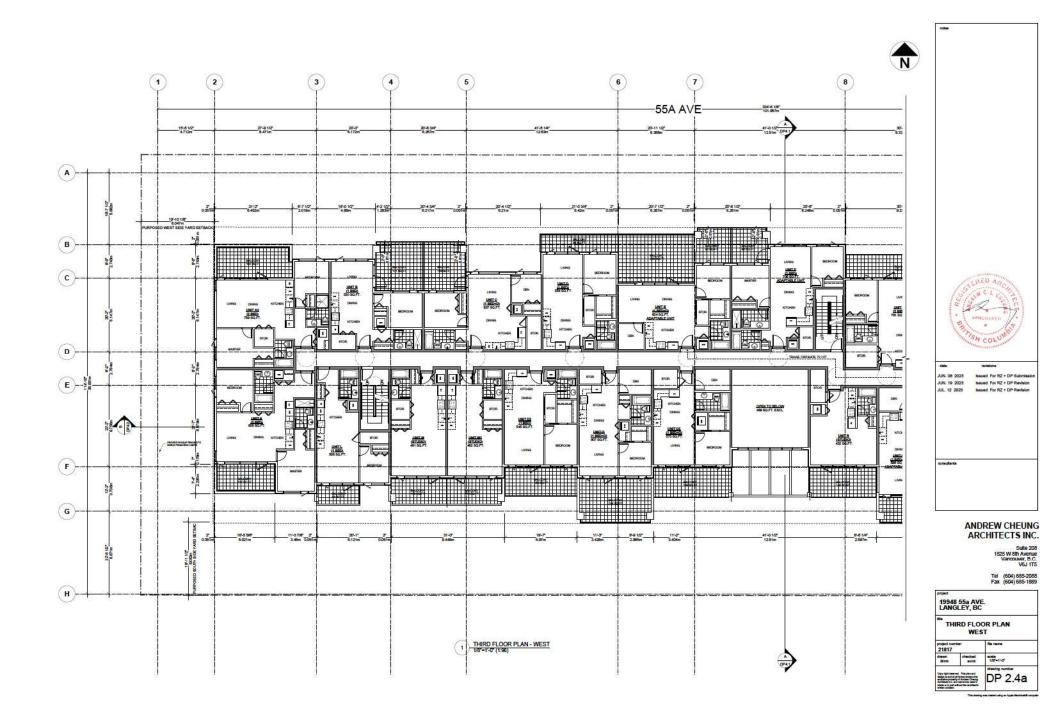
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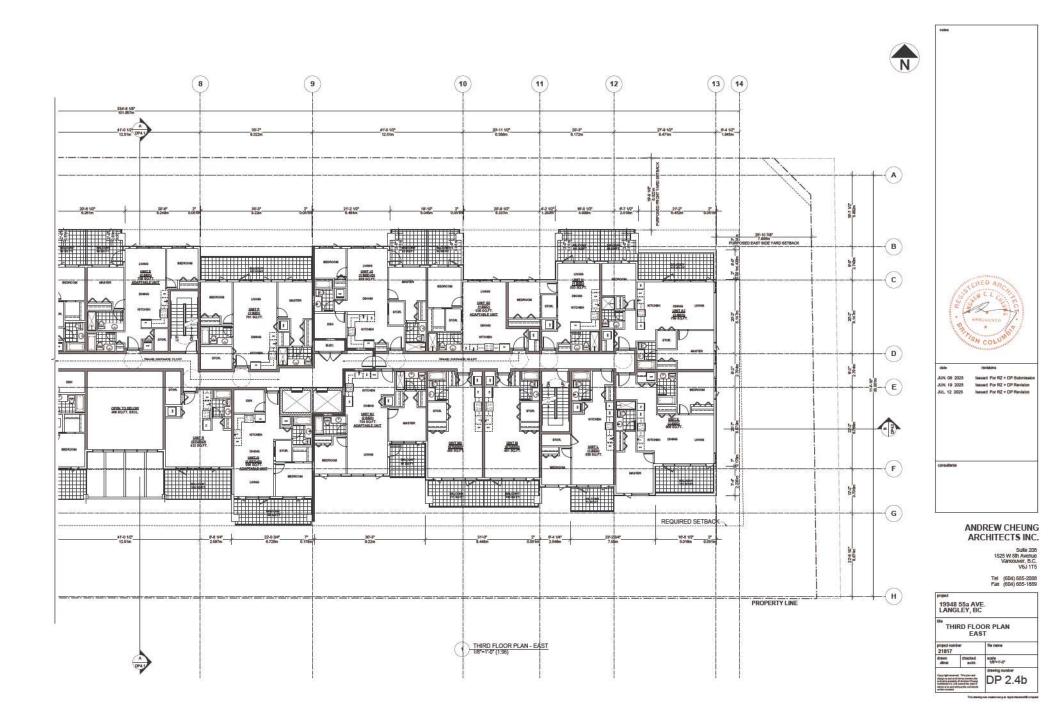
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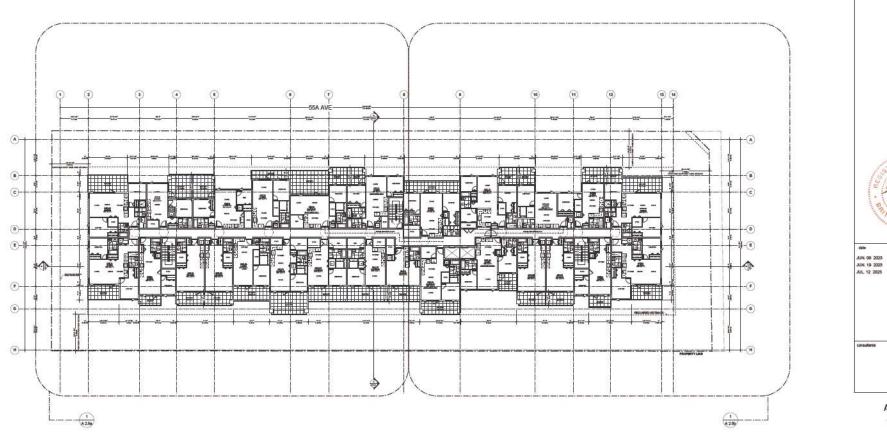
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1 THIRD FLOOR KEY PLAN 1/16"-1"-0" (1:192)







1 FOURTH & FIFTH FLOOR KEY PLAN 1/16"-1'-0" (1:192)

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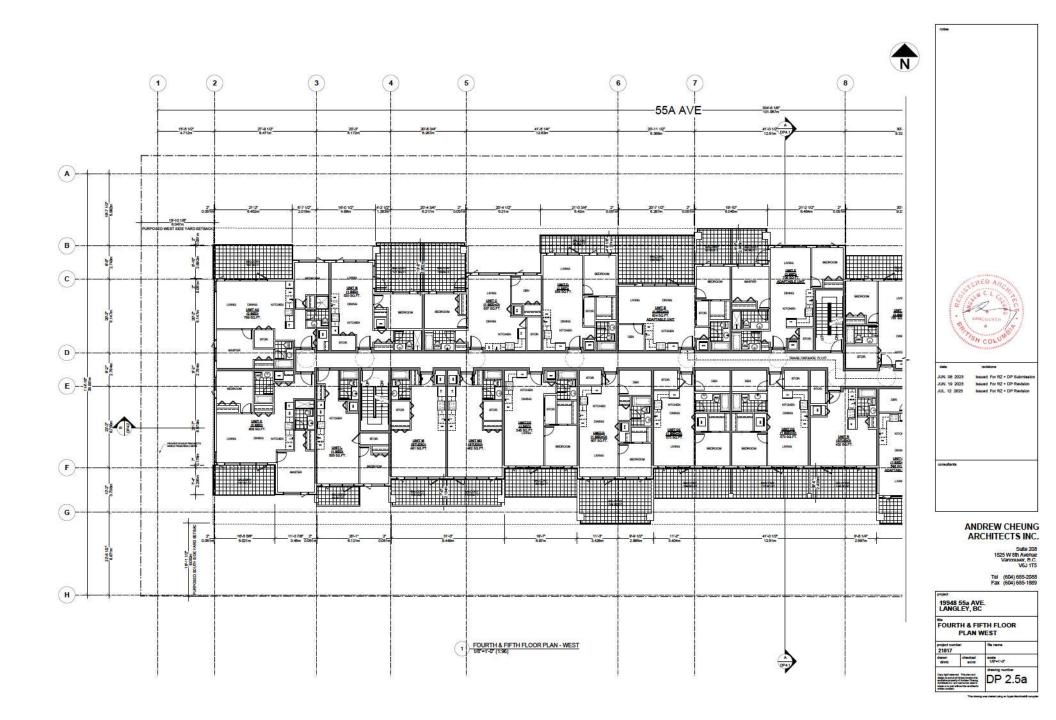
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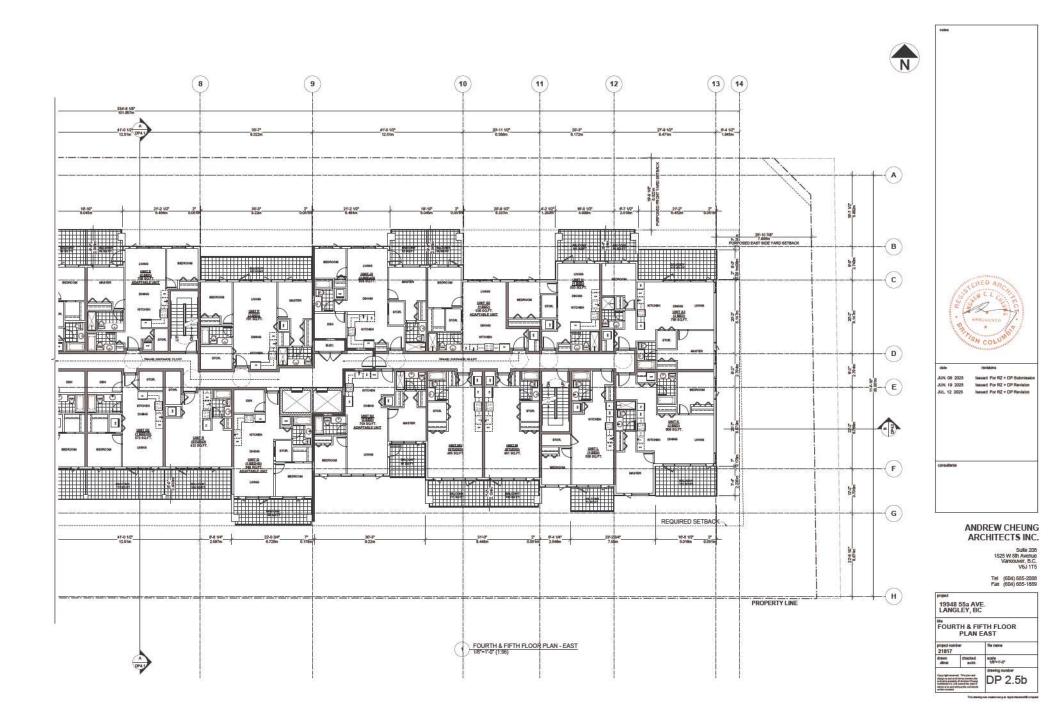
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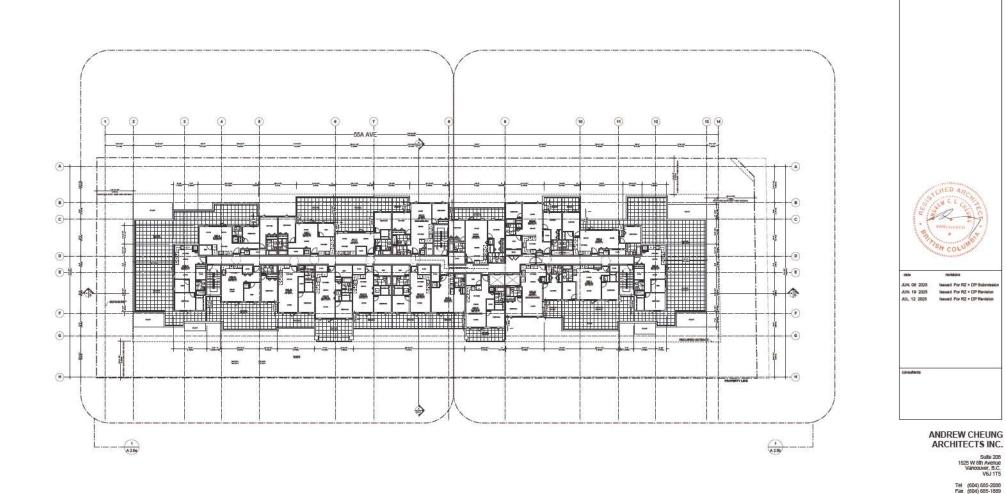
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SIXTH FLOOR PLAN

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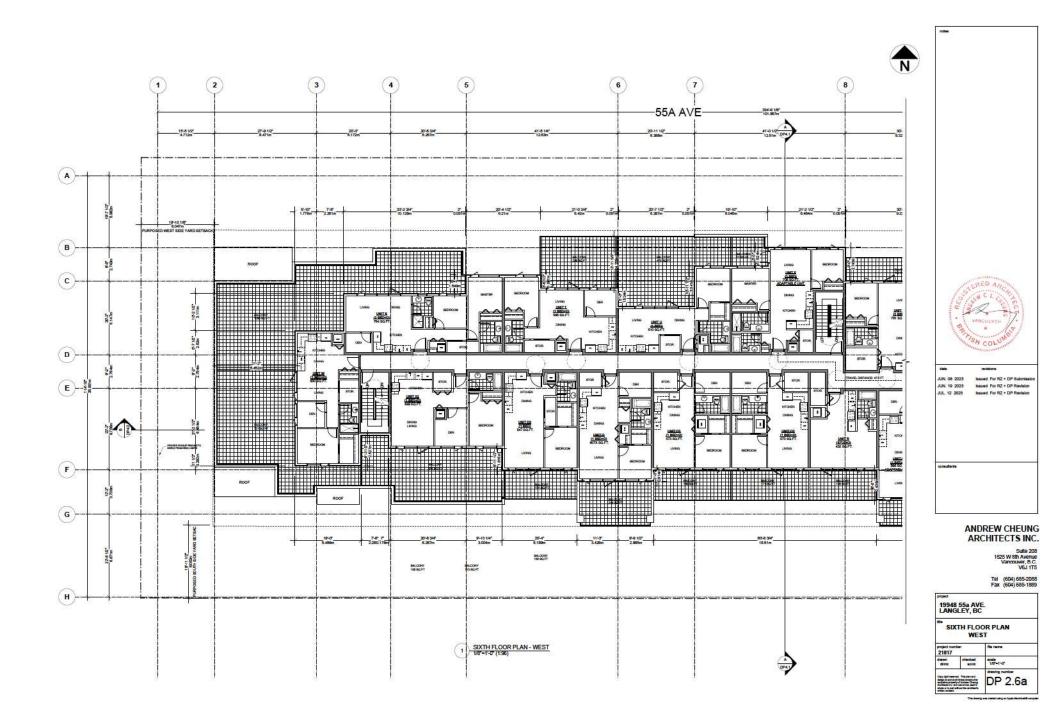
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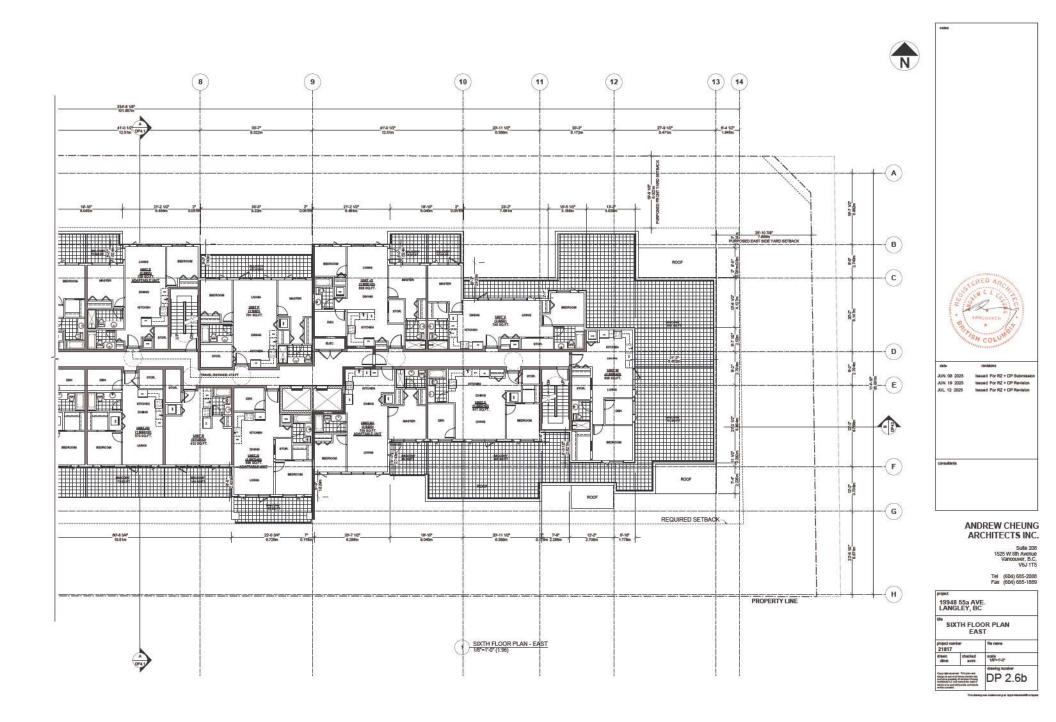
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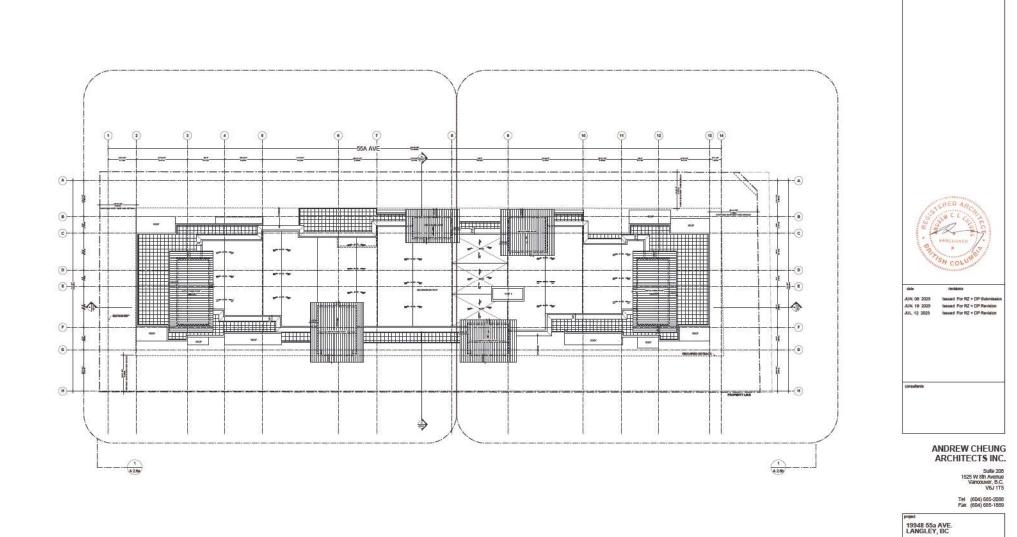
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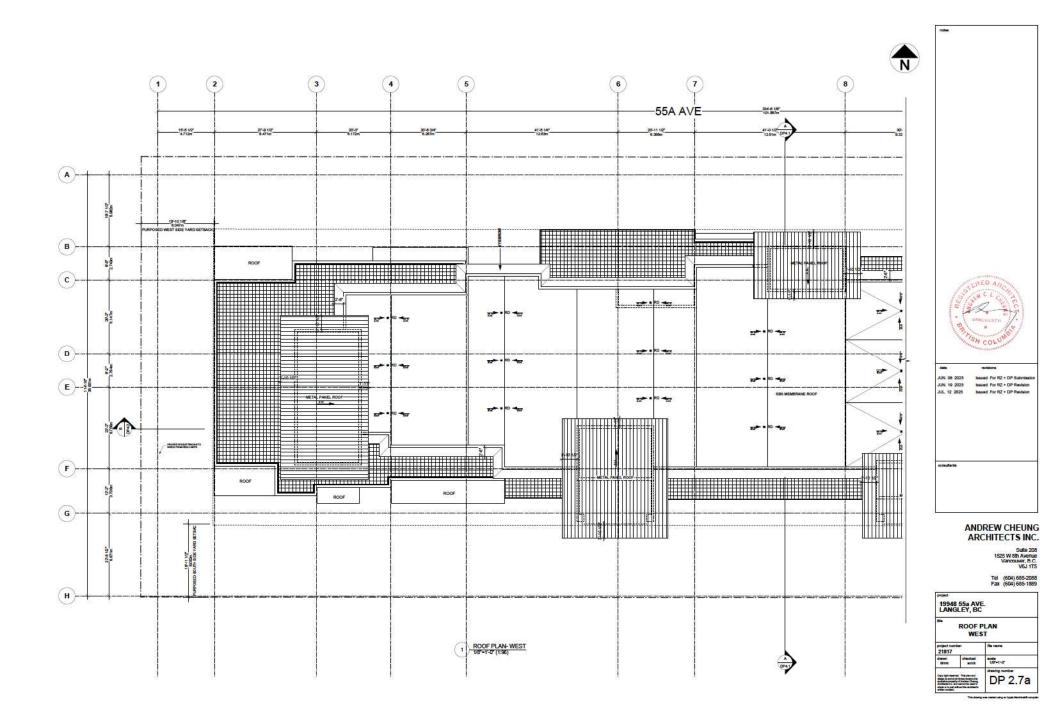
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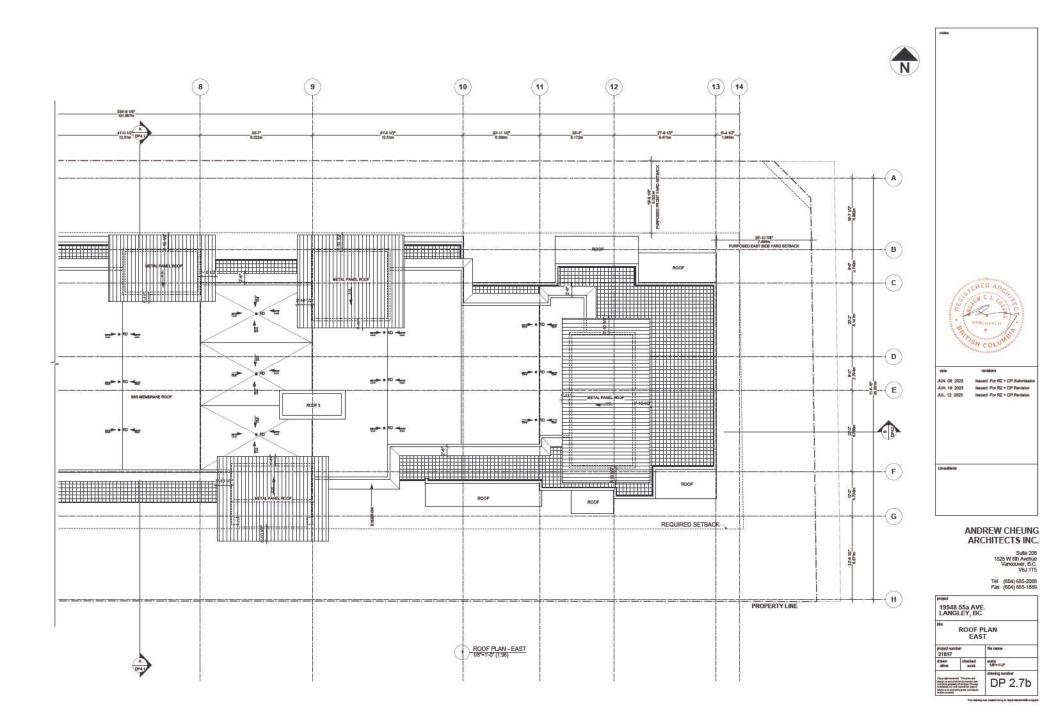
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Tel (604) 685-2088 Fax (604) 685-1889

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1 NORTH KEY ELEVATION 3/32" = 1'-0" (1:128)



Tel (604) 685-2088 Fax (604) 685-1889

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1 NORTH ELEVATION - EAST (55A Ave.) 1/0" - 1'-0" (1:95)



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LEGEND

date revisions JUN 08 2023 issued For RZ + DP Submission JUN 19 2023 issued For RZ + DP Revision JUL 12 2023 issued For RZ + DP Revision

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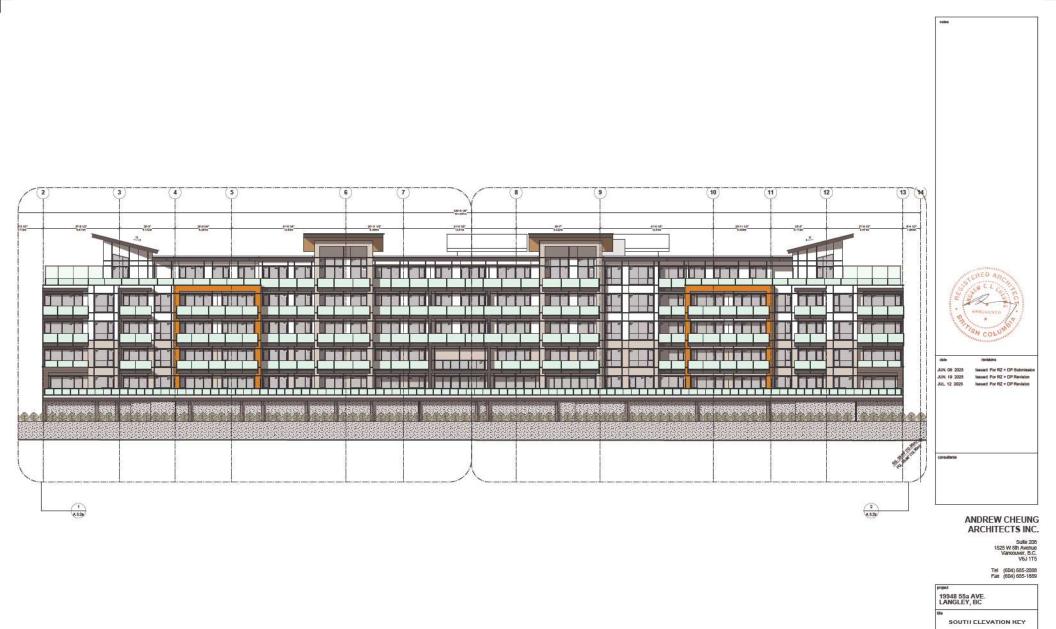
ANDREW CHEUNG ARCHITECTS INC.

> Sute 208 1525 W 8th Avenue Vancouver, B.C. V6J 1T5

Tel (604) 685-2088 Fax (604) 685-1889

Instant 19948 553 AVE-LANGLEY, BC BY NORTH ELEVATION - WEST Project number 21817 Bit More - Control - State Bit More - State Bit Mor

1 NORTH ELEVATION - WEST (55A Ave.) 1/0" - 1'-0" (1:95)



1 SOUTH KEY ELEVATION 3/32" - 1'-0" (1:128)

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DP 3.2



Tel (604) 685-2088 Fax (604) 685-1889

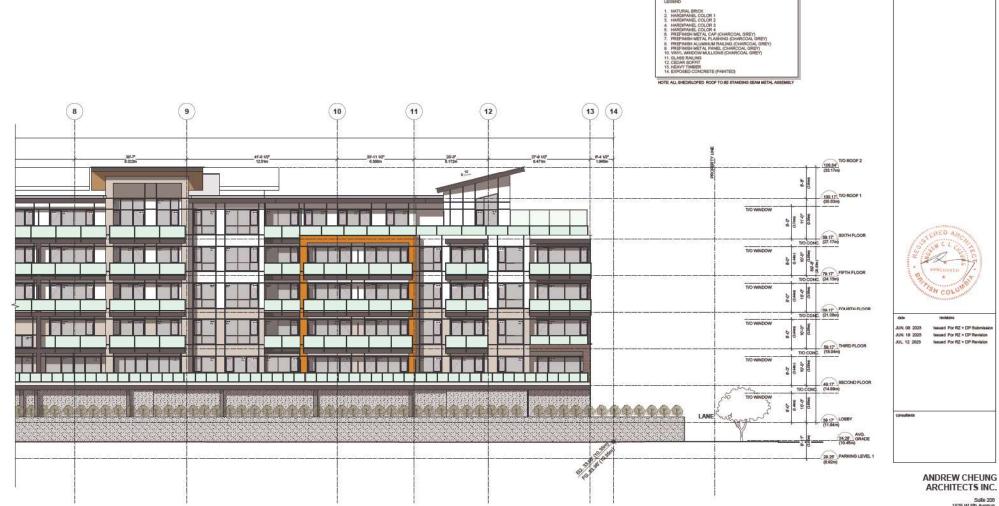
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1 SOUTH ELEVATION - WEST 1/6" - 1'-0" (1:96)



Suite 208 1525 W 8th Avenue Vancouver, B.C. V6J 175

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DP 3.2b

project 19948 55a AVE LANGLEY, BC SOUTH ELEVATION - EAST project num 21817 80818 1/0"+ 11-0"

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1 SOUTH ELEVATION - EAST 1/6" - 1'-0" (1:96)



LEDEND 1. NATURAL BRICK 2. HARDIPANEL COLOR 1 3. HARDIPANEL COLOR 2 4. HARDIPANEL COLOR 3 5. HARDIPANEL COLOR 4 6. PREFINISH METAL CAP (C



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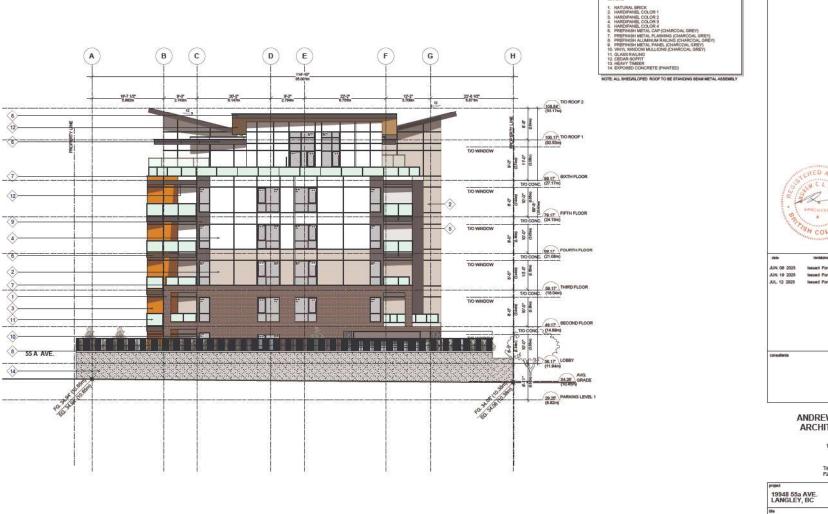
ANDREW CHEUNG ARCHITECTS INC.

Suite 208 1525 W 8th Avenue Vancouver, B.C. V6J 175

Tel (604) 685-2088 Fax (604) 685-1889

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1 EAST ELEVATION 1/6" - 1'-0" (1:96)



1 WEST ELEVATION 1/0" - 1'-0" (1:96)

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Sute 208 1525 W 8th Avenue Vanoouver, B.C. V6J 1T5

Tel (604) 685-2088 Fax (604) 685-1889

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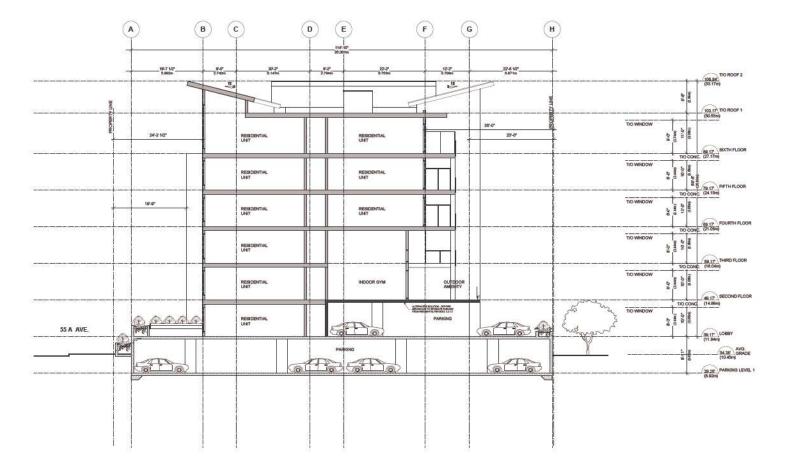
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ANDREW CHEUNG ARCHITECTS INC.

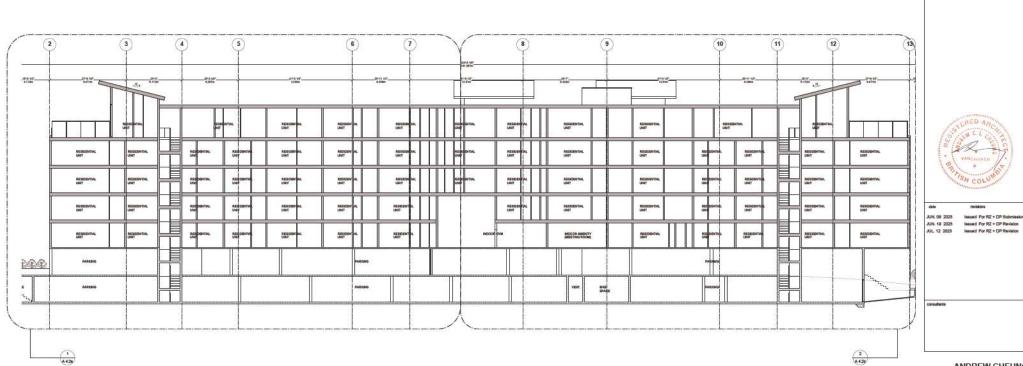
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Tel (604) 685-2088 Fax (604) 685-1889

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1 SECTION A-A 1/8" - 1'-0" (1:96)



> Suite 208 1525 W 8th Avenue Vancouver, B.C. V6J 1T5

Tel (604) 685-2088 Fax (604) 685-1889

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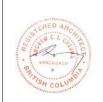
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1 SECTION B-B KEY 3/32" - 1'-0" (1:128)



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108.84 (33,17m)

100.17 T/O ROOF 1 (30.53m)

TXO CONC. (27.17m)

10 LUTION CHILDREN CONC. (24.19m)

TRO CONC. (21.08m)

50.17 THIRD FLOOR T/O CONC. (18.04m)

49.17 SECOND FLOOR (14.99m)

34.28 AVG. (10.45m)

20.25 PARKING LEVEL 1 (8.92m)

39.17 LOBBY (11.94m)

8-9-

2. 3an

8-0 (2.44m) 10'-0" (3.05m)

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Tel (604) 685-2088 Fax (604) 685-1889

project 19948 55a AVE. LANGLEY, BC Stie SECTIONS B-B - WEST

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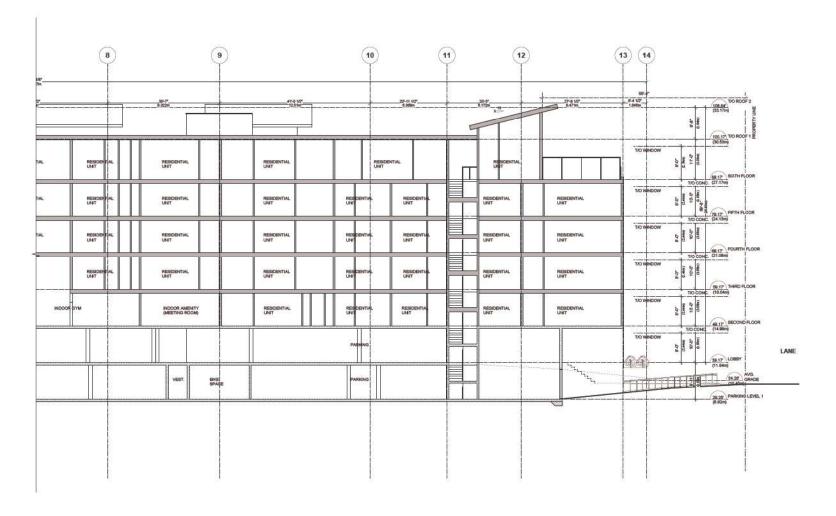
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Sute 208 1525 W 8th Avenue Vancouver, B.C. V6J 1T5

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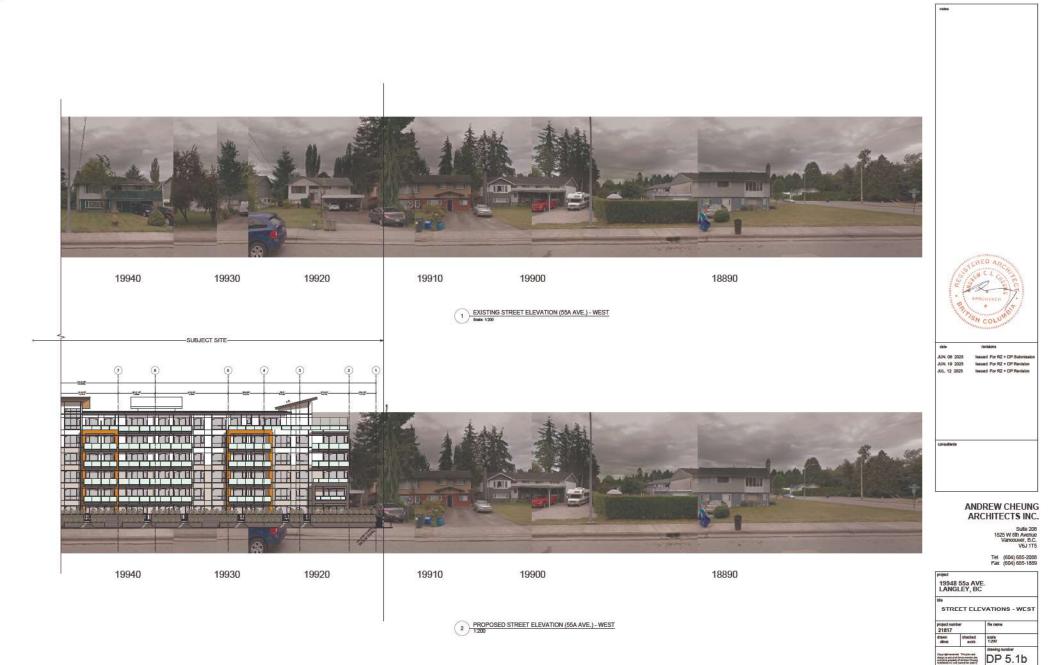
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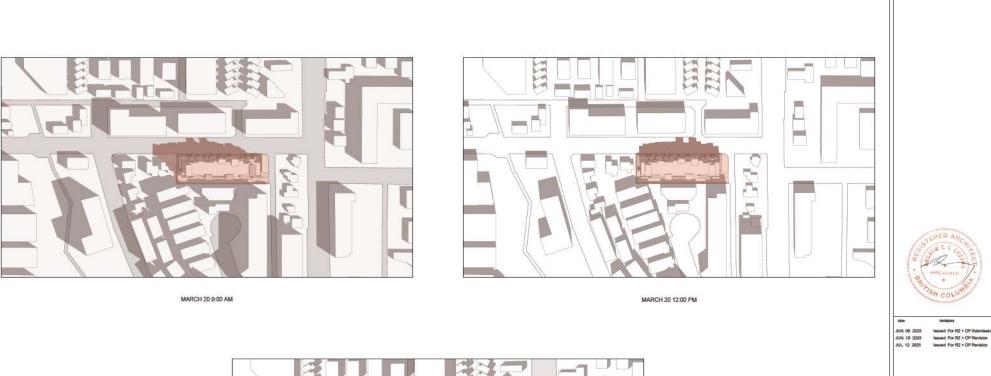
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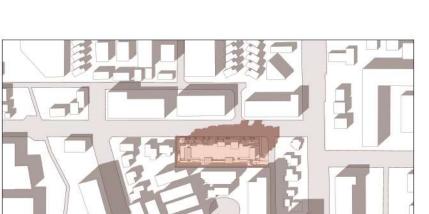
1 SECTION B-B - EAST 1/8" - 1'-0" (1:96)











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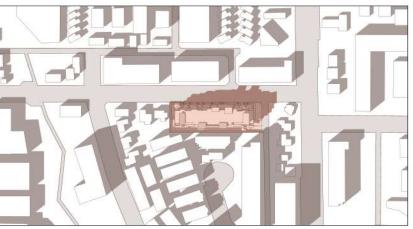
Consultants ANDREW CHEUNG ARCHITECTS INC. Staff 2010 1558 V 610 Avenue Varicouver, B.C. Varicouver, B.C.

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V6J 115 Tel (604) 655-2088 Fax (604) 655-1889 Preject 19948 55a AVE. LANGLEY, BC

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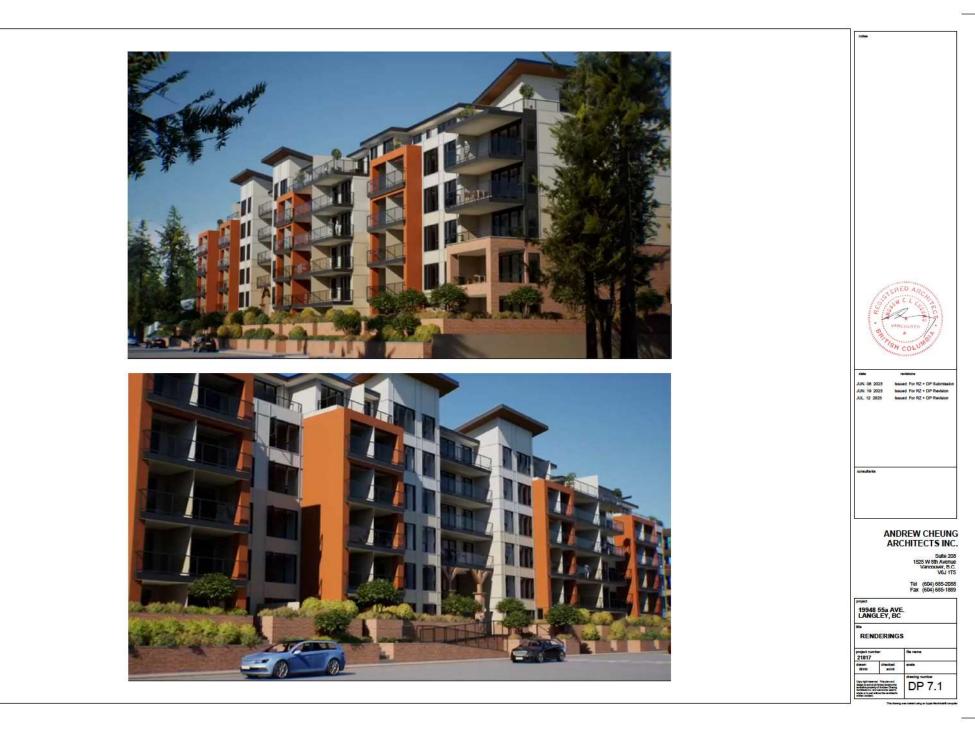
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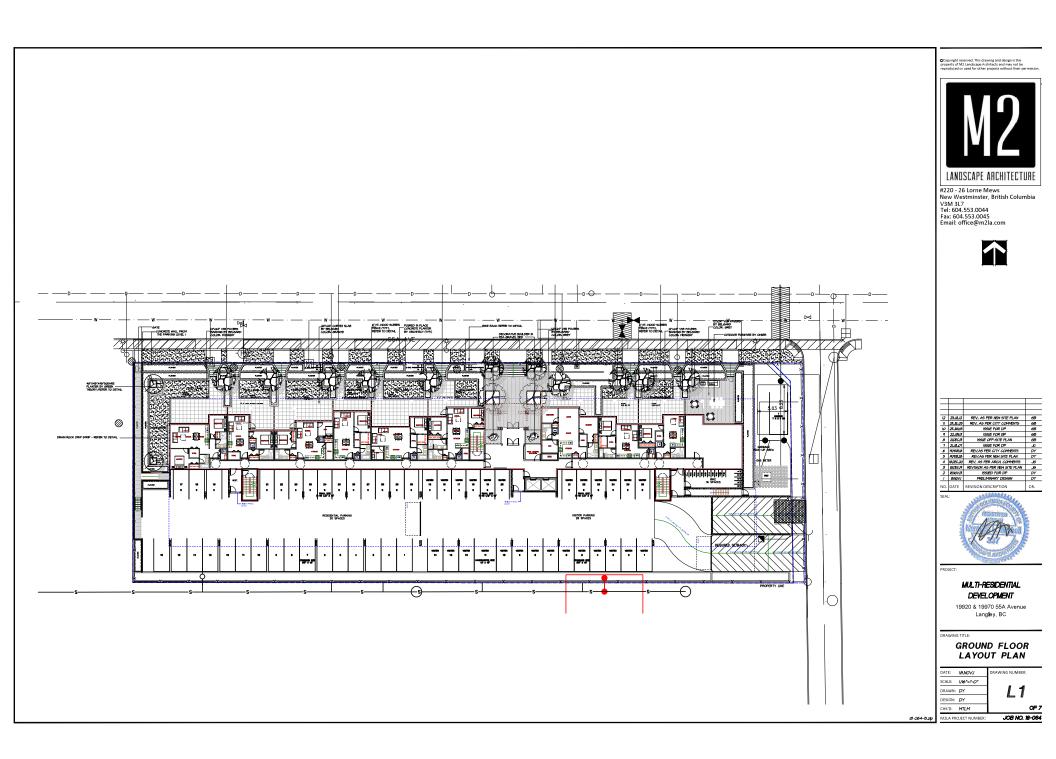
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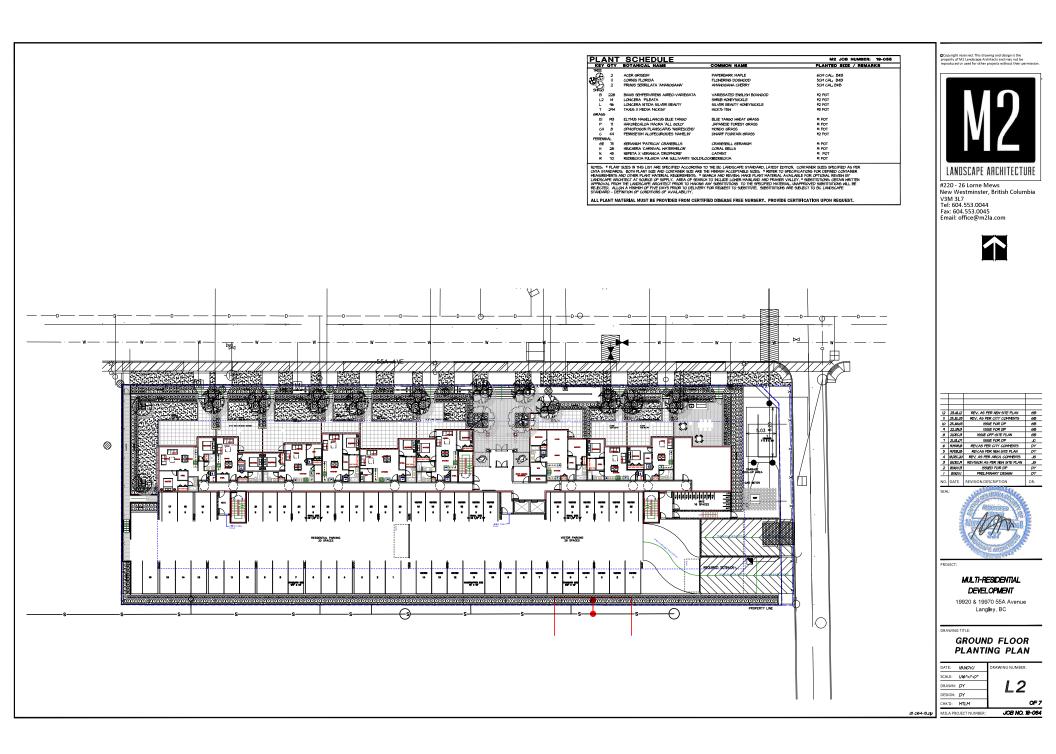
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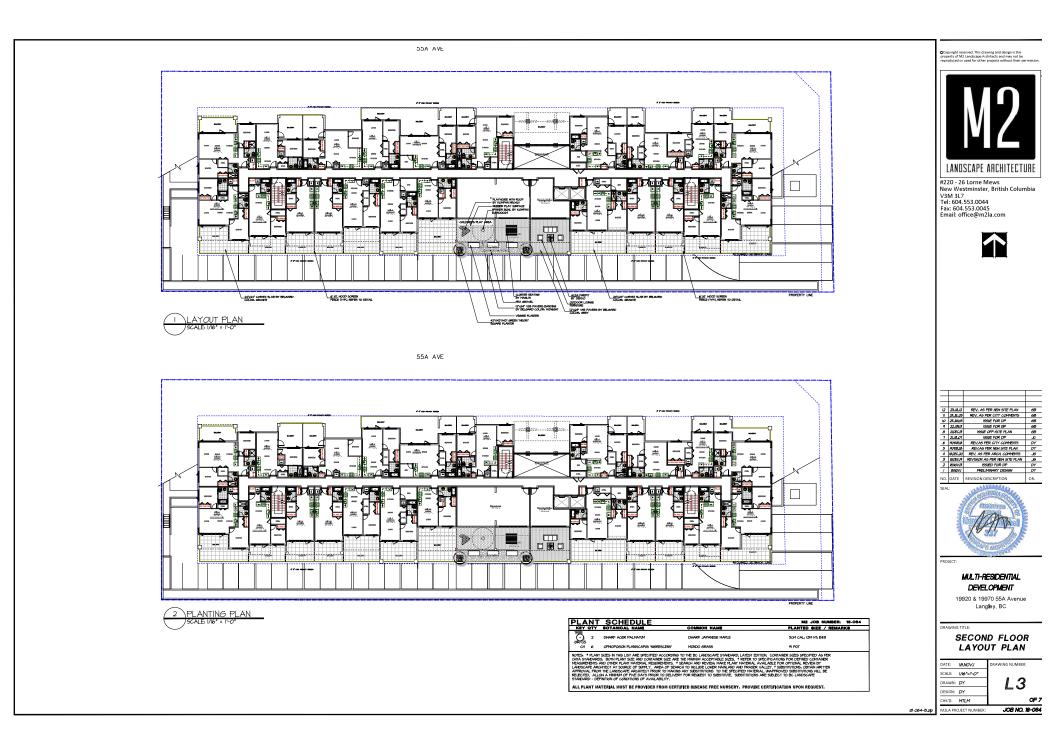
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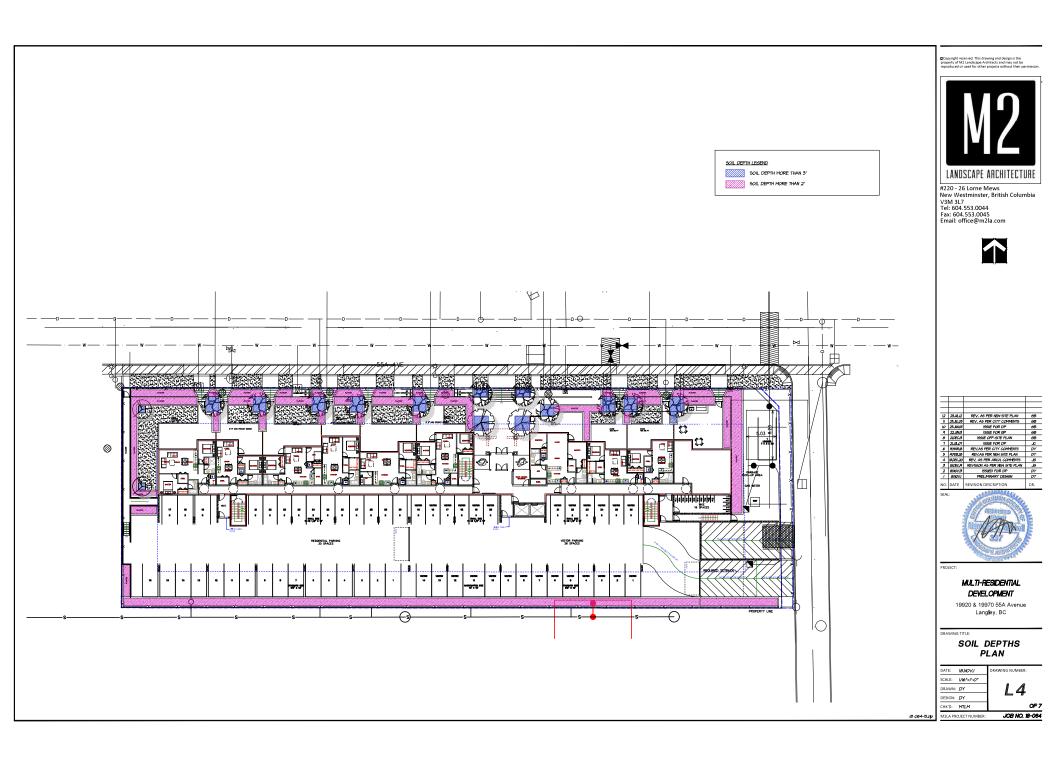
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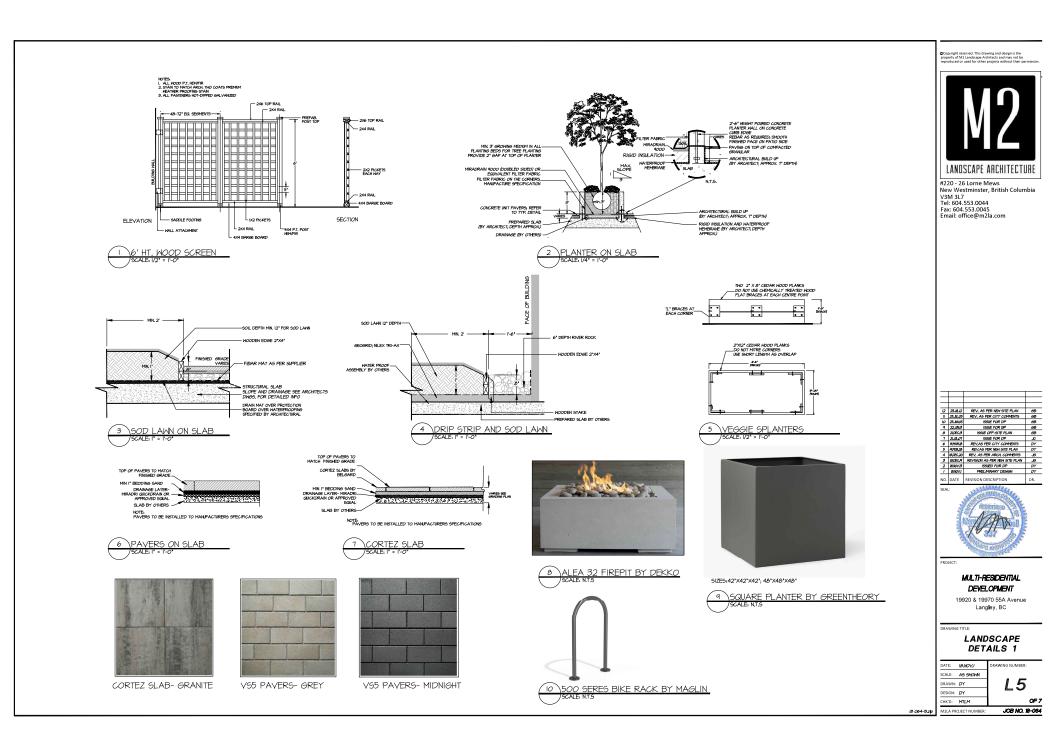


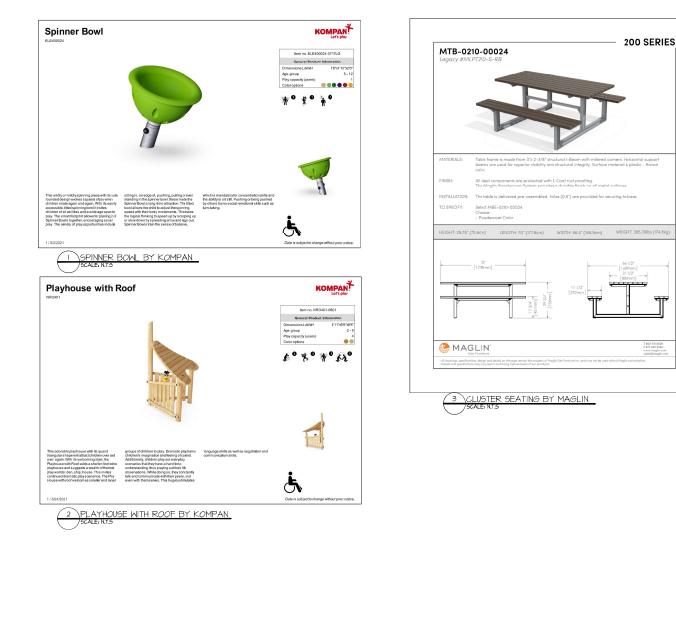


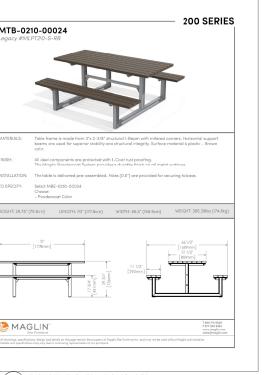














#220 - 26 Lorne Mews Mew Westminster, British Columbia V3M 3L7 Tel: 604.553.0044 Fax: 604.553.0045 Email: office@m2la.com





MULTI-RESIDENTIAL DEVELOPMENT 19920 & 19970 55A Avenue Langley, BC

DRAWING TITLE: LANDSCAPE DETAILS 2



18 064-15,210

ONE GENERAL REQUIREMENTS	PART THREE SOFT LANDSCAPE DEVELOPMENT	PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT	PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT	Copyright reserved. This drawing and design is t property of M2 Landscape Architects and may nor reproduced or used for other projects without th
	33 RETINITION OF EXISTING TREES			reproduced or used for other projects without the
DUC DV 2 LATEST EDITION y vith all articles in the General Conditions of Contract in conjunction with this section unless superseded by other Contract Documents,	33 ACTIONTOR OF CASTING THEES J. Phile to any sect on the - protect individual frees or plant grouping indicated as related on landscape plans as superlation relation areas. 33 In testinal indications that Landscape Architect will be press or areas to renative. Discuss their relations areas at a start-up neutral with the Landscape Architect.	8. Application Ratin 21. Seef Rither: 95 Boyha 105 Stockool 28. Centilizer: 112 Uption 200 Bookrand 29. Centilizer: 112 Uption 200 Bookrand	3.4. For all piet naterial, the Landscape Architect reserves the right to extend the Contractor's responsibility for another gravity sesson if, in this ophion, seed development and provide set of afficiant to ensure takes as staffscherp gravith. 195 - Marce the how in association for east and advances and has a transition advances. The dust restances it and the restruct was to define a with 195 - Marce to the work in association for east and advances and has a transition advances. The dust restances it and the restruct was to define a with 195 - Marce to the work in association for east and advances and has a transition defined and advances. The dust restances it advances to advance to advance of the 195 - Marce to the set of the set o	
	2 A physical barrier must be installed to delineate clearing boundaries. Refer to physical barrier detail. If detail not provided, conply with local multipal requirements.		ed green is net affected in exercise takes staffactory prevent. 35. More have a hopewater is derived anderson anderson anderson andersonen, her dari Anderson erbiter of her park deciser daris. 36. More have a hopewater is derived anderson anderson anderson andersonen. 36. The Longest contract is appealent in tracks ander to Section 33, doublement Reintenson.	
KL Landscape Standard, LATEST (201704), prepared by the B.C. Society of Landscape Architects and the B.C. Landscape & Nansery Association, jointy, All work and materials meet standards as well out in the B.C. Landscape Standard unless superseted by this specification or as directed by Landscape Architect with written instruction.	.3 No native leavel through or within vegetation relation areas or under crowns of trees to be related in allowed.	84.1 At the time of Tender provide a complete chart of all components of the nix proposed including mulch, tackifler, water etc. Sloped sites require tackifler, 84.2 Fartilizer	andinance chadre's a similar of even Trees. Todas, Anter is Schöd 32, Chäddaheet Halenance. 38.6 The Landsca Cantractor in representation benydance on plant anterial or grad and an outschod holded the Cantract that is damaged or stoken until the insuance of the Cartifician of Cangaloin. 30.1 Dealling the has spotCantactors may require extension of the Karnahy Period as detensibled by the Landscape Architect.	
ASTER HUNCEPAL SPECERCENTIONS & STANDARD DETAILS, LATEST EDITION, prepared by the Consulting Engineers of British Calambia, Roadbuilders and Heavy Construction Italian, and the Municipal Engineers Division	.4 De net stocipile seil, construction materials, or cocavated materials within regetation retention areas.	AL2. To Read Cress If a seal analysis is available, comply with results. 8.4.2.2 Lawn Where hydrosenting is approved, comply with seal analysis recommendations.		
ANDARD FOR LANDSCAPE INFRUATION SYSTEM, LATEST COTTON Prepared by the Irrigation Industry Association of British Columbia.	.5 Do not paris, fuei er service vehicles wittin vegetation retention areas.	9 Accurately neasure the qualifies of each of the naturalists to be charged into the task other by nass or by a connexity accepted system of nass-calibrated volume measurements. The naturalist shall be added to the task is being filled with autor, in the following support, used, fortilizer. Thereagily nix into a honogeneous starry. After charging a dir o units or other materials it to minister. So not lease starry in the task for the filled start of the	310 INSTALING LANDSCAPE ON STRUCTURES 1. Verify that drainage and paralection material is condictely installed and acceptable before beginning work. Contact Landscape Architect for instructions if not in place.	m = m
ICPAL BYLAWS AND INSINEERING SPECIFICATIONS WHERE MOTED.	.6 No debris filtes, clearing fires or trash burning shall be permitted within vegetation reherities areas.			
	J No excendios, stab or sense teaches on any other disciplion shall be permitted within regulation retention areas without a review of the proposed encreachment by the Landscape Architect.	.0 Distribute starry uniformity over the surface of the area to be hydroseeded. Stand application into previous applications and existing grass areas to form uniform surfaces.	Coordinate work with construction of planters and planter drainage. Verify that planter drains are in place and position drainage to rood drains is greatest prior to placing any drain rook or wail.	
rent par one than one methy least for all proving medium to be used on this with in register. Provide and pay for they're they be independent teating facility wwed by the Londercae Architect. Belline graving medium teat results to Londercae Architect for meter and appress prior in placement. After to Saccian 34 Growing entity for presenter.	# Do not cut branches or roots of retained trees without the approval of the Landscape Architect.	.11 Clean op: Remove all materials and other debris resulting from seeding operations from the job site.	3 Previde clean out at all Honogh-slab drain locations. Use 300m nin. die PVC Pipe filled with drain rock unless specific drawing detail shown.	
	3 Any damage to existing wegetation intended for preservation will be subject to evoluation by an ISA. Certified Arborist using the "Guide for Plant Appraisal", LATEST	3. Notification: Exploring the structure interdiately of the sanding and contribute for all pays of the Solutivation (control accorded by the Dones, The used of Homes with Effects of any other structure) are to the homes control accorded by the Dones. The used of Homes with Effects of any other structure (control accorded by the Dones) with the solutivation (control accorded by the Dones). The structure (control accorded by the Dones) with the solutivation (control accorded by the Dones). The structure (control accorded by the Dones) with the solutivation (control accorded by the Dones). It is the Done's respectively the Dones is the structure (control accorded by the Dones). It is the Done's respectively the Dones is the structure (control accorded by the Dones). It is the Done's respectively the Dones is the structure (control accorded by the Dones) and the Dones's the Dones's the structure (control accorded by the Dones). It is the Done's the Dones's the Don	A lestal drain rock evenly to a minimum depth of 4" (100m)er attenuate sheet drain it specified, install sheet drain as per manufacturer's reconnectations.	
er reserves the right to test or re-lest materials. Contractor responsible to pay for festing if materials do not meet specification.	EXTROL 33. Replacement planting of equivalent value to the distructions will be required. The cost of the evaluation and of the replacement planting will be the responsibility of the Senaral Catriccite and at the personality exponsible for the distructions.	Durier. When in sufficient quartities to ensure deep penetration and all frequent intervals to saintain vigorous growth with grass is taken over by the Durier. It is the Durier's responsibility in supply value at no entry cost to the Contract.	5 Cover drain mode for allemate sheet drain if specified on drawing details) with filter fabric topping of 1950ent at all edges. Obtain approval of drainage system prior to placing youring ancient.	
1.5 Alternate products differing from that contained in the contract documents must be pre-approved by the Landscape Architect.	baneria Contractor and ar the personalis reported a for the disturbance.	requested y have be a free of the sector set in the correct. 3) Accessed to the sequence of the sector set in the correct of specified press specific in the respectively of the Lukeurge (entrotter). The years while the respectively set of the stabilities requestion as was assetly the confirms set as if is from early to be down. Ansis confid in the stabilities for specified was asset and the stabilities of the	6. Bare an earning of St., Shen visan wather man card over Riter Salvin.	
itials to consider of analysis sensities or name factorer's product description.		well established, with na apparent dead or bare spots and shall be reasonably free of weeds (to B.C. Landscape Standard, Section 13 Maihtenance Level 4. libpen space). Sixty days after substantial completion, areas meeting the conditions above will be taken over by the Denner. Areas seeded in Fall will be accepted in Spring one month after start of	3 Pace growing notice to deptice specificitie its statis 35 shows for various surface treatments. Refer to Daning datals for any Eght weight filter required to all or gradu. Too Styrofam Mod, over demonsh suppet to provide samella surface transition at edges. Ref. each pixet lightly legether and cover with filter fails: to prevent and from signing devenuest.	
N	. In in a second where require construction may denote existing regration menois for preservation, contact canacupa action of the review prior to communing construction.	growing season, provided that the above conditions for acceptance are fulfilled.	Use Styrulism block over drain rock shaped to provide smooth surface transition at edges. Butt each piece tightly together and cover with filter fabric to prevent soil from nigrating downward.	LANDSCAPE ARCHITED
The large of the Landscape Architer's Control with the trave and where the Landscape Architer is the Landscape Architer of all descenses in the Landscape Architer of Landsca	32 081625 1. Drave subgrade is prepared to conform to depits specified in Section 33, Growing Hedum Supply, below. Where planting is indicated close to exhibit prees, prepare sublide planting pockets for exterial indicated on the planting plan. Stage subgrade to extinciate rise standing value and conform to the site grading and dividage plan.	3.8 LAWN AREAS - SODDING	3.11 ESTABLISHENT MAINTENANCE Provide a separate price for this section)	
te thes. Also the days of the operation schedule as the pain will not be linited to the following the second schedule as the days of the following the file of the days of the		3 General: Treat all areas defined as laws areas on the landscape plan between all property lines of the project holding all budenands to edge of reads and lawes. 2 Growing Medium Compty with Section 223, Growing Medium, Prior to sodding, request an inspection of the finished grade, and depth and condition of growing nadium by the	3 Intent. The intent of "establishment" maintenance is to provide sufficient care to needy installed plant material for a relatively short period of time to ensure or increase	#220 - 26 Lorne Mews
og at generalig, veneral veneral fra na sig ste son vener general som megneral van kan in reneral ner peseralisaten, generalisaten generalisaten på regimentis. I for Sin Navino i sederese fostrurt fit sammale) At tils start of suck with Anner's Demanatorial. Sin Sussistanden well welerand fastrurter, a making is in	2 On slapes in excess of 31 trench subgrade across slope to (Stem W) minimum at 15m (S H) intervals minimum.	2 forward reduce Lengty with Section 223, Growing Reduct, Prive to solding, request an inspection of the historial grade, and depth and condition of growing neduce by the Landscape Architect.	3 bear. The bear of a "calibrations" exclusions is to provide artificited cars in which is a start of a start of the st	New Westminster, British Co V3M 3L7
pur reportents. If QS in Netling, Lundcape Contract If separate) At the start of work with Ower's Representative, Site Superintendent and Lundscape Contractors; a meeting is to review separated work and he verify the acceptibility of the subgrade and general site conditions to the Landscape Contractors. Provide growing median heat results white.	3 Scarify the order subgrade innebiately prior to placing growing networ. Re-cultivate where vehicular traffic results in conpaction during the construction procedures. Ensure that all planting areas are smoothly contrared after light compaction to thickned grades.	3 Time of Sodding: Sod from April 1st to October 1st. Further extensions may be obtained on concurrence of the Landscape Architect.	2 Maintanance Periode maintenance of installad Landscaping for 12 menths following substantial completion.	Tel: 604.553.0044
press Sile Visits: To observe natorials and workmentully as necessary through the course of the work. Review of officenet aspects of the work may be dealt with on visit. Such elements may include Silve Lowert Revels Fording Fording Fording - multi-visited end fording-fording end Braham Materials. Lowert or Grass proce-	J. Diminate standing water from all Finished grades. Provide a smooth, film and even surface and earliers for grades shown on the Landscape Drawings. Bu not exceed maximum are minimum exceedences while the R.C. Landscape Standard.	A Sod Supply: Conferm to all conditions of B.C. Landscape Standard, Section 8, B.C. Standard for Turfgrass Sod.	3 Related Standards and Legislation B.C. Landscape Standard, Jakest editive; Fertilizer Code, B.C. Pesificide Centred Act.	Fax: 604.553.0045
entry 2015 (Shi Ta deven why "As and extension") is a second provide to extra at the wrs. Revive of different access of the wrs. In gene as the shift with a with Sch devent way holds that years, help drading Genelog Males, a with years, help access and brades provides the second and and with a second access and access and access and access and access and access and a france france france access and access and a france france access access and access and access and access and access and access access and access access and access access and access access access access access ac		5 Specified Turfgrans by area: Refer to Table 2 below.		Email: office@m2la.com
ng hengen sing sing sing sing sing sing sing sin	5 Construct surfars true to line and grade, smooth and free of sags or high points. Ministan sloge 25, medium side slopes 105. Assure positive drainage to callection paints. Singe not to exceed the following maintens-Rough Grass 34, Levin 64, Landscape plattings 24.	TABLE 2 SPECIFED TURFGRASS BY ABEA	A Site Review. In addition to the inspections at subclashing completion, at final progress draw application, and at the end of the guarantee period, there should be three effect reviews during the 12 souths attended by the Controllor and a designated representative. Which is laglasis and reporting procedures and submit to the designated reportentiation.	1
tilizate of Constellion Upon the declaration of Sabstantial Performance, a recommendation for the issuance of the Certificate of Constellion will be made to the Payment as defined in the contract.	Singe not to exceed the following maximum-Rough Grans 34, Lam 64, Landocape plantings 24. Finished solf/mach elevation at building to comply with manicipal requirements.	Cate Description CASS Care, Si area noted or dravings as lown in urban Outly Grade Major Species CASS Low, si area noted or dravings as lown in urban No. 1Prestan Kanhudy Sket for sos, Fescars for shale	S Scheduling: Prepare a schedule of adhicipated visits and subarit to designated representative at start-up. Mathematex operations shall be carried out predominately during the grands quark between Narch to: and Korenter XHs. Sourcer visits at other times of the year may be required.	1
icincy Review Prior to the completion of the holdback period, check for completion of deficiencies. Once completion of Schedule "C will be inseed where required. Yearly Review Prior to the completion of the waranty period (x/- 11 metrics after issuance of the Centificate of Completion), review all waranty material and report	Thinbed solfmach elevation at building to copply with manippli requirements. Thinnen Landscape Architect at completion of thisis grade prior to placement of seed, and, plants or malch.	CLASS 2 Grass - public parks, industrial and institutional sites No. 2 Standard same		1
dations for waranty replacement.		CLASS 3 Rough Grass see hydroseeding SPECIAL	4 Maintenance Level: Compty with B. C. Landorape Standard, Section 13, Table 7, Maintenance Level "Hedun".	
389 a shervise instructed in the Contract Decements, the proparation of the subgrade shall be the responsibility of the General Contractor. Placement of growing medium as accessions of the subgrade by the Landscase Contractive, Any subsequent convections to the subgrade resolved are the responsibility of the Landscase Contractor.	33 LANDSCAPE DRAWADE 3. Related Work: Growing medium and Finish Grading, Grass areas, Trees Strubs and Groundsovers, Pilatlers, Crib Walks.	· · · · ·	Paterials-Copy with Part Two of this specification. Fertilizers: To the requirements of the B.C. Landscape Standard. Formulations and rates as required by soil. testing.	1
		5 Line: The line shall be as defined in Section 22.3, Noterials. Apply at rates recommended in required soil test. Refer to Section 3.6 fer method.	1. Period Sector Sciences. 1. Version 2 and	1
wrk and superitiendence shall be performed by persamel skilled in landscape contracting. In addition, all personnel applying herbildies and/or pesitibles shall hold a leane issued by the appropriate activatives.	2) Vici fielded Sin fried gefange strefte entrings, herditeling eine gebane gebane die die einschapp dass freiche diese an beitektung plan frei entradistiest auf, auf zurge ein zur die herditelingen die einsprechen die begannt auf die fielder auf einstellen auf die die die 20 Bereine ward sochen die die die gebane die einsprechen die began die	3 Fartilizer, Rafer to Saction 222 Materials. Apply specified fartilizer al rates shown in the required seil test. Apply with a mechanical spreader. Cultivate into growing medium 44 hours prior to sodding. Apply separately from line.	A1 watering using the first growing season, water new plants at least every ten till days between April Int and July 3tist, and every twenty (20) days between April 1 and July 3tist, and every twenty days between April 1 and July 3ti and September 5th. Minimum 25 palanes per tree per application. During the second growing season, water new plants at least every twenty days between April 1 and July 3ti	1
unite source of the appropriate extractions.	so as is prevent interruption of service or damage to them. Protect existing structures and utility services and be responsible for damage caused. 23. Planter chains on state Refer to Section 310, installing Landscapes on Structures.	8 Seddig: Progres a smarth, firm, even surface for laying sod. Lay sed staggend with sections closely batted, without overlaping or gaps, unable and even with adjoining areas and real lightly. Water to abbit nonlarure penetration of 3° to 4° D - Boal. Camply with requirements of PC Landscape Steadard Section 8, PC Standard for Turfgrass Sect.	ern eine ernen neget ist and beprender sist. Appry varer all a rane and oursinn soch that the water context reactes field capacity to the full depth of the growing nedian. Apply valler again when the value context reacted reacted 25% of faild capacity. Previde and implate with valler in the went that any automatic implation system mat/unchines in the second and a second and and	1
In location of all services before proceeding with any work.	3 Decetion		er na me een vergening manenes. Soldelet applications it variet staal to mission any viten namen in spectrame te sin nury as required. 12 Malate Nahlah malates in the original areas and a lette original deptic. 13 Malate Nahlah in data is in the second and the the original deptic.	1
ly Landscape Architect of any discrepancies. Obtain approval from Landscape Architect prior to deviating from the plans.	 Execution Distriction and backfläng in occurdance with engineering details and specifications. Distriction gregared lad, true to bite and grade with leverts seemit and free of sage or high points. Ensure barrel of each pipe is in contact with bod throughout full. Use praises on programed lad, true to bite and grade with leverts seemit and free of sage or high points. Ensure barrel of each pipe is in contact with bod throughout full. 	9 Naintenance. Bogin naintenance immediately after sodding and continue for 60 days after Substantial Completion and writi accepted by the Owner. Protect sodded areas from denance with transverse data or transfer and transfer and the source of the formation of the Antonio Solid and the Solid areas.	The mass summer an energy of methods in the an reast water per means warry are growing seases of neerg or currents or a meanine error or an assessed of head-pulling, or, if measures by by the use of head-buildes. 14. For another search head filtered and is interest and diseases periods bits and at least search head works device the avoids search he meaning the original search head works device the avoids search he meaning the original search head works device the avoids search he meaning the original search head works device the avoids search head works device the search head works device	1
e appropriate measures to avoid environmental damage. Do not damp any waste materials into water bodies. Conform with all federal, provincial and local statutes and	Team and a set of a data of part of a data of a dat	3 Spharesets, bigs halt have beneficied yither adding and califies for all degrades adding the califies and califies an	1.3) See (other hears of each of areas if see (an area which are provide the days) space to be approximately be a submitted of the sub-provide set of the submitted of the su	1
	JA Lay perfected pipes with perforitions at Bpn and Apn positions. 35 Make joints tight in accordance with manufacturer's directions.		bark. Lossex, repair or replace line is necessary. Renew all sitilias gay wires and like after the first growing seases except where large inner negative continuing support in the sphiles of the Londscape Architect. All flogging of gay wires shall be risble and in good resair.	1
iect and dispanse of all debris and/or excess material from landscape operations. Keep paved surfaces clean and repair damage resulting from landscape work. Repairs or completed prior to final acceptance.	3.6 Do not allow water to flow through the pipes during construction except as approved by Engineer. 3.7 Hale waterlight connections to existing drains, new or existing nanholes or californish where indicated or as directed by Landscape Architect.	30 Acceptorce of Low Areas. The furt chall be reasonably well established, with no apparent feed spots and shall be reasonably free of weeds the B.C. Ladicage Standard, Section 19 Maintance Level 29 Appendence. Use backbids of neoratary for west reasonal acties other coaditions of contract familed their use. After the Lamb to be the cit at least rive, then sendenly the coaditions share with the Marc.	3.6 Praining import all frees and simula at least every free months during the growing season; prune to renove all dead, weak or diseased wood. Kaintain the natural shape at the start. Curry as climble or shapes also if respired in the matcheneous contrast for smaller activities or conditions.	
re new work connects with existing, and where existing work is altered, make good to match existing undetworked condition.	38 Plag upstream ends of pipe with waterlight clean out cape. 39 Survend and over pipe with drain rock is uniform totem layers to various depths as shown in defails, ninisum Milmn.	law has been cut at least twice, areas meeting the conditions above will be taken over by the Owner.	13 Fertilizing: fixe during the busive month period of establishment maintenance fertilize structs, trees and groundcovers according to sell analysis requirements.	
IS	. 310 Career draw mets with non-seven titler clarb lap all edges and seams minimum Toline. 311 Assure pollule drawage.	39 FIALTS AND FLANTING	3 Grass Areas Exhabitation: 3.1 Watering: Use house and sprinklers, imigation systems or other nethods to apply water to Class 1 and Class 2 grassed areas B.C. Landscape Standard, Section 7, Lawis	
nte antee all naterials and worksambip for a niniteus period of one full year from the date of Certificate of Campletion.	332 Blok III: rentender of Freech as indicated. 333 Protect subdrains from fluotation during installation.	.1 Centern to planting Layout as sheen on Landscape Plans.	3) Use and the comparison of the comparison o	
r to individual sections for specific varianties.	3.4 GROWING HEALIN TESTING	2 Obtain approval of Landscape Architect for layout and preparation of planting prior to connercement of planting aperations.	Field capacity to the full depth of the growing medium. Apply water again when the water content reaches 25X of field capacity. 3.2 Weed, insect and Disease Central: inspect grass areas each line they are nowed for weeks, insect pests, and diseases and treat grouppily when necessary by appropriate	
WO SCOPE OF WORK	plong. Test results to include: 11. Biologi, Test results to include:	3 Noise edge of bods with smooth clean defined lines.	nanual nethods, or by the use of chemicals in compliance with the B.C.S.LA./B.C.L.W.A. Landscape Standards latest edition. Kill broadleafed vecels in grassed areas by a general application of a suitable herbicide if the weed population enceeds 10 Broadleaf weeds or S0 annual weeds or veedy grasses par 40 square network. This application shall reduce	
	La december 313 March	A Time of Planthy	the seed population to zero. 9.3 Fertilizing: According to soil analysis.	
r won. er conditions of Contract may apply. Confirm Scope of Work at time of tender.		A The of Parting A The of Partings, sinds and providences will during periods that are normal for such work as determined by local weather conditions when seasonal conditions are likely to encore seasons:	3.4 Uning According to sail analysis 3.5 Newing and Intenting - All arrays: The first four cuts shall be a sharp refery type newer. Escans grass dipping shall be renoved after each cut. New all grassed areas	
is includes supply of all related items and performing all operations necessary to complete the work in accordance with the drawings and specifications and generally of the following:	35 GROWING REDIEN SLEPLY AND PLACEMENT 3.1 Supply all graving median required for the performance of the Contract. Do not load, transport or spread graving median when it is so well that its structure is likely to be demand.	5 Standards: 51 Millional analysis and conference in the conference of the BY 1 materials Chanter of 1 MICC COTING values consider to devide Deal Cotactile on the search of the Conference of the	man and marks, is in your of which is helpfore with the ULLS. All Laboratory Datesh for addition. It is headered with the yound review is a trainer in the mark provide the second secon	
a of the following:	amages. 2 Supply all growing medium admitrares as required by the soil test. Amended growing medium must meet the specification for growing medium as defined in Table One for the	5 Supervise. 31 Al particular balancia balancia for the transplanation of the ELL balancia Disation (LNEST (DDD), viscos coused in ginning Tard Soluble or His specification. 31 Marcin et al. Laborage Dataset, Science S Parlies of Ministry and Tardina V. Million Solubard for Carbonar General Parlies the samon shadowine. 32 Ministry and an electronic science and and an electronic science and an electronic development of the samon shadowine. 33 Ministry and and the marcen with start on the samon shadowine the specific science of the Science.	3.5 Aprillans. Aprillans in registers in the time growing seasas. It reasisters, in the scored proving seasas, affects in early may time is actuate activation core: Love is a depth of tillow it's and ensure on early may time is actuated activation of the score o	
terlion of Lusting Trees where shown or drawings. Wish Grading and Landscape Drainage.	 Applying young present instructions in request of the control of the proving regions may meet in the groung meeting in the rest on the rest on the rest of the proving region. Thercupity increasing and the rest of the full digits of the growing region. Thercupity indicates may be regional for various granting. The full divide notes for indicates. 		3.3 regards re-prive, re-sense of re-sea verse metasary or reserve analysis of hang grass areas, north the grass versens in the serversing area, re-sea, respond, respond, respond, respond, respond, respond, respond, respondent and April 151 or between September 1st and September 15th. Protect re-seaded areas and keep molet until the first	
ppy are pacement or groung metan. Isling al imported growing median and/or site topsol,		Sories: S		
ppy and the particular because a set of the particular and planting. reparation of planting because and a finant net relation and planting.	.3 Place the amended growing medium in all grass and planting areas. Spread growing medium in uniform layers not ecceeding 6" (Stimul, over unfrecen subgrade free of standing veter.	7 kolabily		12 23.JL.12 REV. AS PER NEW SITE PLA
4 via na mangang series and series and series, series of a series series of a series of a series of a series of a series of a series of a series of a series series. As a series of a series of a series of a series of a series of a series of a series of a series of a series of a series of series of a series of series of a series of series of a series of series of a series of series of a series of series of a series of series of a series of series of a series of series of a series of series of a series of series of a series of series of a series of series of a series of series of a series of series of a series	1. Noise depth of proving moder of and or compact in 1825. 2. Second and the second se	 Avalability .17 Avalability Avalability Avalability Avalability Avalability Avalability Avalability Avalability 		II 25.00.05 REV. AS PER CITY COMMEN 10 25.00.05 ISSUE FOR DP 4 22.00.05 ISSUE FOR DP
Reinformence of plantied and seeded/codded areas until accepted by Duner. IRPARATE PRICE-Exitabilithment Maintenance, Section 3.11.	A.1 De-grade A.11 Sectod and sodded lawn	8 Substitution		4 22.JNUS ISSUE FOR BP
Other work Work other than this list, not specified by Landscape Architect.	A.12 Ness planted strubs 4 groundcovers	3 Generation 20 Other and the approval of the Lankage Architect prior to making any adult forms in the operfluid exterior. How-approval substitutions will be rejected. 23 Subsection of Separation to delarge for expendit a searchitect. 24 Substitutions are majorited for Language Statistics - Antibiant Conditions of Association.		8 2/DEC/8 ISSUE OFF-SITE PLAN 7 2J.BL/7 ISSUE FOR DP
ALS wire Medium Conform im BC Landscam Standard for definitions of insorted and en-sile tossed. Bytin: In Table Dee below.		A.S. Saturmania are subject to be caractepe standard - servician of cardinate or Associativy.		6 MINARUO REVIAS PER CITY COMMENT
	A2 De-State A21 Irrighted lawn	9 Plant Species & Lecation. 3:1 Face's shall be true to same and of the height, califier and size of next ball as shown on the Landsceparkile plan plant schedule. Califier of trees is to be taken 0° (50x) above grade.		5 NFEB28 REV.AS PER NEW SITE PLA 4 ØDEC20 REV. AS PER ARCH, COMMEN
LONG, PROPERTIES OF GROWING HEARM FOR LEVIL 2 GROUPED AND LEVIL 3 PRODEINTE AREAS Ins Sprise of Sol Displication Federal Class: Score Sol of the Solid Levil. Allins Low Tortformes, High Traffic Planting Areas	A22 Groundsver areas A23 Leen vitrout automatic hrigation	.9.2 Plant all specified species in the location as shown on the landscape drawings. Notify Landscape Architect if conflicting reck or underground/eventeed services are		3 IBDECHI REVISION AS PER NEW SITE F
	A25 Strips and specines shrubs	encountered. 93 Deviation of given planting location will only be allowed after reniw of the proposed deviation by the Landscape Architect.		2 IBNOV/B ISSUED FOR DP 1 IBNOV/ PRELIMINARY DESIGN
g Wedum Types 21. 2H 2P	1 the Gala Martin	30 Extraction 301 Trees and large strude. Extravel a source shaped irree pit to the depth of the multiplit and to at least twice the sidth of the rootball. Assure that fillblad grade is at the original grade the firee scalar grame at.		NO. DATE REVISION DESCRIPTION
e Percent 61 by Volgit et 1 als Grandy Modan Grands 1 - 155 0 - 155 0 - 155 mét Ima Jame 1 - 555 0 - 555 0 - 555	5 Manually spread growing medium/planting soil around existing frees, strubs and dostacles.			
er Take 20an 0 - 105 0	.6 In perimeter seeded grass areas, feather growing medium out to softing at edges and kiend into unisting grades.	.11 Drainage of Marting Noise: JUJ Provide drainage of patholog pills where required, is, as sloped conditions, break out the side of the planting pill to allow drainage down slope; and in flat conditions, manual horvide the realist above impervious layer. Writh the Landscape Architect where the drainage of glanting toxis is Brited.		SEAL:
er fhan 2aan 0 - 555 0 - 555 0 - 555 0 - 555 0 - 555	J Finished grades shall conferm to the elevations shown on landscape and site plans.			389 - S
	36 REVERGENES AREA - SECOND .1. General: Rough grass arean area includes the drawings as "Rough Grass". Treat all areas defined as rough grass between all property lines of the project including all budiarent for lengt of reads and includes.	2. Parking and for this production. 32.1 Head in the mass of advanced in the revent placed in their related parking particles. If for stagged, lowers around the top of the built and cal ways or field water. By not pulk backing from under the built. Carvinity means califording without highing the realizable. After setting in place, of hole. For which backets, city and means top these rows of wine.		A REGISTIONED
er Hales B.Bisman 50 - 60% 70 - 90% 44 - 60% er Hales Zahn		sense reasoned in the sense of the sense containers without ingering the reorbasis. After selfied in place, cut helps. For vite basisets, citig and naneve top three revis of with		An
r The Galizan 10 - 25X 0 - 15X 10 - 25X	Propuration of Surfaces. To B.C. Landscape Standard Class 3 Areas Ilough grassi Section 73.13 Caan making soil by motivatini means of earthry knows Stem in any dimension. Toophy was burnies to sails our combinence specifies of the program.	3.2 Sills during hinks party family the grady and/or much in mark the not system in 1° Sills aligner. A first line has all which aligned is any finder of an entitied in any finder in any finder in any finder in the system is the system in the system is the system in the system is the system is the system in the system is the system in the system in the system is the system in the system in the system in the system is the system is the system in the system in the system is the system is the system in the system in the system is the system in the system is the system in the system in the system is the system is the system is the system in the system is the system is the system is the system in the system is the system i		1 MAR
				1011
ier Han 8.002ae 0 - 25% 0 - 15% 0 - 25% 4 531 Cataline 1	.3 The of Secting Sect from early spring ignorally April 1st1 to late full (September 15th) of each year. Further extensions may be obtained on concurrence of the Landscape Architect.	B. Daking of Trans. B. Ton't virtual "Trans" of the supervised by marking in regulations. Set of sides minima 2 11. In out, On and virtual through nonlinell, 31.2 Team in the neurophysical structure of the supervised product of the structure of the supervised product. Supervised product. Supervised constraints, East and a supervised product of the Supervised product.		
Statistical Maximum 25% Maximum 15%	A Seed Sppty & Testing- AL seed nucl be altihuid from a recapitant seed supplier and shall to No. 1 grass micture delivered in containers barring the following information: A.1. Analysis of the seed deliver.	332 Leave the true carefully writed, 332 Leave the true carefully writed, 332 Leave the true carefully writed, 33 Tables to the true carefully writed, 33 Tables to the true carefully writed,		The second second second
Content (interior) 3 - 5% 3 - 5% 15 - 20%	A.4. Presyna w me seta mature A.2. Percentage of each seed type	32 Search In the candidy write. 33 Teachyse provide starts. (J. 10) Heart appropriate Tark but, oblina with them DUY, Approxip product Inter's - analast two Deplicat. 33 Teachyses Trees and P. Angle Bay with their classical and the grapes. Joint the states apalibility and the teachyse bayes and the product of the states and the states apalibility of the states. 33 Teachyses and the states and the states and the states and the states apalibility of the states and the states apalibility of the states and the states apalibility of the states and the states apality of the states and the states and the states applied of the states.		
[ph]: 6.6 - 7.0 6.0 - 7.0 4.0 - 7.0 4.5 - 4.5 Fercolation shall be such that ne standing water is visible 64 minutes after at least 11 minutes of moderate to heavy rais or integrition.	5 See Hiere M, while able to the subsequences in the Park Infrared and an object is clear approx. This County feel from the County feel from Section (Hargens) for Wildows are as a solare at Waldows with the focus of periodic Attachment with the focus or pro-approx downin.	.18.6 Mark all guy wites with visible flagging natorial.		PROJECT:
	21X Annual Ree SX Satura Perensial Ree	34. Prachip. 34.3 Link prucky to the nihikun necessary to remove dead or injured traceles. Preserve the advant daracter of the plants, do not not the leader. Use only clean, sharp tools. Hole all cits clean and cut to the branch collar leaving as side. Stage affected areas as as not to relian water. Resour damaged material.		1
izer: An organic and/or inorganic compound containing Nitrogan (b), Phosphate (25), and Polach Sociable 2) in proportions required by soil test.	SX Genetic reasons for SX Fernicof Buograss For Wildhaver Area use a nitrure of Wildhavers with Hard Fescues (Terrainic Censtal Wildhavers) with Hard Fescue or pre-approved alternate.			MULTI-RESIDENTI/
Ground agricultural linestone. Meet requirements of the B.C. Landscape Standard.		.5 Nutching 3.5. Nutching areas with an even layer of nutch is 2-1/2 - 3" (65 - 75m) depth. Confirm placement of nutch is areas tabled "Ercontensor Area" on drawings. Nutch a 3.01 Without develop table, second laws in layer serve Layers of the nutching depth. Confirm placement of nutch is areas tabled.		DEVELOPMENT
ix Addition: Connectual compost product to the requirements of the B.C. Landscape Standard, LATEST EXITION and pre-approved by the Landscape Architect. ded suppliers: Yardworks, The Answer Garden Products, France Rohmand Sols & Filme, Stream Organics Hanagement,	A. Fertilizer: Michaikal seeding: Apply a complete synthetic sinu-release fertilizer with maximum 35% water soluble nitrogen and a formulation ratio of 10-10-10 - 50% support unce coaled. 102 log/sul103/sol-forei uning a mechanical spreader.	211. provide designed of the end of the		
Clean, washed pump used to meet requirements of the B.C. Landscope Standard.	3 Seeding: Apply seed at a rate of TI2X/H (1000s / sere) with a mechanical spreader, incorporate seed into the top V4* (dom) of sail and lightly compact.	.36 Acceptance: .36.1 The establishment of all plant material is the responsibility of the Landscape Contractor.		19920 & 19970 55A Ave
soled Bark Match: Nam DATI indus Fir Alexack bark chips and fines, free of chasics and sticks, dark brown in colour and free of all sail, states, mosts or other as matter. Fresh erange in caloue bark will be rejected.	Acceptance: Provide adequete protection of the seeded areas until conditions of acceptance have been met. Comply with Section 3.7 Hydroseeding.	 The of functionation is a proving a strain the strainty is the constraint of functional strainty of the strainty		Langley, BC
is mitter. From mange in clear bait will be rejected. Clear and Postfodes: If used, must confirm to all federal, provincial and local statutes. Appliers must hold correct licenses issued by the appropriate authorities in	3.7 HYDROSEDING 1 May be used as an alternate to nechanical seeding in rough grass areas.	11.1 mannan at plann marenat ner oli daga after Landscape verk haa received a Certificate of Camplation. 11.2 Welening: Contem to B.C. Landscape Standard, Section 13.3 - Watering and generality as follows:		1
come and reaccomes in uses, that contain to all tederal, provincial and local statutes. Appliers must hold current licenses issued by the appropriate authorities in .	May not be used in areas of Jawa unless pre-approved by the Landscape Jachihect prior to bidding.	TL2.1 water to supplement natural validal such that the soil noisture content is kept to SEX to 100X of field capacity. Water to the full depth of the real zame each time. The Dome is responsible to supply water at no acting cost to the Central Contine source of water prior to beginning vork.		DRAWING TITLE:
Fabrics A new biologradule blanket or other filtering membrane that will allow the passage of water but net fine sell particles. (Such as MIRAFI 140 NL, GEOLON 1440 14545 or allematic product pre-approved by the Landscape Architect.)		III.5 Use appropriate measures to control peaks or diseases dataging plant material. Comply with all local governing statutes and guidelines for chenical control. JI.6. Plant material which fails to survive shall be replaced in the next appropriate season as determined by the Landscape Architect.		
0 4545 or allemaile product pre-approved by the Ladocupe Architect J nave Plates II resulted. Schedule 49 PVC nonlinal sizes.	3 Proparation and Graving Heckun 33 In a waxa of Bangh Graving Web Section 3.6 Bangh Grass. 33 Where approved for use in a mose of Lanc, camply with Section 3.0 Lann Areas Sodding.	TLS Impair three guands, statuss, and gay wines, when necessary. TLS Inspiration areas relatively used free. Upgearance level 2, B.C. Landscape Standard, Chapter 181.		LANDSCAP
	A Protections Ensure that fertilizer in solution does not come is contact with the foliage of any frees, shrubs, or other susceptible wegetation. Do not saray seed or much on	Jiji marren maan te speched depths.		SPECIFICATIO
n Rock- Clean, round, livert, durable, and have a maximum size of Mam and containing no material moder than 10mm.	A. Protection. Ensure that fertilizer is solution does not care is contact with the felsing of any trees, churds, an other associable experiation. Do not spray seed or much on objects not expected to grave years. Protect maining also explanet, makings, indexcepts, reference pairs, maximum, and inclusives from damage. Where contamilation exact, news exceeding anyong is unlikelished and all years sprayers of the chardsage Architecture.	.m roar martenty. .R1 Replace at unsatisfactory plant natorial encept these designated "Specines" for a period of one fit year after the Certificate of Completion. Replace all unsatisfactory		
f Naterial: To the requirements of the B.C. Landscape Standard, Refer to 3.5, Plants and Planting, All plant material must be provided from a certified disease free Provide proof of certification.		plant naterial designated "Specimen" for a period of two [2] years after the Certificate of Completian. Replace all unsatisfactory trees and shoulds and continue to replace these unit the specified number is complete and satisfactory to the Landscape Architect. Such replacement shall be subject to the notification, imspection and approval as		DATE: JONOV J DRAWING NU
- Refer to individual sections in this specification.	3. Match shall consist of virgin wood filter or recycled paper filter designed for hydraulic seeding and dyed for ease of nonlineing application. If using recycled paper material for word filter substitute use 3355 by weight). Conference Statester for match requirements.	specified for the angleal planting, and shall not constitute an extra to the Contract. 182 Those Plants, identified as hardy within one zone of the Canada Department of Agriculture tonal class for the area, specified by the Landscape Architect and installed by		
pplier and installars of segmental block walls to provide engineered drawings for all walls-signed and scaled drawings for all walls, individually, in excess of 12m, or Here all walls callectable in excess of 12m, installations much be reviewed and scaled of the Certified Profescional Contexer-initiate cost of engineering services in	5 Water: Shat be free of any inpurities that may have an injurious effect on the success of seeding or may be harmful to the environment.	 The Marine State State		SCALE: -
tions of valis callectively in excess of 12m, installations must be reviewed and signed off by Certified Professional Engineer; inicude cost of engineering services in arrive	3. Equipment: Use industry standard hydraxic seeder/nuclear equipment with the tank values certified by an identification plate or alloser affined in plate view on the equipment. The hydraxic seeder/nuclear shall be called or all field or all shall be called or all shall be called or all shall be called or all be applied or all be called or alled or all be called or all be called or all be c	.10.5 A review may be requested during the latter part of the warranty graving season. All plant material shaving well developed foliage, healthy growth and bud forming, will then be taken over.		DRAWN: DY
rce. selianeuus- Kay ether material necessary to conplete the project as shown on the drawings and described herein.	explorer, he replace secondary state clober is shall be capable of applying the materials units and a longing start and the start is a completed store with it is appled. The discharge partys and gan nazzles shall be capable of applying the materials uniformly over the designated area.			DESIGN: DY